FEBRUARY 21, 2022 // FACILITIES ASSESSMENT

OKEMOS PUBLIC SCHOOLS











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EDGEWOOD EARLY CHILDHOOD CENTER **CENTRAL MONTESSORI SCHOOL / DISTRICT ADMIN.**

PROCESS

This Facilities Assessment Study, developed through a combination of personnel interviews, Owner documents, facility walk-throughs and building system analysis, was performed to accomplish the following objectives:

- Provide an inventory of the District's facilities in an clear and concise format, which can be easily updated and maintained by Okemos Public Schools personnel and allow for quick access to facilities information.
- Determine the general condition of the District facilities and provide the data in a concise format, allowing quick determination of the current replacement value and condition of each facility.
- Determine opinion of probable cost for each assessed building, campus site and an aggregate for all facilities in the District.

This report represents a "snapshot in time" in the life of the facilities. The district is engaged in on-going maintenance projects that could render some of the items listed in this report as obsolete in the near future.

Generally, the buildings were compared to similar buildings in other districts. Given the likely direction for the school district to pursue a bond to implement major improvements, only the highest priority items were included in this report.

It is our goal to provide this information as a "springboard" for further discussions as to the best approach for incorporating improvements to school district facilities.

The following individuals met on (7) different days between November 2, 2021 and January 28, 2022 to tour and discuss the current conditions of all buildings within the district. Attendees included:

Jeremy Borten

Courtney Payne

Edward Talaga Brandon List

Brian Johnson

Meghan Boyer

Chris Bennett

Lyal Ward Lentz Becraft

Mark Fargo	Director of Operations, OPS
Christine Parkhurst	Food Service Director, OPS
Ron Curtis	District Maintenance, OPS
John Curtis	District Maintenance, OPS
Scott Cockrell	Theatre Technician, OPS
Tom Isom	Director of Media and Technology, OPS
Rob Crowe	The Christman Co.
Diane Major	The Christman Co.
Sean Jagels	The Christman Co.
lan O'Brien	The Christman Co.

The Christman Co. JRA Food Service Design TowerPinkster TowerPinkster TowerPinkster TowerPinkster TowerPinkster TowerPinkster TowerPinkster

The building site visits (in order of appearance) included Bennett Woods Elementary, Chippewa 7-8 School, Kinawa 5-6 School, Hiawatha Elementary, Edgewood Early Childhood Center, Cornell Elementary, Okemos High School, Bus Transportation, Wardcliff Elementary, Central Montessori Elementary, Administration Building, the District Operations/ Technology/Grounds, and the Athletic Complex.

RATINGS

While no attempt was made to assess program improvements, some deferred maintenance improvements could be considered program improvements. The intent is to first determine the physical condition of the facilities as currently used before exploring program improvements with a separate study. Our approach was to prioritize the list with the following categories:

- **Poor** item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years. *Examples:* Replace flooring to improve maintenance. Upgrade mechanical/electrical systems for energy efficiency
- **Fair** Item meets current use, showing signs of age and should be replaced in the next 10 years. *Examples:* Lighting is LED, but contains retrofit bulbs in existing light fixtures
- **Good** Item meets current and future needs, no recommendation for improvement for the next 10 years. *Examples:* Terrazzo flooring has limited or no cracking and has been maintained.



CHRISTMAN

GLOSSARY

Deferred Maintenance Backlog (DMB)

Deferred Maintenance is defined as maintenance work that has been deferred on a planned or unplanned basis to a future budget cycle or postponed until funds are available.

Facility Statistics

Basic building information- building use types (classroom, library, and administration), year built, building area in square feet, and number of floors.

Observation Highlights

This is a summary of field observations, highlighting major repair/replacement items supported by images. For a more complete list of field observations, see the individual building data sheets in the appendix.

Renovation Costs

a cost estimation to perform renovations that would bring the facility up to an overall "good" rating but do not include any enhancements or expansions to the facilities.

Current Replacement Value (CRV)

The CRV is the cost to construct a typical replacement building in today's dollars. However, for the purpose of this report, we have escalated the value to 2025 dollars. The figure is based on the square footage of the current structure and the estimated current construction cost for that type of structure. By the nature of the calculations and square foot construction costs, the current replacement value has a ±20% margin of error and will increase annually due to inflation.

Facilities Condition Index (FCI)

The estimated renovation cost divided by the estimated replacement cost and shown as a percent value.

Useful Life

The estimated duration of utility placed on a variety of assets including building, grounds, equipment, technology, and furniture.





DISTRICT INFORMATION

The suburban K-12 Okemos Public Schools is situated in the south-central portion of Michigan's Lower Peninsula near Lansing, the state capital and shares a common border with Michigan State University. The area holds significant community strengths such as economic and cultural diversity and many leaders in the fields of education, government, law, medicine, and the sciences. These individuals and other community residents expect excellence in education and collaborate to accomplish this goal. Okemos is well known for a tradition of educational excellence with strong parent and community support.

The district currently serves over 4,500 students who attend three K-4 elementary schools, a public Montessori school (Pre-primary – 4th grade), a 5-6th grade building, a 7-8th grade building which both feature Montessori programs, and one high school. The district has grown over 500 students since 2012 and is nearing full capacity.

In addition to the student occupied buildings, district facilities include: an Early Childhood Center which delivers diverse offerings for preschool aged children; Central Administration building; Operations and Media and Technology building; Transportation facilities; athletic facilities, one currently closed elementary school, and a vacant property on Powell Road. Total square footage of the 12 buildings is approximately 1,000,000 square feet with over 400 acres of property maintained by the district.

Niche.com produces annual graded report cards for each school and district, ranking nearly 100,000 schools and districts across the country based on analysis of academic and student life data from the U.S. Department of Education along with test scores, and college data. Niche consistently ranks Okemos in the top ten of all public school systems in Michigan. In 2019 it noted Okemos as the best place to teach in the Lansing area and ranked Okemos as the #1 place to live in the State of Michigan.

In addition to excellent educational programs, the district has an active community education program which delivers diverse offerings for preschool aged children though senior citizens. A critical part of community education services is a broad-based childcare program. The childcare staff members provide a range of preschool programs and before and after school programs for elementary and middle school students.

A remarkable dimension of the district continues to be a deeply embedded culture of collaboration among educators, parents, and community stakeholders. The final recommendation honors the ideas brought forward by these stakeholders through surveys, student forums, community forums, listening sessions and committees which included board members, administrators, parents/guardians, teachers, staff, and community members.

We welcome you to be a part of our continued excellence and growth.

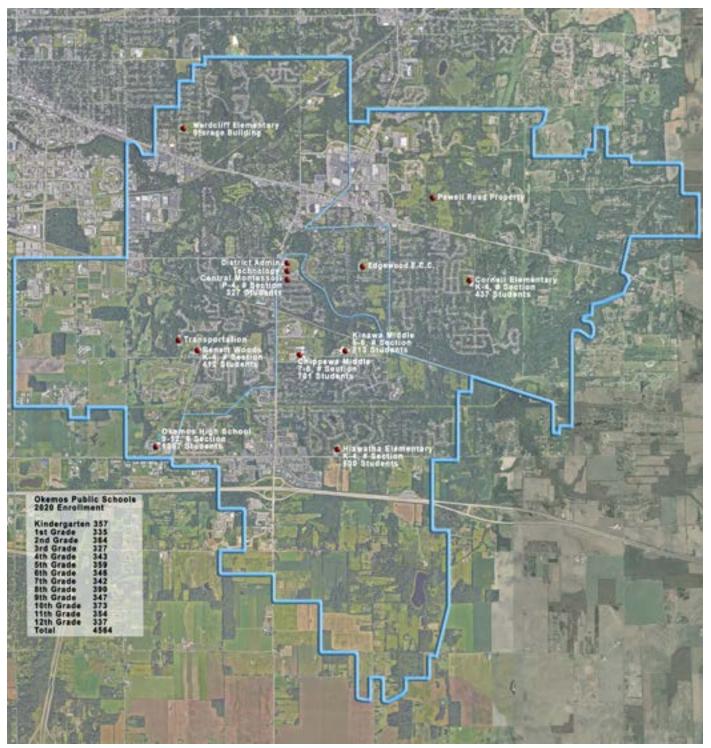
SITE	EDGEWOOD	CORNELL	BENNETT WOODS	HIAWATHA	WARDCLIFF	CENTRAL / DISTRICT ADMIN	KINAWA 5-6	CHIPPEWA 7-8	HIGH SCHOOL	ATHLETICS	BUS GARAGE	OPERATIONS
USE	Childcare / Pre-School	K-4	K-4	K-4	Closed / Community Functions	PK-4	5-6	7-8	9-12	District Athletics	Bus Service / Transportation	Operations / Technology / Maintenance
BUILT YEAR	1963	1955	1993	1988	1955	1948	1965	1958	1994	1995	1993	1975
ADD / RENOS YEAR	1966 / 1978 / 1988	1958 / 1977 / 1988	2019	N/A	1967 / 1987 / 2012	1963 / 1988	1967 / 1994 / 1996 / 2006	1963 / 1966 / 1977 / 1995	2015	N/A	N/A	N/A
BUILDING SF	33,000	43,000	60,800	62,000	33,000	68,400	154,000	196,000	320,000	9,600	8,000	3 buildings at 6,000 each
SITE AREA	12 Acres	10 Acres	45 Acres	19 Acres	20 Acres	28 Acres	72 Acres	78 Acres	96 Acres	23 Acres	15 Acres	
ENROLLMENT	65	437	469	471	N/A	345	644	712	1457	N/A	N/A	N/A
SF / STUDENT	507.69	98.40	129.64	131.63	N/A	145.09*	239.13	275.28	219.63	N/A	N/A	N/A
RECOMMENDED SF / STUDENT	200	200	200	200	200	200	230	230	260	N/A	N/A	N/A

DISTRICT SUMMARY

*Calculation based on school building's square footage only.









COST SUMMARY

The cost modeling component of this assessment is summarized in the table below. There are essentially three main components of the table. Each facility is listed individually and includes a cost estimation to perform renovations that would bring the facility up to an overall "good" rating but do not include any enhancements or expansions to the facilities, a cost estimation to replace the facility with a comparable sized new facility, and a few comparisons of the previous two cost data points. All costs were modeled at an escalated rate for performance during the year 2025. This escalation assumption accounts for the fact that if any capital improvements are performed as a result of pending decisions, the work will occur at some time in the future that is yet to be determined.

A comparison can be made between the estimated renovation costs and the estimated replacement costs in two ways. The first way is to compare the estimated costs over the anticipated extension of the useful life of the facility. For example, if an existing facility was renovated it is assumed that the useful life is extended approximately 15 years and if a facility is replaced it is assumed that the new useful life is approximately 50 years. The estimated cost of the renovations applied over the 15-year period and the estimated cost of the replacement applied over the 50-year period can be compared with the respective "cost per year" values.

Another method of comparison between the estimated renovation costs and the estimated replacement costs is known as a Facility Condition Index [FCI] which is essentially the estimated renovation cost divided by the estimated replacement cost and shown as a percent value. For this comparison metric as it relates to this specific facility assessment, it is generally accepted that facilities with an FCI of over 65% are not the best candidates for significant capital investment and should be considered for retirement from the active inventory. Facilities with a lower FCI (often relatively younger facilities) are better candidates for capital investments like renovations.

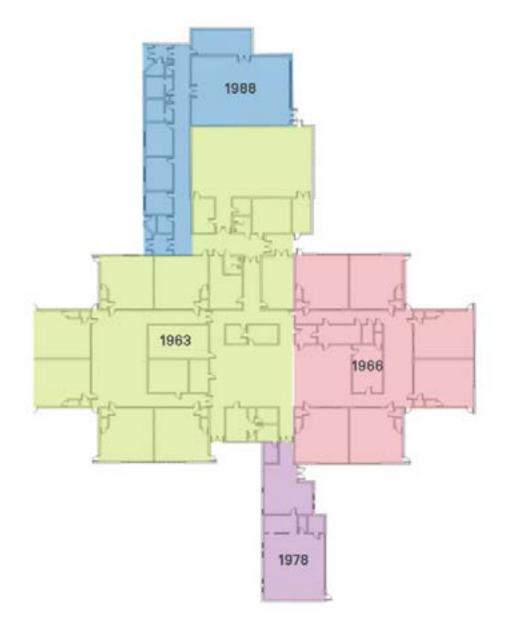
Facility	Existing Building Area (GSF)	Renovation Cost				Useful Life (yrs)	Cost per Year		Current Replacement Value (CRV)		Cost/GSF		Useful Life (yrs)	Cost per Year		Facility Condition Index (FCI)	FCI (\$ Reno. / \$ Replace)	
Edgewood ECC	33,000	\$ 9,760,51	7 5	\$ 296	68	15	\$	650,701		\$	10,560,000	\$	320	50	\$	211,200	92%	Above 85%
Cornell Elementary	43,000	\$ 14,322,35	2 \$	\$ 333	80	15	\$	954,823		\$	13,760,000	\$	320	50	\$	275,200	104%	<mark>65% - 85%</mark>
Bennett Woods Elementary	60,800	\$ 10,404,39	1 5	\$ 171	71	15	\$	693,626		\$	19,456,000	\$	320	50	\$	389,120	53%	Below 65%
Hiawatha Elementary	62,000	 \$ 11,685,58	7 5	\$ 188	75	15	\$	5 779,039		\$	19,840,000	\$	320	50	\$	396,800	59%	
Wardcliff Elementary	33,000	\$ 12,672,91	2 5	\$ 384	65	15	\$	844,861		\$	10,560,000	\$	320	50	\$	211,200	120%	
Central Montessori/District Admin.	68,400	\$ 18,257,28	7 5	\$ 267	59	15	\$	\$ 1,217,152		\$	21,888,000	\$	320	50	\$	437,760	83%	
Kinawa Middle School (5-6)	154,000	\$ 41,242,87	2 \$	\$ 268	110	15	\$	\$ 2,749,525		\$	50,050,000	\$	325	50	\$	1,001,000	<mark>82%</mark>	
Chippewa Middle School (7-8)	196,000	\$ 58,909,69	7 \$	\$ 301	123	15	\$	3,927,313		\$	63,700,000	\$	325	50	\$	1,274,000	92%	
Okemos High School	320,000	\$ 44,299,03	6 \$	\$ 138	107	15	\$	2,953,269		\$	107,200,000	\$	335	50	\$	2,144,000	41%	
Okemos High School Athletic Complex		\$ 8,950,34	7	N/A	15	N/A		N/A			N/A		N/A	N/A		N/A	N/A	
Transportation Building	8,000	\$ 1,456,71	1	\$ 182	35	15	\$	97,114		\$	2,000,000	\$	250	50	\$	40,000	73%	
Operations/Tech/Grounds Buildings	18,000	\$ 5,930,89	2 5	\$ 329	33	15	\$	395,393		\$	4,500,000	\$	250	50	\$	90,000	132%	
Total		\$ 228,132,08	5							\$	308,454,000							



DI EDGEWOOD EARLY CHILDHOOD CENTER

Use:	Childcare / Pre-School
Built:	1963
Additions + Renovations:	1966 / 1978 / 1988
Total Building Area:	33,000 SF
Site Area:	18 Acres
Enrollment:	65 students
Square Footage per Student:	508 sf/student
Renovation Cost:	\$9,760,517
Current Replacement Value (CRV):	\$10,560,000
Facility Condition Index (FCI):	92%













OBSERVATION HIGHLIGHTS

SITE

Sidewalks in poor condition throughout. Disconnected roof drains at building corners are causing ice issues in the winter. Playground equipment needs to be replaced. Visibility of the site isn't ideal for the ECC program.

ARCHITECTURE

Edgewood, once an elementary school, has transitioned to focusing on daycare, pre-school, pre-kindergarten, and child care. The center houses the Okemos Kids Club. Exterior asphalt ramps and wood stoops constructed currently at all perimeter doors need to be removed and replaced for function and ADA compatibility.

Exterior perimeter aluminum framing, windows, and glass should be updated with more thermally efficient products. Exterior perimeter metal fascia and roof gravel stop should be considered for replacement and updating. Roof leaks reported by maintenance staff at various locations throughout the building. Mold and mildew present on exterior brick at both the exterior building which is where building gas service is located and also the 'addition' created off the north end of the cafeteria as cold storage. No interior fire suppression present at this facility.

Interior hollow-metal frames and wire glass should be considered for removal and replacement. Interior door hardware not ADA compliant. The teachers still use most of the perimeter classrooms, with a dedicated wing for infants and toddlers. In addition to classrooms, the school has a gym and cafeteria.

INTERIORS

In its current condition, the building is not conducive as a child care/early learning center. There is no secure vestibule. Upon arrival you are greeted by a dimly lit, unwelcoming open space whose purpose is unclear. Classrooms lack natural light and a view to the exterior. Instead views are provided to an interior commons which can be distracting within a classroom.

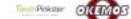
Flooring throughout the building needs to be replaced. There are many areas where carpet is puddling, creating significant trip hazards. Overall the carpet shows signs of age, wear and staining. Original vinyl asbestos floor tile will need to be abated and replaced with new flooring. Areas of vinyl composition tile (VCT) should be replaced. The cafeteria and kitchen flooring is in disrepair and should be replaced.

Ceilings are in poor condition. They are 24" x 48" acoustic panels showing significant warping and even cracking in some cases. They also appear to have a low NRC (noise reduction coefficient). Casework in classrooms appears to be original to the building and is in need of replacement. Some casework is newer in open commons areas and is in good condition.

Interior doors are primarily hollow metal in need of painting. The few wood doors in the building are in decent condition, but are not cohesive for color or wood species. Interior signs are lacking with rooms primarily identified by a room number applied on or above the door. These are not ADA compliant.

Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated. Windows include integral blinds, many of which appear to be damaged. Screens should be removed for emergency egress and such window locations should be marked as "emergency egress".

Furniture throughout the building is dated and of poor quality, not conducive to a flexible or comfortable learning environment for staff or students.



CHRISTMAN

MECHANICAL

The three stand-alone rooftop units (5-ton, 10-ton, and 3-ton) should be replaced and tied into the BMS. All exhaust fans should be replaced. And the pneumatics should be replaced with new DDC with the balance of the DDC controls for the building being upgraded. Combining the domestic hot water is desirable. Replace original flush valves and faucets in group restrooms with new automatic flush valves and faucets.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape. Panel F has open buses and needs to be replaced as this is an extreme hazard to maintenance personnel.

TECHNOLOGY

Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. The site is large and presents many opportunities for placement of a new structure.



DATA SHEETS

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		800d	fair	poot comments
				Roof drains at overhangs are cracked and disconnected, causing issues with
Drainage			х	freezing in the winter.
Asphalt Parking/ Drives	х			
Sidewalks			Х	Poor condition throughout.
Adequate Parking	х			
Bus Loop		х		
Playgrounds			x	Aged equipment (20+ years old), asphalt pavement at basketball courts needs to be replaced.
Student Drop off Area		х		
Landscaping		х		Trees near front entrance too close to the building, overhanging
Irrigation Systems				No Irrigation.
Athletic fields		х		Soccer goals are in poor condition.
Fencing		х		Fencing around ECC playground is new / in good condition.
				Temporary ramps and timber steps at building & classroom entrances need
Service Entrance		х	х	to be improved.
Signage		х		
Dumpster Location			х	No enclosure or concrete pad for dumpster.
Traffic Directions	х			Drop-off is orderly with parents and a few small buses.
Parking Lot Lighting		х		Has new retrofit LED bulbs
				Small exterior structure houses building gas meter and incoming service.
Gas House			х	Small storage shed attached. Remove and replace.
				Poor. Need to include with bond work. Site poles and building mounted
				fixtures desired. Coordinate with Security camera locations. Parking lot
				lighting did receive new LED bulbs. Consult with Mark F as the district is
Exterior Lighting			х	currently performing some of this work.

ARCHITECTURAL		Bood	fair	pool comments
Building Shell				
				Roof install dates divided into (3) areas - reference roof report. 2006-2008
				Firestone membrane. Roof drains at exterior corner "porches" leak and drain
				to grade. No exterior storm or sanitary connection. Leaks present at Kitchen
Roofing			х	location. New brown gravel stop/fascia at roof line.
				certain locations. Single pane units present. Integral blinds damaged in some
Exterior Windows			х	locations.
				No issues with building drainage (just roof drains at exterior corner
Positive Drainage	х			"overhangs")
Defined Entry		х		Southeast corner of the building (no signage).
				Asphalt ramps to main entrance. Wood platforms at all classrooms exterior
Accessibility			х	egress doors. Need to replace and upgrade.



ARCHITECTURAL (CON'T)		BOOM	fair	poot comments
				Exterior perimeter upper porcelain fascia panels and soffits need to be
				replaced. Paint peeling, presence of moisture/water/mildew present at
Fascia/Soffits			х	certain locations.
Transite Panels		х		
Brick	х			Needs to be cleaned/washed.
EIFS				N/A
Caulk Joints		х		Need to be replaced at certain locations
				Present. Causing for further investigation. Staining on brick around existing
Water Stains		х		louver openings, splices in window flashings
Exterior Doors			х	Need to be replaced. Original. Single pane wire glass present.
				No prominent main entrance. No secure vestibule. No card access upgrades
				present at this building. Should be updated to match work already completed
Building Entrance			х	on interior and exterior doors within the district.
				Minimal. The district is retrofitting to LED and prefers to leave exterior
Exterior Lighting		х		fixtures on all night for security purposes.
				dated but functional. Need to address barrier free access (wood ramps) at
Secondary Entrances			х	classroom doors and building entrances.
				Cafeteria storage room (add-on) not an interior conditioned space. Exterior
				has potential for mildew/mold growth due to temperature differential.
				Recommend demolishing this small addition. Similar conditions at the
Structure		х		outbuilding at the northeast side of the building.
Exterior Walls		х		Brick is ok. Exterior clad-on 'porcelain' panel fascia needs to be replaced.

INTERIORS / FINISHES		Bood	fair	pool comments
Corridors				
				Some upgrades to fixture bulbs (LED). Most fixtures and ceiling should be
Lights		х		replaced/ New fixtures installed in the select bathrooms that were
				Need to replace and upgrade through-out building. Possible (9x9) tile below
				carpet. Carpet predominant in each classroom. Some classrooms with VCT
Flooring			х	(12x12) / Rubber flooring.
				Need to replace and upgrade throughout the building. Ceiling currently has
Ceiling/Walls			х	fiberglass lay-in tiles. Repaint throughout.
Lockers		х		
				Replace - HM currently. Rust/Old/Worn/Tired. Replace door knobs with
Doors		х		barrier free levers.
Lighting		х		Replace with new fixtures (efficient and better lighting)
Size of Corridor	х			Lots of space, wide corridors, maybe room to expand classrooms footprint.
				Large spaces. Fire extinguishers cabinets and coat hooks present in exterior
Flow of Corridor	х			corridors. Newer drinking fountains at some locations.
				Present. Corridors/Rooms clean and egress paths present. Some individual
Emergency Egress	х			rooms have exterior doors for egress as well.
Vestibules		х		Old HM painted frames with wire glass. Replace. Upgrade.
Cabinets at Building				Poor condition. Replace. Renovate.
Entrances			х	
Drinking Fountains		х		(2) remodeled. Remainder need to be replaced.
Interior Signage			Х	Needed. Almost non-existent. What is provided is not ADA compliant.
Classrooms				
				Replace. Carpet predominant in each classroom. We did find classrooms with
Flooring		х		VCT (12x12) / Rubber flooring.
Ceiling		х		Replace. 2x4 ceiling grid and pads present.
				Not functional - existing storefront aluminum with operable
Egress Windows			х	windows/screens. Classrooms have exterior egress doors.



INTERIORS / FINISHES (CON'T)		Bood	tait	pool comments
				Replace. Classrooms have small individual closets next to bathrooms. Can be
Casework			Х	removed.
Marker/Chalkboards	х			Functional
Heat	Х			
Air-Conditioning	Х			Classroom have individual units.
Daylight		х		Minimal exterior natural light
Overall Size	Х			Good size rooms (approx. 25x25)
				Replace - Hollow-metal. Not thermal efficient. Building did not receive
				interior or exterior electronic card access hardware upgrades with recent
Doors			х	bond package.
Lighting			х	Recent bulb replacement. Not well done.
Air-Conditioning	х			Classrooms received new unit vents with previous bond cycle.
Power Outlets	Х			Present. Seem to be enough based on classroom use
				This building is a daycare center (transformed from originally an elementary
				school). A few additions to the building were noticeable. There is a
				infant/toddler wing to the south end of the building. Parents drop kids off,
Function		х		limited bus use to and from the facility, parents return for pick-up.
				CMU/Paint. Existing painted hollow-metal frames with wire glass divide
Walls		x		corridors from classrooms. Need to be repainted.
Furniture		x		
Toilet Rooms		~		
				Classroom locations not ADA (small and tight space - no good for anyone
Fixtures Operational			v	helping the child use the bathroom). Finishes and fixtures should be replaced.
Fixtures Operational			Х	Corridor locations in good condition,
				Not present at classroom locations. Staff and corridor bathrooms were
Toilet Partitions		х		upgraded and replaced with previous bond cycle.
Walls		х		
Floors		х		
Floor Drains		х		No issues reported.
Lighting		х		Need new fixtures and ceilings.
Hand Dryers		х		At corridor restrooms
Ceilings	Х			
Mirrors	Х			
ADA Accessible		х		Corridor locations ok. Classroom location not ok or up to date.
Adequate Size	х			Classroom toilet rooms are small/compact/not ADA compliant.
Gymnasium				
				Rubber (sheet good) floor. Recently replaced. Not aging well
Flooring		х		bubbles/welds/wear present.
Lights		х		Bulb replacements recent. Can upgrade fixtures with future renovations
HVAC		х		Consider adding Rooftop unit. Fire-alarm devices present
Daylight			х	No exterior natural lighting. No AC.
Gym Equipment		х		No wall padding present.
Doors		х		Replace - interior and exterior locations
Size	х			Ok. Seems small but probably usable for the age-group
Bleachers				Not present
Egress	х			Present (egress interior to cafeteria). One exterior door present.
Walls/Ceilings	x			CMU/Painted/acoustical panels present. Walls needs to be repainted.
Cafeteria				
Flooring		х		Rubber sheet good. Functional/Newer install.
Ceilings/Walls		x		2x4 grid and tiles. Should update.
Accessibility	х	^		באי בווע מווע נווכז. זווטעוע ערעמוני.
-	~	v		Chauldungrada
Lighting		х		Should upgrade.
Seating	Х	I		Older tables. Should upgrade.



INTERIORS / FINISHES (CON'T)		Bood	fair	se ^{ol} comments
				Nice size room. Exterior natural light (looking east) present. Add on area -
size	Х			exterior brick present on walls
Air-Conditioning				N/A
				Good. But existing storefront (exterior) should be replaced. (integral blinds
Daylight	Х			present)
Overall Size	х			Nice size room. No comments from district about limited space/function.
_				Aluminum exterior pair of doors (functional). Interior hollow-metal frames
Doors		Х		and wood doors could be replaced (update hardware)
Egress		х		Ok. Exterior egress present
Offices				
Flooring			Х	Carpet needs to be replaced. Update.
Furniture			Х	Small space/ Need to expand and update based on building tenant needs.
Ceilings		Х		2x4 ceilings throughout. Item should be considered for replacement.
Paging			Х	Update
Master Clock			Х	Update
Phone System			х	Update
Lighting			х	Should upgrade.
Copy/Work Room		Х		
Meeting Rooms			Х	Not present within office. Recycling room being used next to office space.
Coffee Break Area			Х	Not present within office.
Bathroom(s)			Х	Not present within office.
Health Room with Toilet			Х	
Visibility			Х	"closed space" - not open to surrounding areas exterior or interior.
Media Center				
Size				N/A - no dedicated room currently in use for the media center based on childcare function.
Flooring				
Lighting				
Office Space				
Ventilation				
Doors				
Ceilings				
Kitchen				
				Building is used as a childcare center- not elementary school. Existing kitchen
Program				and cafeteria present on north end of building.
				JRA to provide list for selecting new equipment. Large 3 compartment sink,
Equipment		х		no ovens, (3) free standing coolers, washer & dryer retrofit
- 40.0				ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling
Ceilings			х	tiles/diffusers/grilles all need to be replaced.
Cooler/Freezer				Walk-in units not present.
				Replace- currently newer rubber sheet vinyl in kitchen and cafeteria. Floor
Floors			x	drains and sinks need to be serviced and cleaned.
			~	Receiving area at far NW corner of building. Staff parking lot has large semi
				turnaround ability. No receiving dock. Need to add large entry for
Delivery Space			x	delivery/receiving/unloading. No covered protection currently.
			~	No storage space. Auxiliary 'cold storage' added to north end of cafeteria.
Storage Space			x	Room needs to be removed and replaced.
Kitchen Hood			x	Hood present. Remove and replace.
Serving Line			~	No serving line.
Electrical		х		No issues noted - such as too few outlets/location/breaker capacity
Lighting		x		Upgrade light fixtures
Fire Suppression/FA		~	х	
In Coupression/FA			~	No fire suppression present. Fire alarm present.
Overall				ECC center. Some small food prep, dishwashing, receive small deliveries from HS.



MECHANICAL		BOOD	tair	39 ^{ot} comments
Heating Source and				Building is served by (2) Thermal Solutions Boilers, 1,000 MBH installed in
Condition		Х		2003.
				Building is served by (3) Taco inline zone pumps installed in 2003. (2) 25 gpm,
Heating Pumps and Piping		Х		20' HD, (1) 60 gpm @ 41' HD
Cooling Source and				Building is served by individual DX cooling.
Condition	Х			
Cooling Pumps and Piping				N/A.
Terminal Devices	Х			(18) Classrooms served by unit vents with remote condensing units on roof.
				There are (4) RTU's. One 5-ton RTU is newer with cooling. The other (3) RTU's
AHUs and RTUs		Х		are stand-alone. (1) 5-ton RTU, (1) 10-ton RTU, (1) 3-ton RTU
				All exhaust fans are original with the exception of the exhaust fans serving
				the remodeled group restrooms. (1) 600 cfm EF, (4) 150 cfm EF's, (1) 250 cfm
Ventilation			Х	EF, (1) 300 cfm EF, (1) 1,400 cfm EF
Building Management				Building served by Trane Trace with partial pneumatics. Would like to
System/Controls			Х	upgrade graphics
Domestic Water Piping			Х	Storm has leaks. Can't get access.
				Building is served by (2) water heaters. One 75 gallon, 350 MBH is at the end
Water Heaters		Х		of life. The other was installed in 2013.
				Group restrooms remodeled in 2019. Electric water coolers with bottle fillers
Plumbing Fixtures		Х		are new. All others are original.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL		800d	Fair	pool comments
Transformer size	х			
Primary/Secondary Service	х			
Generator				There is no generator on site.
Occupancy Sensors				N/A
Lighting Control System		х		Toggle switches. Needs updating.
				Majority of panels are in good shape. Panel F has open busses and needs to
Panels	х			be replaced.
Panel Clearance	х			Need to remove storage items.
Interior Lighting			х	Fluorescent fixtures throughout need to be replaced.
Exit Signs			х	Exit signs are very old and letters are dim.
				Upgraded in the last 5 years. Future upgrades could include voice activation
Fire Alarm		х		(district wide)

TECHNOLOGY		Bood	tair	pool comments
IT Rooms		х		MDF needs AC. Old equipment needs to be removed.
Fiber Optic Cabling				Older single mode fiber between buildings, multimode between IT rooms,
(between buildings/IT				some CAT6 tie lines between racks.
rooms)		х		
Data Cabling (within				CAT 6 cabling. Switches were upgraded recently.
buildings)	х			
Bells/Paging System			х	Need to update paging for the district.
Clock System			х	There is no synchronized clock system. Using atomic clocks.
Classroom Audio/Video				Standard throw projectors being replaced with 75" interactive displays. Plan
Systems	х			to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video				Gym and cafeteria have no AV.
Systems			х	
Security Camera System			х	Need to update Sony cameras and VMS (currently exacqvision software)
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt
Access Control System		х		SMS.

Terres Pirskaar OKEMOS



BUDGET DETAIL

ITEM #:	II			_	Acres:	_	E
	Edgewood ECC - Sitewor	·k					
	Description	Quantity	UOM	-	Unit Cost		Total Cost
Sitework	SITEWORK					\$	-
Drainage	Roof drains at overhangs are cracked and disconnected, causing issues with	I	LS	\$	50,000.00	\$	50,00
	freezing in the winter.						
Asphalt Parking/ Drives			assume wo	ork not r	required	\$	-
Sidewalks	Poor condition throughout.	1,739	SF	\$	11.50	\$	19,99
Adequate Parking						\$	-
Bus Loop						\$	-
Playgrounds	Aged equipment (20+ years old), asphalt pavement at basketball courts needs to	1	LS	\$	300,000.00	\$	300,0
	be replaced.						
Student Drop off Area						\$	-
Landscaping	Trees near front entrance too close to the building, overhanging					\$	-
Irrigation Systems	No Irrigation.					\$	-
Athletic fields	Soccer goals are in poor condition.					\$	-
	Fencing around ECC playground is new / in good condition.					\$	-
-	Temporary ramps and timber steps at building & classroom entrances need to be					\$	-
	improved.					•	
Signage						\$	
	No enclosure or concrete pad for dumpster.					\$	
	Drop-off is orderly with parents and a few small buses.					₽ \$	
	Has new retrofit LED bulbs		assume by	ownor		Ψ	
			assume by	Owner		\$	
Gas House	Small exterior structure houses building gas meter and incoming service. Small					Þ	-
	storage shed attached. Remove and replace.				3.750.00	•	
Exterior Lighting	Poor. Need to include with bond work. Site poles and building mounted fixtures	10	EA	\$	3,750.00	\$	37,5
	desired. Coordinate with Security camera locations. Parking lot lighting did						
	receive new LED bulbs. Consult with Mark F as the district is currently performing						
	some of this work.						
						\$	-
						\$	-
						\$	-
	Direct Trade	12	acres	\$	33,958.21	\$ \$	407,4
	Direct Trade	12	acres	\$	33,958.21	· ·	407,49
ITEM #:		12	acres		33,958.21 Gross Area:	· ·	
ITEM #:	12	12	acres			· ·	407,49
ITEM #:	12 Edgewood ECC - Building Improvements				iross Area:	· ·	33,00
	12 Edgewood ECC - Building Improvements Description	12 Quantity	acres UOM			\$	
Building Shell	12 Edgewood ECC - Building Improvements Description BUILDING SHELL	Quantity	UOM	G	Gross Area: Unit Cost	\$	33,00 Total Cost
Building Shell	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008		UOM		iross Area:	\$	33,00 Total Cost
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Building Shell Roofing	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line. Need to be replaced. Original. Not thermally efficient or operational in certain	Quantity 33,000	UOM	G	Gross Area: Unit Cost	\$	33,00 Total Cost 924,0
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Building Shell Roofing Exterior Windows Positive Drainage	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line. Need to be replaced. Original. Not thermally efficient or operational in certain locations. Single pane units present. Integral blinds damaged in some locations.	Quantity 33,000	UOM SF	\$	Unit Cost 28.00	\$ \$ \$	33,00 Total Cost - 924,0 100,0
Building Shell Roofing Exterior Windows Positive Drainage Defined Entry	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line. Need to be replaced. Original. Not thermally efficient or operational in certain locations. Single pane units present. Integral blinds damaged in some locations. No issues with building drainage (just roof drains at exterior corner "overhangs")	Quantity 33,000	UOM SF LS	\$	Gross Area: Unit Cost 28.00	\$ \$ \$ \$	33,00 Total Cost 924,0 100,0 10,0
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Building Shell Roofing Exterior Windows Positive Drainage Defined Entry Accessibility Fascia/Soffits	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line. Need to be replaced. Original. Not thermally efficient or operational in certain locations. Single pane units present. Integral blinds damaged in some locations. No issues with building drainage (just roof drains at exterior corner "overhangs") Southeast corner of the building (no signage). Asphalt ramps to main entrance. Wood platforms at all classrooms exterior egress doors. Need to replace and upgrade. Exterior perimeter upper porcelain fascia panels and soffits need to be replaced. Paint peeling. presence of moisture/water/mildew present at certain locations.	Quantity 33,000	UOM SF LS EA LS	C \$ \$ \$ \$ \$ \$ \$	Gross Area: Unit Cost 28.00 100,000.00 10,000.00 7,500.00 75,000.00	\$ \$ \$ \$ \$ \$ \$	33,00 Total Cost - - - - - - - - - - - - -
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Building Shell Roofing Exterior Windows Positive Drainage Defined Entry Accessibility Fascia/Soffits Transite Panels Brick EIFS Fascia/Soffits Caulk Joints	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line. Need to be replaced. Original. Not thermally efficient or operational in certain locations. Single pane units present. Integral blinds damaged in some locations. No issues with building drainage (just roof drains at exterior corner "overhangs") Southeast corner of the building (no signage). Asphalt ramps to main entrance. Wood platforms at all classrooms exterior egress doors. Need to replace and upgrade. Exterior perimeter upper porcelain fascia panels and soffits need to be replaced. Paint peeling, presence of moisture/water/mildew present at certain locations. N/A Need to be replaced at certain locations	Quantity 33,000	UOM SF LS LS EA LS assume wc see item al	C \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	Gross Area: Unit Cost 28.00 100,000.00 10,000.00 7,500.00 75,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	33,00 Total Cost 924,0 100,0 100,0 10
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Building Shell Roofing Exterior Windows Positive Drainage Defined Entry Accessibility Fascia/Soffits Transite Panels Brick EIFS Fascia/Soffits Caulk Joints Water Stains	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line. Need to be replaced. Original. Not thermally efficient or operational in certain locations. Single pane units present. Integral blinds damaged in some locations. No issues with building drainage (just roof drains at exterior corner "overhangs") Southeast corner of the building (no signage). Asphalt ramps to main entrance. Wood platforms at all classrooms exterior egress doors. Need to replace and upgrade. Exterior perimeter upper porcelain fascia panels and soffits need to be replaced. Paint peeling, presence of moisture/water/mildew present at certain locations. N/A Need to be replaced at certain locations Present. Causing for further investigation. Staining on brick around existing louver openings, splices in window flashings	Quantity 33,000 1 1 24 1 1 1 1 1 1 1 1 1	UOM SF LS LS EA LS EA LS see item at not applica LS	C \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	Gross Area: Unit Cost 28.00 100,000.00 10,000.00 75,000.00 75,000.00 required 5,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	33,00
Building Shell Roofing Exterior Windows Positive Drainage Defined Entry Accessibility Fascia/Soffits Transite Panels Brick EIFS Fascia/Soffits Caulk Joints Water Stains	12 Edgewood ECC - Building Improvements Description BUILDING SHELL Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line. Need to be replaced. Original. Not thermally efficient or operational in certain locations. Single pane units present. Integral blinds damaged in some locations. No issues with building drainage (just roof drains at exterior corner "overhangs") Southeast corner of the building (no signage). Asphalt ramps to main entrance. Wood platforms at all classrooms exterior egress doors. Need to replace and upgrade. Exterior perimeter upper porcelain fascia panels and soffits need to be replaced. Paint peeling, presence of moisture/water/mildew present at certain locations. N/A Need to be replaced at certain locations Present. Causing for further investigation. Staining on brick around existing louver	Quantity 33,000 1 1 24 1 1 1 1 1 1 1 1 1	UOM SF LS LS EA LS EA LS see item al not applica	C \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	Gross Area: Unit Cost 28.00 100,000.00 10,000.00 75,000.00 75,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	33,00 Total Cost - - - - - - - - - - - - -
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Exterior Lighting	Minimal. Mark F changing bulbs to LED. Mark like to leave exterior fixtures on all	I	LS	\$	15,000.00	\$	15,000
Secondary Entrances	night for security purposes. Coordinate further with Mark. dated but functional. Need to adress barrier free access (wood ramps) at		see item al	pove		\$	-
	classroom doors and building entrances.						
Structure	Cafeteria storage room (add-on) not an interior conditioned space. Exterior has potential for mildew/mold growth due to temperature differential. Recommend demolishing this small addition. Similar conditions at the outbuilding at the northeast side of the building.	I	LS	\$	50,000.00	\$	50,000
Exterior Walls	Brick is ok. Exterior clad-on 'porcelain' panel fascia needs to be replaced.					\$	_
	brick is ok. Exterior clad-on porcelain panel lascia needs to be replaced.					\$	
	INTERIORS					\$	-
	Paint/refresh entire building	33,000		\$	1.50	\$	49,500
Corridors	Corridors	7,661		-		\$	-
Lighting	Some upgrades to fixture bulbs (LED). Most fixtures and ceiling should be replaced/ New fixtures installed in the select bathrooms that were renovated.	7,661	SF	\$	7.50	\$	57,458
Flooring	Need to replace and upgrade through-out building. Possible (9x9) tile below carpet. Carpet predominant in each classroom. Some classrooms with VCT (12x12) / Rubber flooring.	851.22	SY	\$	63.54	\$	54,087
Ceilings/Walls	Need to replace and upgrade throughout the building. Ceiling currently has fibreglass lay-in tiles. Repaint throughout.	7,661	SF	\$	12.00	\$	91,932
Lockers	Some corridors have lockers (should be removed and upgraded). No lockers presented in any of the classrooms	250	EA	\$	350.00	\$	87,500
Doors	Replace - HM currently. Rust/Old/Worn/Tired. Replace door knobs with barrier free levers.	10	EA	\$	3,500.00	\$	35,000
Lighting	Replace with new fixtures (efficient and better lighting)		in above			\$	-
-	Add diffuser and grilles with new ceilings	7,661	SF	\$	0.50	\$	3,831
Size of Corridor	Lots of space, wide corridors, maybe room to expand classrooms footprint.					\$	-
Floor of Corridor	Large spaces. Fire extinguishers cabinets and coat hooks present in exterior corridors. Newer drinking fountains at some locations.					\$	-
Emergency Egress	Present. Corridors/Rooms clean and egress paths present. Some individual rooms have exterior doors for egress as well.					\$	-
Glass Transoms						\$	-
	Old HM painted frames with wire glass. Replace. Upgrade. Poor condition. Replace. Renovate.	35	LS LF	\$ \$	50,000.00 750.00	\$	50,000 26,250
-	(2) remodeled. Remainder need to be replaced.		EA	.⊅ \$	12,000.00	∓ \$	26,230
-	Needed. Almost non-existent. What is provided is not ADA compliant. Include fro entrie school	33,000		\$	0.55	\$	18,150
Classrooms	Classrooms	13,009	SF			\$	-
Flooring	Replace. Carpet predominant in each classroom. We did find classrooms with VCT (12x12) / Rubber flooring.	1,445.44	SY	\$	63.54	\$	91,844
	Replace. 2x4 ceiling grid and pads present.	13,009	SE	\$	9.00	÷	117.001
		,	51	+	7.00	\$	117,081
Egress Windows	Not functional - existing storefront aluminum with operable windows/screens.	10,007	51	Ŧ	7.00	\$ \$	-
-	Not functional - existing storefront aluminum with operable windows/screens. Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed.	272		\$	450.00		- 122,400
-	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed.					\$	-
Casework Marker/Chalkboards Heating	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings		LF			\$ \$ \$	-
Casework Marker/Chalkboards Heating Air-Conditioning	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units.	272	LF	\$	450.00 0.50	\$ \$ \$ \$ \$	- 122,400 -
Casework Marker/Chalkboards Heating Air-Conditioning Daylight	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light	272	LF SF	\$	450.00 0.50	\$ \$ \$ \$ \$	- 122,400 - 6,505 - - -
Casework Marker/Chalkboards Heating Air-Conditioning Daylight Overall Size	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light Good size rooms (approx. 25x25)	13,009	LF SF	\$ \$ rk not r	450.00 0.50 equired	\$ \$ \$ \$ \$ \$	- 122,400 - 6,505 - - - -
Casework Marker/Chalkboards Heating Air-Conditioning Daylight Overall Size	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light	272	LF SF	\$	450.00 0.50	\$ \$ \$ \$ \$	- 122,400 - 6,505 - - -
Casework Marker/Chalkboards Heating Air-Conditioning Daylight Overall Size Doors	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light Good size rooms (approx. 25x25) Replace - Hollow-metal. Not thermal efficient. Building did not receive interior or	13,009	LF SF assume wc	\$ \$ rk not r	450.00 0.50 equired	\$ \$ \$ \$ \$ \$	- 122,400 - 6,505 - - - -
Casework Marker/Chalkboards Heating Air-Conditioning Daylight Overall Size Doors Lighting Air-Conditioning	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light Good size rooms (approx. 25x25) Replace - Hollow-metal. Not thermal efficient. Building did not receive interior or exterior electronic card access hardware upgrades with recent bond package. Recent bulb replacement. Not well done. Classrooms received new unit vents with previous bond cycle.	13,009	LF SF assume wc	\$ \$ srk not r \$ \$	450.00 0.50 equired 3,500.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 122,400 - 6,505 - - - 59,500
Casework Marker/Chalkboards Heating Air-Conditioning Daylight Overall Size Doors Lighting Air-Conditioning Power Outlets	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light Good size rooms (approx. 25x25) Replace - Hollow-metal. Not thermal efficient. Building did not receive interior or exterior electronic card access hardware upgrades with recent bond package. Recent bulb replacement. Not well done. Classrooms received new unit vents with previous bond cycle. Present. Seem to be enough based on classroom use	13,009	LF SF assume wc	\$ \$ srk not r \$ \$	450.00 0.50 equired 3,500.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 122,400 - 6,505 - - - 59,500 91,063 - - -
Casework Marker/Chalkboards Heating Air-Conditioning Daylight Overall Size Doors Lighting Air-Conditioning Power Outlets	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light Good size rooms (approx. 25x25) Replace - Hollow-metal. Not thermal efficient. Building did not receive interior or exterior electronic card access hardware upgrades with recent bond package. Recent bulb replacement. Not well done. Classrooms received new unit vents with previous bond cycle.	13,009	LF SF assume wc	\$ \$ srk not r \$ \$	450.00 0.50 equired 3,500.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 122,400 - 6,505 - - - 59,500 91,063 - -
Casework Marker/Chalkboards Heating Air-Conditioning Daylight Overall Size Doors Lighting Air-Conditioning Power Outlets Function	Classrooms have exterior egress doors. Replace. Classrooms have small individual closets next to bathrooms. Can be removed. MBS - functional Add diffuser and grilles with new ceilings Classroom have individual units. Minimal exterior natural light Good size rooms (approx. 25x25) Replace - Hollow-metal. Not thermal efficient. Building did not receive interior or exterior electronic card access hardware upgrades with recent bond package. Recent bulb replacement. Not well done. Classrooms received new unit vents with previous bond cycle. Present. Seem to be enough based on classroom use This building is a daycare center (transformed from originally an elementary school). A few additions to the building. Parents drop kids off, limited bus use to and	13,009	LF SF assume wo	\$ \$ srk not r \$ \$	450.00 0.50 equired 3,500.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 122,400 - 6,505 - - - 59,500 91,063 - - -



Toile	et Rooms	Toilet Rooms	918	SF		\$	
		Classroom locations not ADA (small and tight space - no good for anyone helping	918		\$ 275.00	\$	252,450
Tonet Root	in opgrade	the child use the bathroom). Finishes and fixtures should be replaced. Corridor	710	51	φ 275.00	Ψ	101, 100
		locations in good condition,					
Toilet	t Partitions	Not present at classroom locations. Staff and corridor bathrooms were upgraded		assume wo	ork not required	\$	-
		and replaced with previous bond cycle.					
	Walls			see item al	ove	\$	-
	Floors			see item at		\$	-
Flo		No issues reported.		see item at		\$	-
		Need new fixtures and ceilings.	918		\$ 8.00	\$	7,344
Ha		At corridor restrooms	7.0	see item al		\$	-
	Ceilings			see item at		\$	-
	Mirrors			see item at		\$	-
	Accessible	Corridor locations ok. Classroom location not ok or up to date.		see item at		\$	-
		Classroom toilet rooms are small/compact/not ADA compliant.		see item at		\$	-
	nnasium	Gymnasium	2,662	SF			-
		Rubber (sheet good) floor. Recently replaced. Not aging well	2,662		\$ 14.00	\$	37,268
	ricoring	bubbles/welds/wear present.	2,002	51	φ 1.00	Ψ	57,200
	Lighting	Bubbles/Weids/Wear present. Bulb replacements recent. Can upgrade fixtures with future renovations	2,662	CE.	\$ 11.00	\$	29,282
		· · · · · · · · · · · · · · · · · · ·	2,002	LS		.⊅ \$	
		Consider adding Rooftop unit. Fire-alarm devices present	2,662	SF	\$ 50,000.00		50,000
		No exterior natural lighting. No AC.			\$ 50.00	\$	
Gym		No wall padding present.	250		\$ 15.00	\$	3,750
		Replace - interior and exterior locations	24	EA	\$ 5,750.00	\$	138,000
	Size	Ok. Seems small but probably usable for the age-group				\$	-
		Not present				\$	-
	Egress	Present (egress interior to cafeteria). One exterior door present.				\$	-
Wa	lls/Ceilings	CMU/Painted/acoustical panels present. Walls needs to be repainted.	2,662	SF	\$ 4.00	\$	10,648
(Cafeteria	Cafeteria	2,042	SF		\$	-
	Flooring	Rubber sheet good. Functional/Newer install.				\$	-
Cei	lings/Walls	2x4 grid and tiles. Should update.	2,042	SF	\$ 12.00	\$	24,504
A	ccessibility					\$	-
	Lighting	Should upgrade.	2,042		\$ 8.50	\$	17,357
		Add diffuser and grilles with new ceilings	2,042	SF	\$ 0.50	\$	1,021
		Older tables. Should upgrade.				\$	-
		Nice size room. Exterior natural light (looking east) present. Add on area -				\$	-
		exterior brick present on walls				· ·	
Air-Co	onditioning					\$	-
		Good. But existing storefront (exterior) should be replaced. (integral blinds				\$	-
	Dayngrie	present)				Ψ	
0)vorall Sizo	Nice size room. No comments from district about limited space/function.				\$	-
		Aluminum exterior pair of doors (functional). Interior hollow-metal frames and	4	EA	\$ 3,500.00	\$	21,000
	Doors		0	L7	ф 3,500.00	φ	21,000
	Egnada	wood doors could be replaced (update hardware)				\$	-
		Ok. Exterior egress present	2 (40	CT.		۰ ۶	-
	Offices	Offices	2,649		¢ (254	· ·	-
	-	Carpet needs to be replaced. Update.	294.33	51	\$ 63.54	\$	18,702
		Small space/ Need to expand and update based on building tenant needs.				\$	-
		2x4 ceilings through-out. Item should be considered for replacement.	2,649	-	\$ 12.00	\$	31,788
		Update		in elec belo		\$	-
	ster Clock			in elec belo	W	\$	-
Pho	one System	-		in elec belo		\$	-
		Should upgrade.	2,649		\$ 8.00	\$	21,192
	Heating	Add diffuser and grilles with new ceilings	2,649	SF	\$ 0.50	\$	1,325
Copy/W	ork Room					\$	-
Meet	ing Rooms	Not present within office. Recycling room being used next to office space.				\$	-
Coffee E	Break Area	Not present within office.				\$	-
Ba	athroom(s)	Not present within office.		assume wo	ork not required	\$	-
Health Room v	with Toilet					\$	-
	Visibility	"closed space" - not open to surrounding areas exterior or interior.				\$	-
Medi	ia Center	Media Center	1,859	SF		\$	-
		N/A - no dedicated room currently in use for the media center based on childcare				\$	-
		function.				1	
	Flooring					\$	-
	Lighting				1	\$	-
0	ffice Space				1	\$	-
	Ventilation					\$	
						⊅ \$	-
	Doors					· ·	-
				1		\$	-
	Ceilings						
	ry Spaces	Auxiliary Spaces				\$	-
Ger	ry Spaces neral Note	Auxiliary Spaces				\$	-
Ger Ger	ry Spaces	Auxiliary Spaces					

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696 SF \$	Kitchen Kitchen	Kitchen
eria \$	Program Building is childcare center- not elementary school. Existing kitchen and cafeteria	Program
io \$	present on north end of building.	Equipment
۵ ۱	Equipment JRA to provide list for selecting new equipment. Large 3 compartment sink, no ovens, (3) free standing coolers, washer & dryer retrofit	Equipment
696 \$ 12.00 \$	Ceilings ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling	Ceilings
	tiles/diffusers/grilles all need to be replaced.	Castar/Frances
rains 696 \$ 14.00 \$	oler/Freezer Walk-in units not present. Floors Replace- currently newer rubber sheet vinyl in kitchen and cafeteria. Floor drains	
	and sinks need to be serviced and cleaned.	
\$	elivery Space Receiving area at far NW corner of building. Staff parking lot has large semi	Delivery Space
	turnaround ability. No receiving dock. Need to add large entry for	
00m 300 SF \$ 275.00 \$	delivery/receiving/unloading. No covered protection currently. torage Space No storage space. Auxiliary 'cold storage' added to north end of cafeteria. Room	Storage Space
	needs to be removed and replaced.	
\$	itchen Hood Hood present. Remove and replace.	Kitchen Hood
\$ \$		Make-up Air
\$\$	Serving Line No serving line. Electrical No issues noted - such as too few outlets/location/breaker capacity	
696 SF \$ 8.00 \$	Lighting Upgrade light fixtures	
696 SF \$ 0.50 \$	Heating Add diffuser and grilles with new ceilings	
\$	Secured	
\$	ppression/FA No fire suppression present. Fire alarm present.	Fire Suppression/FA
n HS. \$	Overall ECC center. Some small food prep, dishwashing, receive small deliveries from HS.	Overall
\$		
	MECHANICAL	
03. assume work not required \$	ad Condition Building is served by (2) Thermal Solutions Boilers, 1,000 MBH installed in 2003.	leating Source and Condition
, 20' assume work not required \$	os and Piping Building is served by (3) Taco inline zone pumps installed in 2003. (2) 25 gpm, 20'	Heating Pumps and Piping
	HD, (I) 60 gpm @ 41' HD	
assume work not required \$	nd Condition Building is served by individual DX cooling.	-
\$		Cooling Pumps and Piping
assume work not required \$	inal Devices (18) Classrooms served by unit vents with remote condensing units on roof.	l erminal Devices
nd- see below	Js and RTUs There are (4) RTU's. One is newer with cooling. The other (3) RTU's are stand-	AHUs and RTUs
	alone.	
I LS \$ 50,000.00 \$	Js and RTUs replacing (1) 5-ton RTU, (1) 10-ton RTU, (1) 3-ton RTU	
	Ventilation All exhaust fans are original with the exception of the exhaust fans serving the	Ventilation
, (1)	remodeled group restrooms. (1) 600 cfm EF, (4) 150 cfm EF's, (1) 250 cfm EF, (1) 300 cfm EF, (1) 1,400 cfm EF	
de 33,000 SF \$ 5.00 \$		Building Management
	em/Controls graphics	System/Controls
33,000 SF \$ 3.50 \$	-	
of I EA \$ 8,200.00 \$	ater Heaters Building is served by (2) water heaters. One 75 gallon, 350 MBH is at the end of	
rs are assume work not required \$	life. The other was installed in 2013. bing Fixtures Group restrooms remodeled in 2019. Electric water coolers with bottle fillers are	
	new. All others are original.	Tidifibiling Tixtures
\$	e Protection N/A.	Fire Protection
\$	ol equipment N/A.	Pool equipment
\$		
\$	ELECTRICAL	Transformer size
1 1 1 3		Primary/Secondary Service
	Generator There is no generator on site.	, ,
\$ \$		
\$	Eigning inst. alleas unaccounted for	Occupancy Sensors
\$ 3,363 SF \$ 7.00 \$ \$	ancy Sensors N/A	1 /
\$ \$ 3,363 SF \$ \$ 33,000 SF \$ 1.50 \$	ancy Sensors N/A ntrol System Toggle switches. Needs updating. 3	Lighting Control System
\$ \$ 3,363 SF \$ \$ 33,000 SF \$ 1.50 \$	ancy Sensors N/A ntrol System Toggle switches. Needs updating. 3 Panels Majority of panels are in good shape. Panel F has open busses and needs to be	Lighting Control System
\$ \$ 3,363 SF \$ \$ 33,000 SF \$ 1.50 \$	ancy Sensors N/A ntrol System Toggle switches. Needs updating. 3	Lighting Control System Panels
3,363 SF \$ 3,360 SF \$ 33,000 SF \$ 1 EA \$	ancy Sensors N/A ntrol System Toggle switches. Needs updating. 3 Panels Majority of panels are in good shape. Panel F has open busses and needs to be replaced.	Lighting Control System Panels Panel Clearance
Image: second	ancy Sensors N/A ntrol System Toggle switches. Needs updating. Panels Majority of panels are in good shape. Panel F has open busses and needs to be replaced. el Clearance Need to remove storage items. Lighting Fluorescent fixtures throughout need to be replaced. Exit Signs Exit signs are very old and letters are dim.	Lighting Control System Panels Panel Clearance Lighting Exit Signs
Image: second	ancy Sensors N/A ntrol System Toggle switches. Needs updating. Panels Majority of panels are in good shape. Panel F has open busses and needs to be replaced. el Clearance Need to remove storage items. Lighting Fluorescent fixtures throughout need to be replaced. Exit Signs Exit signs are very old and letters are dim. Fire Alarm Upgraded in the last 5 years. Future upgrades could include voice activation 3	Lighting Control System Panels Panel Clearance Lighting Exit Signs
Image: second	ancy Sensors N/A ntrol System Toggle switches. Needs updating. Panels Majority of panels are in good shape. Panel F has open busses and needs to be replaced. el Clearance Need to remove storage items. Lighting Fluorescent fixtures throughout need to be replaced. Exit Signs Exit signs are very old and letters are dim. Fire Alarm Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)	Lighting Control System Panels Panel Clearance Lighting Exit Signs Fire Alarm
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Image: second	ancy Sensors N/A ntrol System Toggle switches. Needs updating. Panels Majority of panels are in good shape. Panel F has open busses and needs to be replaced. el Clearance Need to remove storage items. Lighting Fluorescent fixtures throughout need to be replaced. Exit Signs Exit signs are very old and letters are dim. Fire Alarm Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) 1aster Clock Paging 3	Lighting Control System Panels Panel Clearance Lighting Exit Signs Fire Alarm Master Clock
3,363 SF \$ 3,363 SF \$ 33,000 SF \$ 1 EA \$ 1 EA \$ 1 In areas above \$ 1 in areas above \$ 33,000 SF \$ 0.75 33,000 SF \$ 0.75 33,000 SF \$ 0.25 33,000 SF \$ 0.60	ancy Sensors N/A ntrol System Toggle switches. Needs updating. Panels Majority of panels are in good shape. Panel F has open busses and needs to be replaced. el Clearance Need to remove storage items. Lighting Fluorescent fixtures throughout need to be replaced. Exit Signs Exit signs are very old and letters are dim. Fire Alarm Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) 1aster Clock Paging 3 hone System 3	Lighting Control System Panels Panel Clearance Lighting Exit Signs Fire Alarm Master Clock Paging Phone System

Terres Perkster OKEMOS

	TECHNOLOGY					\$ -
IT Rooms	MDF needs AC. Old equipment needs to be removed.		included in	"Phone	System" above	\$ -
Fiber Optic Cabling (between	Older singlemode fiber between buildings, multimode between IT rooms, some		included in	"Phone	System" above	\$ -
buildings/IT rooms)	CAT6 tie lines between racks.					
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.		included in	"Phone	System" above	\$ -
Bells/Paging System	Need to update paging for the district.		included in	"Paging"	' above	\$ -
Clock System	There is no synchronized clock system. Using atomic clocks.	\$ -				
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to		assume no	work re	\$ -	
	replace Lightspeed audio with Audio Enhancement systems.					
Large Space Audio/Video	Gym and cafeteria have no AV.	2	EA	\$	25,000.00	\$ 50,000
Systems						
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)	33,000	SF	\$	1.00	\$ 33,000
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.		assume no work required			\$ -
						\$ -
						\$ -
4	Direct Trade	33,000	sf	\$	136.09	\$ 4,491,109













































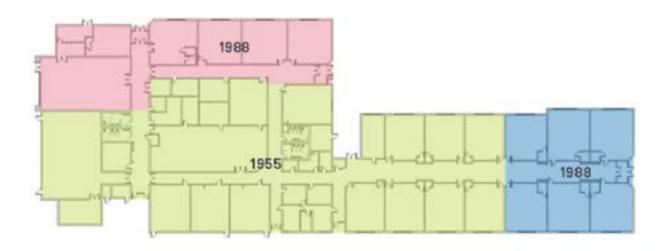


TreesPerkstor



Use:	K-4						
Built:	1955						
Additions + Renovations:	1958 / 1977 / 1988						
Total Building Area:	43,000 SF						
Site Area:	11.87 Acres						
Enrollment:	437 students						
Square Footage per Student:	98.4 sf/student						
Renovation Cost:	\$14,322,352						
Current Replacement Value (CRV): \$13,760,000							
Facility Condition Index (FCI):	104%						













OBSERVATION HIGHLIGHTS

SITE

Concrete sidewalks and asphalt pavement in poor condition throughout. Conflict between bus loop at main entrance and parent drop-off in parking lot to the north. Parents back up onto Cornell Road.

ARCHITECTURE

The building lacks a clearly defined main entry. Many confuse the entry to the North as the main point of entry. Entrance currently located at south parking lot not compatible with ADA based on steps only for access. No secure vestibule. Main entrance metal fascia above windows and doors should be removed and replaced. Each wing has different masonry and window framing products based on the time of construction. Building exterior walls are not uniform in look and performance. Window replacements should be considered. Exterior EIFS, surrounding finished insulated wall condition, need repair or replacement based on bird and tree damage to the product. Exterior limestone sills and masonry block infills around window openings need to be cleaned, sealed and maintained to increase lifespan and performance of all products. Deterioration of masonry mortar seen at some locations around the exterior. In addition to classrooms, the school has a media center, gym, kitchen, cafeteria and dedicated rooms for art and music. No fire suppression service reported at this facility. Some interior wood doors and hollow metal frames should be upgraded. Traditional double-loaded corridor design does not offer space conducive to learning communities or collaborative areas outside of the classroom.

INTERIORS

Classrooms are crowded. Many ancillary spaces have been taken over to accommodate needs for small group spaces or storage. There are no spaces for staff needs such as a work room, or itinerant instructional/office space.

The carpet throughout is in need of replacement. It dates back to the mid-nineties and is worn and/or stained. Corridor walls are in good condition, comprised of brick/glazed brick with painted CMU above. Corridor lockers are in decent condition. Ceilings are in good to fair condition. However, they are 24" x 48" panels which are more susceptible to warping and damage. They also appear to have a low NRC (noise reduction coefficient).

Classroom casework is damaged in many cases. Tall 48" wide storage cabinets are bowing due to rubber totes placed on top for storage and weight on shelves. Wood doors are in good to fair condition.

Interior signs are present, but are not consistent or cohesive throughout the building. Wayfinding signage is lacking as evidenced by directional paper signs hung on walls. Windows include integral blinds and appear to be in good to fair condition. There are screens placed on operable windows. These screens should be removed for emergency egress and such window locations should be marked as "emergency egress".

The sheet flooring in the Cafeteria is in disrepair and in need of replacement. The resilient sheet flooring in the Gymnasium is in good condition, with a few areas in need of repair along a seam.

Four of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated.

Furniture throughout the building is dated and of poor quality, not conducive to a flexible or comfortable learning environment for staff or students.



MECHANICAL

Replace four original rooftop units (1,000 cfm, 3,800 cfm, 2,000 cfm and 2,000 cfm). All exhaust fans in the single toilets should be replaced and tunnel exhaust should be added. And the pneumatics should be replaced with new DDC with the balance of the DDC controls for the building being upgraded.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. The building exterior needs wall packs added for better lighting. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape and do not need to be replaced.

TECHNOLOGY

The MDF is a shared space with storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. There are known issues with the current vehicle drop-off and pick-up layout and parking areas. Solutions to these issues should be considered.



DATA SHEETS

Facility Assessment

Building Name

Cornell Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		800d	fair	pooi comments
Drainage	х			
				Pavement at entrance way is in poor condition. South parking lot is in
Asphalt Parking/ Drives			х	fair/poor condition.
				Sidewalks in fair condition throughout, flush curb at drop off - recommend a
Sidewalks		х		raised curb for safety.
Adequate Parking		х		
				Conflict between bus loop at main entrance and parent drop-off in parking
Bus Loop			х	lot to the north.
Playgrounds			х	Aged equipment (20+ years old)
				Conflict between bus loop at main entrance and parent drop-off in parking
Student Drop off Area			х	lot to the north.
Landscaping		х		
Irrigation Systems				No Irrigation.
Athletic fields		х		Soccer Goals are in poor condition.
Fencing	х			
Service Entrance		х		Indirect service access on west side of building with no direct drive lane.
Signage			х	Main sign is in poor condition.
Dumpster Location			х	No enclosure or concrete pad for dumpster.
Traffic Directions			х	Parent drop-off double ques in parking lot, can back up onto Cornell Road
Parking Lot Lighting		х		Needs to be upgraded. Overhead electrical lines to building are hung too low.

ARCHITECTURAL		Bood	tair	poot comments
Building Shell				
				District reports leaks/ponding around roof drains due to new roofing being
				installed directly over existing with no consideration for drain height
				adjustments. Most recent roofing installations date back to 2003 and 2004,
Roofing		х		Firestone and Cooley membranes installed.
				Some updates in the early 90's - aluminum (dark bronze) thermally broken,
				but some locations seem older (clear anodized) and should be replaced. All
Exterior Windows		х		units nearing end of life cycle. Integral blinds.
Positive Drainage	х			No issues reported
				Entrance is off of east drive lane. Compact. Not sure how well it performs at
				high traffic flow timeframes. Older aluminum storefront entrance (single
Defined Entry		х		door). Card access present. Minimal site signage - consistent across district.
Accessibility		х		Present
				Birds picking at EIFS fascia - maintenance issue for district. Currently repairing
Fascia/Soffits			х	with spray-foam to fill holes.



ARCHITECTURAL (CON'T)	800d	fair	po ^{ot} comments
			Mixture of brick/stone/block on exterior. CMU/stone sills need to be
			cleaned. There is signs of structural support through the brick wall on the
			south wall (gym). This may be for the side basketball hoop needs to be
			patched properly. There are signs of water intrusion on the south side of the
			building (entrance bump outs) - further investigation needed. Brick needs to
			be patched and tuckpointed, especially on lower portions of the building near
Masonry	х		sidewalks. Investigate sill flashing at windows - signs of water intrusion.
Building Structure	х		Cracks in wall at north classroom wing to be investigated
			Due to original construction date of school, all joint sealants should be
Caulk Joints		х	inspected and replaced based on condition.
			Building has some trees in close proximity of the building along east elevation
Water Stains	х		- need to be removed or limbed up.
			Card access present. Building currently receiving some replacements.
			Aluminum entrances. Some entrances still need to be replaced. Review
			access (exterior only) to furnace room - now used for storage. Need to
			replace overhead door at exterior storage on the west side of the building.
Exterior Doors	х		No barrier free access to the north doors.
Vestibule Entries		х	No secure vestibule within main entrance. Could be easily added.
			Present in parking lots (bulb replacement recent). Minimal lighting mounted
			to exterior of the building. District wants to improve on exterior lighting for
Exterior Light	х		presentation and security.
			No prominent main entrance - hard to find, not inviting and too small. Large
			pair of entrance doors and step noted to the north of the building where the
Main Entrance		х	north parking lot is located.
			Different 'wings' of the building have different exterior finishes - not uniform
Exterior Appearance	х		around the building.

INTERIORS / FINISHES		Bood	tair	po ^{ot} comments
Corridors				
Lights		х		2x4 light fixtures. Ready for upgrade. Fluorescent fixtures, need upgrade.
				Functional. Carpet / 12x12 VCT tile/ Runners and Rugs being used for walk off
Flooring		х		mats
				Minimal staining and curling of ceiling tiles, 2 x 4 grid, older vinyl tiles to be
Ceiling/Walls		х		replaced
Lockers		х		Older. Could upgrade at all corridors
				Need to upgrade interior hollow-metal and wood doors. Electronic card
				access hardware present (recently installed on existing doors). Replace door
Doors		х		knobs with barrier free levers.
				12-14 feet wide of usable passage space. Some pinch points/tight spaces
Size of Corridor		х		present at entrances to different 'wings'.
Flow of Corridor	х			Ok
				Present. Door hardware/automatic operators should be considered in future
Emergency Egress	х			work.
Glass Transoms				N/A
Vestibules				N/A
Cabinets				N/A Only Located in Classrooms
Interior Signage			Х	Needed. Non-existent.
Classrooms				
Flooring		х		Carpet is functional but nearly end of service life.
Ceiling			Х	Replace. Projectors present in most classrooms.



(CON'T)	/	800d	rair	30 ⁰¹ comments
	/ (<u> </u>	/	Integral blinds present in newer units. Snags, damage, function an issue and
				hard to fix. Different age units in each of the different wings based on time of
Windows		x	х	construction.
Casework			х	Replace. Update. Upgrade based on new mobile units.
Marker/Chalkboards		х		Markerboards (white) present and in decent condition.
Heat	х			Units to be considered for replacement. Nearing end of service life.
Air-Conditioning	х			New unit vents installed as recent bond work.
Daylight			х	Minimal natural lighting (windows small)
Overall Size		х		No comments from district on classroom size being limited/constricting.
				Hollow-metal frames (replace). Wood doors with window lites (could be
				replaced). New locking hardware (access control) just installed with last bond
Doors			х	issue. No door closers on classroom doors.
Toilet		х		Classroom toilets dated, consider updates with new finishes and fixtures
Lighting			х	Upgrade fixtures. New LED bulb replacement just completed (retrofit)
Heating			х	
Power Outlets		х		No issues to report
Furniture		х	х	
Toilet Rooms				
				Recent upgrades to most corridor common bathrooms. (2) corridor locations
Fixtures Operational	x			present throughout the building.
Toilet Partitions	х			
Walls	х			New tile installed (floor to ceiling elevation)
				Epoxy poured in place product used for bathroom upgrades at all schools.
Floors	x			Integral base.
Floor Drains	х			No issues reported with existing drains.
Lighting	х			New fixtures, ceiling mounted.
Hand Dryers				NA. Paper towel dispensers.
				Seemed to be in good shape with recent bond updates. Fire alarm devices
Ceilings	х			present.
Mirrors	х			New- present.
				Yes, for bathrooms that were renovated with recent bond cycle (2-3 years
ADA Accessible	х			old)
Adequate Size	х			Bathrooms typically had 2-3 stalls with partitions and 2-3 sinks present.
Gymnasium				
-				Newer rubber flooring. Couple of locations where welding is failing. Bigger
Flooring		x		concern moisture maybe present underneath new floor.
Lights	х			New fixtures and bulbs
				No A/C currently. Ready for new units and new ductwork/diffusers update.
HVAC		x		Owner would like to add A/C to gym as it is used for camps in the summer.
Daylight			х	None - no windows or natural lighting.
Gym Equipment			х	Minimal - padding needs to be upgrading
Doors		х		Upgrade interior hollow-metal doors and frames.
Size of Corridor		х		Small - but no comment from district on limited space.
Bleachers				not present.
Egress	х			interior and exterior options available and functioning.
Cafeteria				
				Should be considered for replacement - high traffic/multi-use space.
Flooring		x		Currently sheet vinyl or rubber flooring. Multi-use space for afterschool
Ceilings/Walls		х		2x4 drop ceiling with grid and ceiling tile
Accessibility		х		Ok
Lighting		х		Fluorescent fixtures, need upgrade.
Seating		х		Present
size	х			Nice size room



INTERIORS / FINISHES (CON'T)		Bood	fair	post comments
Daylight		х		Aluminum framing on the north elevation wall within the room.
Overall Size		х		Good. No issues reported by the district.
Doors			Х	Exterior doors currently being replaced by the district.
				No issues other than making sure tables are not located to prevent
Egress	х			emergency egress.
Offices				
Flooring			Х	Carpet - replace
Furniture			Х	Needs to be updated
Ceilings			Х	2x4 grid/ceiling tiles and light fixtures. Ready for upgrade.
Paging			Х	District wants to replace existing system.
Master Clock			Х	District wants to replace existing system.
Phone System			Х	District wants to replace existing system.
Lighting			Х	Needs to be updated
Copy/Work Room			Х	Present - but part of a multi-use space
Meeting Rooms			X	Upgrade space/finishes/function.
Coffee Break Area			X	Upgrade
Bathroom(s)			х	Upgrade
Health Room with Toilet				N/A
Accessibility		Х		Functional/compact/area needs upgrade.
Visibility			х	N/A
Media Center	_			
c:				compact/seems smaller in comparison to other elementary schools in the
Size		х		district
Flooring		Х		carpet - ok condition. Ready for replacement within next bond cycle
Lighting		х		ceilings and fixtures can be considered for replacement
Office Space		Х		
				functional but should be considered for replacement within next bond cycle -
Doors		Х		new electronic secure locking hardware installed.
Ceilings		Х		
Furniture/Shelving		Х		
Kitchen				200 deile student meete some d (all delivered form UC). Detetion size (Little
				300 daily student meals served (all delivered from HS). Rotating pizza (Little
				Caesars) delivery day for all elementary schools. Cornell has south staff
				parking lot (approx. 24 spaces) but no room for shipping/receiving deliveries.
				No dock area. Back in full size semi trailer. This location needs
_				redesign/reformat this area for multiple reasons. Long ramp and no double
Program				door access currently.
				JRA to provide list for selecting new equipment. Space currently has serving
- · ·				equipment, gas range and oven, warming ovens, large cooler, sinks for
Equipment			Х	dishwashing, waste disposal.
				ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling
Ceilings			х	tiles/diffusers/grilles all need to be replaced.
Cooler/Freezer				Not present
Floors			х	Replace - currently rubber sheet vinyl in kitchen and cafeteria
				Receiving area attached to new west elevation bus loop service drive. No
				receiving dock. Need to add large entry for delivery/receiving/unloading. No
Delivery Space			х	covered protection currently.
Storage Space			х	No storage space
Kitchen Hood			Х	Hood present above ovens. Small retrofit. Should replace.
				Compact, one serving line, need to redesign/reformat. Space closed off from
Serving Line		Х		Cafeteria (open up).



INTERIORS / FINISHES (CON'T)	/	Bood	tair	poot comments
Electrical		х		No issues noted - such as too few outlets/location/breaker capacity
Lighting		х		Upgrade light fixtures
Secured	х			Yes
Fire Suppression/FA				Not present in kitchen.
				Elementary school - not fully function licensed kitchen. Compact kitchen and
				serving space. No kitchen office space. School does not have adequate room
				to handle deliveries/receiving/storage. If walk-in units were added they
Overall			х	would need to be exterior additions due to limited usable space.

MECHANICAL		Bood	tair	post comments
Heating Source and				Building is served by (2) Thermal Solutions, 2,000 MBH, heating hot water
Condition		Х		boilers installed in 2003.
				Building is served by (2) B&G base mounted pumps, 92 gpm @ 60' HD
Heating Pumps and Piping		Х		installed in 2003. No known issues with piping.
Cooling Source and				
Condition	Х			Individual DX cooling.
Cooling Pumps and Piping				N/A.
				(21) Classrooms served by horizontal unit vents with remote condensing units
Terminal Devices	Х			installed in 2019.
				Cafeteria AHU (4,500 cfm) installed around 2019. Kitchen (1,000 cfm), Media
				Center (3,800 cfm), and Gym (two @ 2,000 cfm each) AHU's installed in 1988.
AHUs and RTUs		Х		Office (1,900 cfm) and Computer Classroom RTUs installed around 2003.
				Group restroom exhaust installed in 2019. Classroom toilet rooms exhaust is
Ventilation		Х		original. (8) 100 cfm EF's, (1) 600 cfm EF, (1) 200 cfm EF No tunnel exhaust.
Building Management				
System/Controls			Х	Building served by Trane BMS with partial pneumatics.
Domestic Water Piping		Х		No known issues.
				Building served by Lochinvar 40 gallon, 40 MBH water heater installed in
				2013. Kitchen served by Lochinvar 98 gallon, 200 MBH water heater installed
Water Heaters		Х		around 2003. Would like to combine.
Plumbing Fixtures		Х		Group restrooms remodeled in 2019. All single toilets are original.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL		800d	fair	pool comments
Transformer size	х			
Primary/Secondary Service	х			Owner would like to relocate overhead power feed to building underground
				There is no generator on site, owner would like hook up for a portable
Generator				(temporary) generator when needed.
Occupancy Sensors				N/A
Lighting Control System			Х	Toggle switches. Needs updating.
Panels	х			Majority of panels are in good shape.
Panel Clearance	х			Need to remove storage items.
				Upgraded in the last 5 years. Future upgrades could include voice activation
Fire Alarm	х			(district wide)
Interior Lighting			Х	Fluorescent fixtures throughout need to be replaced.
Exit Signs			Х	Exit signs are very old and letters are dim.
Site Lighting			х	Owner would like to add wall packs on building and upgrade existing lights



TECHNOLOGY		BOOD	fair	pool comments
				MDF is in a shared space used for teaching and storage. Needs dedicated AC.
IT Rooms			х	Old equipment needs removed.
Fiber Optic Cabling				
(between buildings/IT				Older singlemode fiber between buildings, multimode between IT rooms,
rooms)		х		some CAT6 tie lines between racks.
Data Cabling (within				
buildings)	х			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			Х	Need to update paging for the district.
Clock System			х	There is no synchronized clock system. Using atomic clocks.
Classroom Audio/Video				Standard throw projectors being replaced with 75" interactive displays. Plan
Systems	х			to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video				Gym needs installed video/projection and new audio with better speaker
Systems			х	distribution.
Security Camera System			Х	Need to update Sony cameras and VMS (currently exacqvision software)
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt
Access Control System		х		SMS.



BUDGET DETAIL

ITEM #:	7				Acres:		10			
Cornell Elementary - Sitework										
	Description	Quantity	UOM		Unit Cost		Total Cost			
Sitework	SITEWORK					\$	-			
Drainage			assume wo	ork not re	equired	\$	-			
Asphalt Parking/ Drives	Pavement at entrance way is in poor condition. South parking lot is in fair/poor		see items l	below		\$	-			
	condition.									
Asphalt Parking/ Drives	Entry/drop-off drive asphalt	12,400	SF	\$	6.39	\$	79,2			
Asphalt Parking/ Drives	South parking lot	9,600	SF	\$	6.39	\$	61,3			
Asphalt Parking/ Drives	Nortth parking lot		not include	ed		\$	-			
Asphalt Parking/ Drives	Striping and signage	22,000	SF	\$	0.14	\$	3,0			
Concrete Curbs	Curbs at enry	950	LF	\$	35.00	\$	33,2			
Concrete Curbs	Curbs at south lot	355	LF	\$	35.00	\$	12,4			
Concrete Curbs	Curbs at north lot		not include	ed		\$	-			
Bus Loop	Adjust storm structures	8	EA	\$	800.00	\$	6,4			
Asphalt Parking/ Drives	Site restoration/landscaping	I	LS	\$	5,000.00	\$	5,0			
Sidewalks	Sidewalks in fair condition throughout, flush curb at drop off - recommend a	9,300	SF	\$	11.50	\$	106,9			
	raised curb for safety.									
Adequate Parking	assume work not required									
Bus Loop	Conflict between bus loop at main entrance and parent drop-off in parking lot to	1	ALLOW	\$	175,000.00	\$	175,0			
	the north.									
Playgrounds	Aged equipment (20+ years old)	I	ALLOW	\$	500,000.00	\$	500,0			
Student Drop off Area	Conflict between bus loop at main entrance and parent drop-off in parking lot to		see bus loo	op above		\$	-			
	the north.									
Landscaping			assume wo	ork not re	equired	\$	-			
Irrigation Systems	No Irrigation.		assume wo	ork not re	equired	\$	-			
Athletic fields	Soccer Goals are in poor condition.	2	EA	\$	3,500.00	\$	7,0			
Fencing			assume wo	ork not re	equired	\$	-			
Service Entrance	Indirect service access on west side of building with no direct drive lane.	I	ALLOW	\$	175,000.00	\$	175,0			
	Main sign is in poor condition.	1	EA	\$	35,000.00	\$	35,0			
Dumpster Location	No enclosure or concrete pad for dumpster.		not include	ed		\$	-			
Traffic Directions	Parent drop-off double ques in parking lot, can back up onto Cornell Road -	I	ALLOW	\$	125,000.00	\$	125,0			
	ASSUME EXPAND NORTH PARKING LOT			-						
Parking Lot Lighting	Needs to be upgraded. Overhead electrical lines are hung too low.		assume by	owner		\$	-			
	Exterior power line located on north side of site as it enters building. District	500	LF	\$	65.00	\$	32,5			
. ,	would like to relocate underground.									
Electrical - Site Restoration	Concrete/asphalt/landscape restoration from new primary conduits	500	LF	\$	10.00	\$	5,0			
						\$	-			
	Direct Trade	10	acres	\$	136.214.97	\$	1,362,1			

ITEM #:	8			G	iross Area:		43,000
	Cornell Elementary - Building Improvements					I	Elementary
	Description	Quantity	UOM		Unit Cost		Total Cost
Building Shell	BUILDING SHELL					\$	-
Roofing	District reports leaks/ponding around roof drains due to new roofing being installed directly over existing with no consideration for drain height adjustments. Most recent roofing installations date back to 2003 and 2004, work completed by Royal West with Firestone and Cooley membranes installed.	43,000	SF	\$	28.00	\$	1,204,000
Exterior Windows	Some updates in the early 90's - aluminum (dark bronze) thermally broken, but some locations seem older (clear anodized) and should be replaced. All units nearing end of life cycle. Different 'wings' of the building have different exterior finishes - not uniform around the building. Integral blinds.	2,758	SF	\$	95.00	\$	262,010
Positive Drainage	No issues reported		assume wo	ork not r	equired	\$	-
	Entrance is defined - Off of east drive lane. Compact. Not sure how well it performs at high traffic flow timeframes. Older aluminum storefront entrance (single door). Card access present. Minimal site signage - consistent across district.		ALLOW	\$	25,000.00	\$	25,000
Defined Entry	Site sign	1	ALLOW	\$	35,000.00	\$	35,000
Accessibility	Present		assume wo	ork not r	required	\$	-
EIFS Fascia/Soffits	Birds picking at EIFS fascia - maintenance issue for district. Currently repairing with spray-foam to fill holes - assume metal studs backup/metal panels/new coping	5,108	SF	\$	70.00	\$	357,560



Masonr	Mixture of brick/stone/block on exterior. CMU/stone sills need to be cleaned. There is signs of structural support through the brick wall on the south wall (gym). This may be for the side basketball hoop needs to be patched properly. There are signs of water intrusion on the south side of the building (entrance bump outs) - further investigation needed. Brick needs to be patched and trucked accessible on lower partices of the building page sidewaller.	17,878	SF	\$ 2.00	\$	35,756			
	tuckpointed, especially on lower portions of the building near sidewalks. Investigate sill flashing at windows - signs of water intrusion.								
	e Cracks in wall at north classroom wing to be investigated Due to original construction date of school, all joint sealants should be inspected	ا 17,878	allow SF	\$ 10,000.00 \$ 0.50	\$ \$	10,000			
Caulic Joint	and replaced based on condition.	17,070	51	φ 0.50	Ŷ	0,757			
Water Stain	Building has some trees in close proximity of the building along east elevation -	l	ALLOW	\$ 5,000.00	\$	5,000			
	need to be removed or limbed up.				\$				
Exterior Door	entrances. Some entrances still need to be replaced. Review access (exterior only) to furnace room - now used for storage. Need to replace overhead door at exterior storage on the west side of the building. No barrier free access to the	e room - now used for storage. Need to replace overhead door at							
Door	north doors. s Remove/replace HM doors - exterior & interior	19	EA	\$ 8,000.00	\$	152,000			
	s Remove/replace HM sidelites	360	SF	\$ 75.00	-	27,000			
Vestibule Entrie	No secure vestibule within main entrance. Could be easily added.	1	ALLOW	\$ 50,000.00	\$	50,000			
Exterior Lightin	Present in parking lots (bulb replacement recent). Minimal lighting mounted to exterior of the building. District wants to improve on exterior lighting for presentation and security.	I	LS	\$ 20,000.00	\$	20,000			
	No prominent main entrance - hard to find, not inviting and too small. Large pair of entrance doors and step noted to the north of the building where the north parking lot is located.		see item a	bove	\$	-			
Exterior Appearanc	 Different 'wings' of the building have different exterior finishes - not uniform around the building. 				\$	-			
	INTERIORS				\$	-			
Wal	s Paint/refresh entire building	43,000	SF	\$ 1.50	\$	64,500			
Corridor		7,800			\$	-			
	g 2x4 light fixtures. Ready for upgrade. Fluorescent fixtures, need upgrade. g Functional. Carpet / 12x12 VCT tile/ Runners and Rugs being used for walk off mats	7,800	SF see items	\$ 7.50 below	\$ \$	58,500 -			
Floorin	g Carpet 90%	6,660	SF	\$ 7.06	\$	46,990			
Floorin	g VCT 10%	780	SF	\$ 5.00	\$	3,900			
Floorin	g Entry matts	360	SF	\$ 90.00	\$	32,400			
Ceilings/Wall	s Minimal staining and curling of ceiling tiles, 2 x 4 grid, older vinyl tiles to be replaced	1,560	SF	\$ 9.50	\$	14,820			
Locker	s Older. Could upgrade at all corridors	600	EA	\$ 350.00	\$	210,000			
	Need to upgrade interior hollow-metal and wood doors. Electronic card access hardware present (recently installed on existing doors). Replace door knobs with barrier free levers.	46	EA	\$ 3,500.00	\$	161,000			
Size of Corrido	r 12-14 feet wide of usable passage space. Some pinch points/tight spaces present at		assume wo	ork not required	\$	-			
Flow of Corrido	entrances to different 'wings'.			and not not inad	\$				
	s Present. Door hardware/automatic operators should be considered in future	10	EA	ork not required \$ 4,500.00	⊅ \$	45,000			
	work.								
Glass Transom				ork not required	\$	-			
Vestibule Entrie				ork not required	\$	-			
	N/A Only Located in Classrooms	43,000		ork not required \$ 0.55	\$ \$	- 23,650			
Interior Signag Classroom		43,000 19,960		\$ 0.55	\$ \$	23,65U -			
	Carpet is functional but nearly end of service life.	19,690		\$ 7.06	\$ \$	139,011			
	s Replace. Projectors present in most classrooms.	19,690		\$ 12.00	\$	236,280			
Window	Integral blinds present in newer units. Snags, damage, function an issue and hard to fix. Different age units in each of the different wings based on time of construction.		see buildin	ng shell	\$	-			
Casewor	c Replace. Update. Upgrade based on new mobile units.	552		\$ 550.00	\$	303,60			
	Premium for tall storage cabinets	253		\$ 450.00		113,850			
	s Markerboards (white) present and in decent condition.			ork not required	\$ \$	-			
Marker/Chalkboard	Units rated as good but can be considered for replacement eventually. Nearing								
Marker/Chalkboard Heatin			assume wo	ork not required	\$	-			
Marker/Chalkboard Heatin Air-Conditionin	Units rated as good but can be considered for replacement eventually. Nearing end of service life.			ork not required ork not required	\$ \$	-			
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Marker/Chalkboard Heatin Air-Conditionin Dayligh Overall Siz	Units rated as good but can be considered for replacement eventually. Nearing end of service life. New unit vents installed as recent bond work. t Minimal natural lighting (windows small)		assume wo	ork not required	\$	-			



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Heating	Add diffuser and grilles with new ceilings	19,960	SF	\$ 0.50	\$	9,980				
-	No issues to report		assume wo	rk not required	\$	-				
Furniture			owner FF&	E budget %	\$	-				
Toilet Rooms	Toilet Rooms	630	SF		\$	-				
Fixtures Operational	Recent upgrades to most corridor common bathrooms. (2) corridor locations assume work not required present throughout the building.									
Toilet Partitions			assume wo	rk not required	\$	-				
Walls	New tile installed (floor to ceiling elevation)		assume wo	rk not required	\$	-				
Floors	Epoxy poured in place product used for bathroom upgrades at all schools. Integral base.		assume wo	rk not required	\$	-				
Floor Drains	No issues reported with existing drains.		assume wo	rk not required	\$	-				
Lighting	New fixtures, ceiling mounted.		assume wo	ork not required	\$	-				
Hand Dryers	NA. Paper towel dispensers.		assume wo	rk not required	\$	-				
Ceilings	Seemed to be in good shape with recent bond updates. Fire alarm devices present.		assume wo	ork not required	\$	-				
Mirrors	New- present.		assume wo	rk not required	\$	-				
ADA Accessible	Yes, for bathrooms that were renovated with recent bond cycle (2-3 years old)		assume wo	rk not required	\$	-				
Adequate Size	Bathrooms typically had 2-3 stalls with partitions and 2-3 sinks present.		assume wo	rk not required	\$	-				
Toilet Room Upgrade	Gut/enlarge classroom toilet rooms 1988 addition that are 45-46 sf each - 6 locations, ADA compliant	6	LOC	\$ 25,000.00	\$	150,000				
Toilet Room Upgrade	Gut/enlarge classroom toilet rooms that are 22-24 sf each - 7 locations, not ADA compliant	7	LOC	\$ 35,000.00	\$	245,000				
Gymnasium	Gymnasium	2,680	SF		\$	-				
Flooring	Newer rubber flooring. Couple of locations where welding is failing. Bigger concern moisture maybe present underneath new floor. REPAIR ALLOWANCE	2,680	SF	\$ 1.00	\$	2,680				
Lighting	New fixtures and bulbs		assume wo	rk not required	\$	-				
HVAC	No A/C currently. Ready for new units and new duct work/diffusers update.	2,680	SF	\$ 18.66	\$	50,000				
Daylight	None - no windows or natural lighting.		not include	ed	\$	-				
Gym Equipment	Minimal - padding needs to be upgrading	1,224	SF	\$ 25.00	\$	30,600				
Doors	Upgrade interior hollow-metal doors and frames.	4	EA	\$ 3,500.00	\$	14,000				
Size of Corridor	Small - but no comment from district on limited space.		assume wo	rk not required	\$	-				
Bleachers	not present.		assume wo	ork not required	\$	-				
Egress	interior and exterior options available and functioning.		assume wo	rk not required	\$	-				
Cafeteria	Cafeteria	2,360	SF		\$	-				
Flooring	Should be considered for replacement - high traffic/multi-use space. Currently sheet vinyl or rubber flooring. Multi-use space for afterschool activities.	2,360	SF	\$ 9.00	\$	21,240				
Ceilings/Walls	2x4 drop ceiling with grid an ceiling tile		assume wo	rk not required	\$	-				
Accessibility				rk not required	\$	-				
,	Fluorescent fixtures, need upgrade.	2,360	SF	\$ 8.50	\$	20,060				
	Present		assume wo	rk not required	\$	-				
size	Nice size room		assume wo	rk not required	\$	-				
Air-Conditioning			assume wo	ork not required	\$	-				
Daylight	Aluminum framing on the north elevation wall within the room.		assume wo	ork not required	\$	-				
Overall Size	Good. No issues reported by the district.		assume wo	rk not required	\$	-				
Doors	Exterior doors currently being replaced by the district.		assume by	owner	\$	-				
Egress	No issues other than making sure tables are not located to prevent emergency egress.		assume wo	rk not required	\$	-				
Offices	Offices	2,550	SF		\$	-				
8	Carpet - replace	2,550		\$ 7.06	\$	18,00				
	Needs to be updated			r FF&E budget %	\$	-				
	2x4 grid/ceiling tiles and light fixtures. Ready for upgrade.	2,550	SF	\$ 12.00	\$	30,600				
	District wants to replace existing system.		in elec. bel		\$	-				
	District wants to replace existing system.		in elec. bel		\$	-				
	District wants to replace existing system.	0 550	in elec. bel		\$	-				
	Needs to be updated	2,550	SF	\$ 8.00	\$ ¢	20,400				
	Add diffuser and grilles with new ceilings Present - but part of a multi-use space	2,550	SF	\$ 0.50 bility below	\$ \$	1,275				
	Present - but part of a multi-use space Upgrade space/finishes/function.			bility below	ֆ \$	-				
Meeting Pooms		1	LS	\$ 10,000.00	.⊅ \$	- 10,00				
		1	LS	\$ 15,000.00	.₽ \$	15,00				
Coffee Break Area					۲	,				
Coffee Break Area Bathroom(s)	Upgrade	Ι			\$	-				
Coffee Break Area Bathroom(s) Health Room with Toilet	Upgrade N/A	l 2,550	not applica SF		\$ \$	- 206.39				
Coffee Break Area Bathroom(s) Health Room with Toilet Accessibility	Upgrade N/A Functional/compact/area needs upgrade.		not applica SF	ble \$ 80.94	\$ \$ \$	- 206,39 -				
Coffee Break Area Bathroom(s) Health Room with Toilet Accessibility	Upgrade N/A		not applica	ble \$ 80.94	\$					
Coffee Break Area Bathroom(s) Health Room with Toilet Accessibility Visibility Media Center	Upgrade N/A Functional/compact/area needs upgrade. N/A	2,550	not applica SF not applica SF	ble \$ 80.94	\$ \$	-				
Coffee Break Area Bathroom(s) Health Room with Toilet Accessibility Visibility Media Center Size	Upgrade N/A Functional/compact/area needs upgrade. N/A Media Center	2,550	not applica SF not applica SF assume wo	ble \$ 80.94 ble	\$ \$ \$	-				
Coffee Break Area Bathroom(s) Health Room with Toilet Accessibility Visibility Media Center Size Flooring	Upgrade N/A Functional/compact/area needs upgrade. N/A Media Center compact/seems smaller in comparison to other elementary schools in the district	2,550 3,065	not applica SF not applica SF assume wo SF	ble \$80.94 ble rk not required	\$ \$ \$ \$ \$					



	ELECTRICAL				\$	-					
Transformer size					\$	-					
Primary/Secondary Service	Owner would like to relocate overhead power feed to building underground in site elec above										
Generator	There is no generator on site, owner would like hook up for a portable	I	LS	\$ 71,000.00	\$	71,000					
	(temporary) generator when needed.										
Occupancy Sensors	N/A				\$						
1 7	Toggle switches. Needs updating.	43,000	CE	\$ 1.50	⊅ \$	- 64,500					
		43,000	35	۵ (L.SU	۵ ۲	64,500					
	Majority of panels are in good shape.				Ŧ	-					
	Need to remove storage items.				\$	-					
Fire Alarm	Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)	43,000	SF	\$ 0.25	\$	10,750					
Lighting	Fluorescent fixtures throughout need to be replaced.		in areas ab	ove	\$	-					
Lighting	Misc. areas unaccounted for	2,695	SF	\$ 7.00	\$	18,865					
Exit Signs	Exit signs are very old and letters are dim.		in areas ab	ove	\$	-					
Site Lighting	Owner would like to add wall packs on building and upgrade existing lights		in exterior	lighting above	\$	-					
Paging	43,000 SF \$ 0.60										
Master Clock		\$	10,750								
Phone System		\$	86,000								
Branch		43,000	SF	\$ 1.00	\$	43,000					
	TECHNOLOGY				\$	-					
IT Rooms	MDF is in a shared space used for teaching and storage. Needs dedicated AC. Old equipment needs removed.		included in	"Phone System" above	\$	-					
	Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.		included in	"Phone System" above	\$	-					
, ,	CAT 6 cabling. Switches were upgraded recently.		included in	"Phone System" above	\$	-					
	Need to update paging for the district.			"Paging" above	\$	-					
	There is no synchronized clock system. Using atomic clocks. included in "Mater Clock" above										
	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.			work required	\$ \$	-					
Large Space Audio/Video	Gym needs installed video/projection and new audio with better speaker	1	EA	\$ 25,000.00	\$	25,000					
	distribution.	1	L-1	φ 23,000.00	φ	23,000					
	Need to update Sony cameras and VMS (currently exacquision software)	43.000	C.L.	\$ 1.00	\$	43.000					
, ,	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.	43,000	-	work required	\$	-					
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PICTURES













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PICTURES





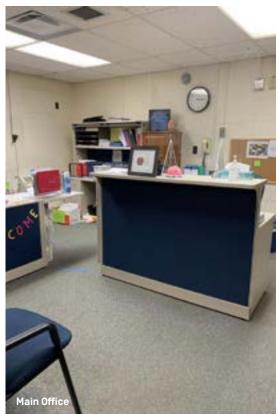














PICTURES

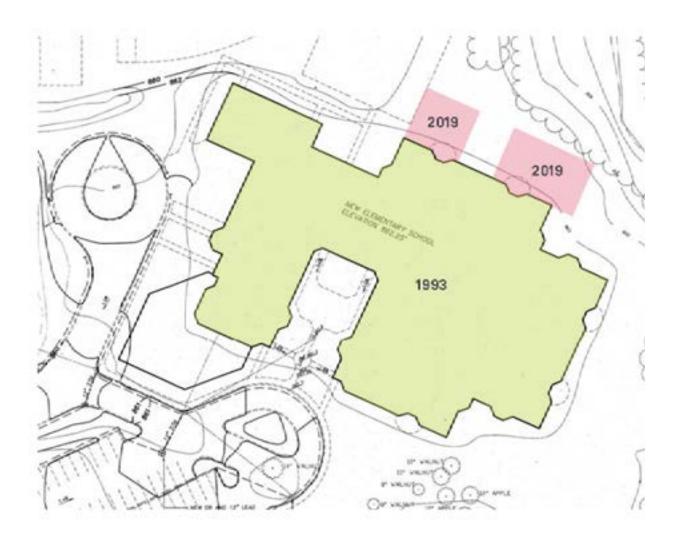


TeverPiskster



Use:	K-4								
Built:	1993								
Additions + Renovations:	2019								
Total Building Area:	60,800 SF								
Site Area:	45.51 Acres								
Enrollment:	469 students								
Square Footage per Student:	129.6 sf/student								
Renovation Cost:	\$10,404,391								
Current Replacement Value (CRV): \$19,456,000									
Facility Condition Index (FCI):	53%								













OBSERVATION HIGHLIGHTS

SITE

Stamped concrete at main entrance is cracked and should be replaced with snowmelt concrete. There are circulation conflicts between the parent drop-off and walkway from main parking lot. Existing screenwall at the loading dock is failing.

ARCHITECTURE

No secure vestibule. The main office is small and does not meet their current needs for office space or private conferences. The galley corridor which can be seen from the exterior courtyard positioned between both entrances linking the east side of the school to the west end where the cafeteria is located. This skylight, gutters, exterior doors, and exterior masonry knee-walls all need some attention at this location. Signs of brick deterioration present, masonry mortar efflorescence, exterior perimeter sealants failing, and water infiltration present at other areas around the perimeter of the school. Further investigation and inspection needed. On all exterior aluminum doors and frames, we noticed visible gaps where the door bottom closes over the aluminum threshold. This condition can lead to air infiltration inside the entrance and vestibule. Hardware adjustments needed on most exterior doors, possibly full repair or replacement should be considered. The school has a dedicated wing with classrooms for kindergarten students and an enclosed exterior playground for their use.

INTERIORS

Classrooms seem crowded. The louvers on the lights make the rooms seem dim, with little available natural light.

The carpet throughout is in need of replacement. It is original to the building worn and/or stained and coming apart at the seams in some areas. Corridor walls are finished with a multi-spec coating which is damaged in many areas and not easily repaired. Corridor lockers are in decent condition with a boot trough below.

Ceilings are in fair to poor condition. The panels in the Main Office are 24" x 24" but due to the decorative stepped edge they appear very dirty. In the majority of areas the panels are 24" x 48", but made to look like a 24" x 24" panel. These are starting to show signs of age and warping. Some ceiling panels are severely water damaged at areas of roof leaks.

Classroom casework is damaged in some classrooms. Hardware is coming off, edgebanding is coming off and laminate doors are chipped. Countertops have been water damaged are expanding severely at sink locations. Wood doors are in good condition with key code access hardware. Interior signs are present, but are not consistent or cohesive throughout the building. Wayfinding signage is lacking.

Windows include integral blinds and appear to be in good to fair condition. There are screens placed on operable windows. These screens should be removed for emergency egress and such window locations should be marked as "emergency egress". The porcelain tile flooring in the Cafeteria and Servery is in good condition, but clearly original to the building and therefore dated.

The wood floor in the Gymnasium is in good condition. The walls should have wall padding added behind the backboards. The exposed ceiling should be cleaned. The Art room has a newer VCT floor, but it is damaged due to lack of proper finishing and should be replaced.





The classrooms added in the new addition are in good condition. Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated. Furniture throughout the building is dated and of poor quality, not conducive to a flexible or comfortable learning environment for staff or students.

MECHANICAL

Replace rooftop units (10-ton, 20-ton, 2-ton, 7.5-ton, (2) 4-ton, (2) 5-ton, (2) 18,000 cfm). Replace (51) fan powered vav boxes with hot water reheat. Add cooling to MDF room. All exhaust fans should be replaced. And the DDC controls for the building should be upgraded. Replace water heaters (2-100 gallon, 200 MBH, 1-75 gallon, 75 MBH). Replace flush valves and faucets in group restrooms with automatic flush valves and faucets and shut-off valves serving the Cafeteria.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs are in fair condition. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape. The existing fire alarm system is failing and needs to be upgraded.

TECHNOLOGY

Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a "good" condition. Recent site improvements, interior renovations, and additions increased capacity at the building and extended useful life of the facility. The relatively young age of the building also lends to the recommendation to keep the facility online.



DATA SHEETS

Facility Assessment

Building Name

Bennett Woods Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		Bood	tait	pool comments
Drainage	х			
				Pavement is in good condition throughout, new pavement in bus
Asphalt Parking/ Drives	х			loop.
				Stamped concrete at main entrance is cracked and should be
Sidewalks		Х		replaced with snowmelt concrete.
Adequate Parking	Х			
				Bus loop is new and in good condition, but is potentially undersized if
Bus Loop	х			student population growth continues.
				Poured in place surfacing at kindergarten playground could improve
				accessibility and reduce maintenance and clean up of current mulch.
Playgrounds	Х			Playground structures are dated - consider replacement.
				There are circulation conflicts between the parent drop-off and
				walkway from main parking lot. The path to the main entrance is not
Student Drop off Area		Х		well defined. Improvements could improve circulation and safety.
				Landscaping located at the main parking lot is overgrown and creates
				a visual barrier to parent drop-off area. Mower is having issues
				trimming directly against the building, a maintenance strip could
Landscaping		Х		resolve this issue.
Irrigation Systems				NA
Athletic fields	Х			Soccer goals are in poor condition.
Fencing	Х			
Service Entrance	Х			
Signage			Х	Main entrance sign is in poor condition.
				No dumpster enclosure. Existing screen wall at the loading dock is
Dumpster Location			Х	failing and should be removed and replaced.
				Cannot drive behind buildings for maintenance - provide rolled curbs
Traffic Directions		Х		for access
Parking Lot Lighting	Х			



ARCHITECTURAL		Bood	fair	pool comments
Building Shell				
Roofing		x		Metal roofing and membrane roofing present at this school. Most recent membrane roof updates date back to 2008 with Carlisle and Firestone membranes. Leaks at gallery pass thru (issues with metal flashing/downspouts above glass hallway).
Exterior Windows		x		intrusion resistant film installed on interior side of glass district wide; gallery roof / glazing needs to be replaced - outdoor area here not used. Some windows include integral blinds. Some windows do not function properly and need to be repaired. Some signs of rust at lintels above windows.
Positive Drainage	х			
Defined Entry		Х		
Accessibility	х			
Fascia/Soffits	x			main entrance and auxiliary entrance to Kindergarten suite. Surfaces seem to be in good condition. Did seem some water staining from gutter/downspouts above.
Brick		x		crumbling/failing brick wall at trash enclosure - needs to be replaced; signs of water infiltration below gallery pass through glazing, mildew on brick at lower levels should be cleaned and sealed
Caulk Joints		x		brick sealant joints at outside corners of masonry were repaired in the past and do not match the existing joints and existing caulk starting to fail - recommend replacement
Water Stains		x		Some signs of water intrusion at flashing locations in brick wall and at lintels above windows - recommend flashing repair
Exterior Doors		x		secure entrance with electronic locking hardware. Issues with gaps / seals at thresholds. Evidence of frame deterioration from slat use - snowmelt discussed.
Vestibule Entries		x		No secure vestibule; card access electronic hardware installed throughout district (universal hardware / locksets). Desire to add secure vestibule / reconfigure main office use/layout. Owner prefers wall to wall walk-off mats in vestibules
Skylights	x			no issues reported, no visible signs of leaks/stains. Consider acoustical treatments here
Cameras		x		Good (web-based system recently installed) but always want to add additional cameras including around the exterior of the site if possible

INTERIORS / FINISHES	Bood tail		fair	pool comments
Corridors				
Lighting		х		current bulb retrofits. Fixtures should be replaced/upgraded.
				Consider carpet replacement. Need additional walk-off carpet at
Flooring		х		entrances





INTERIORS / FINISHES (CON'T)		eood	fair	
				Ceiling tiles and grid sagging, stained tiles. Consider replacement.
				Owner is open to alternative ceiling solutions (open with ceiling
				clouds). Further discussion needed. Multispec coating on the walls is
Ceiling/Walls			Х	damaged and not easily repaired. Walls need to be painted
Lockers	Х			updated with last bond - boot trays below lockers (hard to keep
-				new electronic locking hardware. Doors should be considered for
Doors		х		replacement, reuse locking hardware?
Size of Corridor	Х			no issues noted.
Flow of Corridor	х			no issues noted.
Emergency Egress	Х			
				modular signs with parts missing - recommend upgrade and better
Interior Signage			Х	wayfinding signage
Entrance Lobby		х		Poor acoustics - consider adding acoustical absorption
Classrooms				
				carpet (powerbond) installed in classrooms - recommend
Flooring			Х	replacement; VCT floor in
				2x4 ceiling grid and tiles are sagging and stained. Replace tiles,
				consider replacing grid with 2x2 grid. CMU and drywall walls need to
Ceiling/Walls			Х	be repainted (school colors?). present.
Egress Windows				NA, not required - building is fully sprinklered
				Some countertops in wet areas have delaminated - recommend
				replacement. Casework in working order - consider selective
Casework		х		repair/replacement as needed (chipped laminate, etc.)
Marker/Chalkboards		х		gray in color - consider replacement
Daylight		х		minimal.
Overall Size		х		always need more storage space (offices/classrooms).
Doors		х		some doors are chipped, consider replacement.
Lighting		х		replace with new ceilings.
Art Room		х		Replace VCT floor finish & refinish adjacent toilet room
Furniture		х		New furniture piloted in 2 classrooms
Toilet Rooms				
Fixtures Operational		х		interested in low flow fixture upgrades.
Toilet Partitions		х		
Walls	х			
Floors	Х			epoxy poured in place - used at other schools in recent upgrades.
Floor Drains		х		facilities recommended cleaning/servicing.
Lighting	Х			
				drywall lids - finding chipped paint / stains. Above ceiling leaks?
Ceilings	х			Moisture issues inside bathrooms? Evaluate further.
Mirrors	х			
ADA Accessible		Х		Toilet rooms not updated require barrier free code updates.
Adequate Size	Х			
				Some recent remodels completed; consider "hands free" auto flush
				upgrade per owner, verify ADA compliance. Not all toilet rooms have
General Note				been remodeled.
Gymnasium				
				Wood floor is in good condition. District planning to refinish floor
Flooring	х			during 2021 school year.
Lights	х			recently upgraded.
Daylight			Х	none.



INTERIORS / FINISHES (CON'T)		Bood	fair	peoi comments
				no PA system, wall pads, scoreboards, or bleaches in gym.
Gym Equipment		х		Recommend adding wall pads beneath the baskets,
Doors		х		Thresholds need to be adjusted or replaced.
Size		х		small, no room for bleachers or formal events.
Bleachers				none.
Egress	х			
Locker Rooms	х			
Walls/Ceilings	х			ceiling and walls need to be repainted
Cafeteria				
Flooring		х		Porcelain tile in good condition but dated
				walls to be patched and painted. Stains/water damage present in
				ceiling. Some signs of cracks/masonry repair at the gallery
Ceilings/Walls		х		connection.
Lighting				upgrade fixtures/consider replacement.
Seating				current tables ok, future replacement could be considered.
Size	х			no issues reported.
				not bad, some exterior daylight from windows/adjacent gallery pass
Daylight	Х			thru.
				dated / ok condition / no issues with amount space and occupancy
Overall Size	х			from the district.
Doors		х		Should be considered for replacement.
Offices				
Flooring			Х	Powerbond splitting at seams - should be replaced
Furniture		Х		Dated furniture - recommend replacement
				2x4 ceiling grid and tiles are sagging. Replace tiles, consider replacing
Walls / Ceilings			х	grid with 2x2 grid. Walls to be repainted
Lighting		Х		Recommend upgrade
Copy/Work Room		х		Faculty workroom is underutilized
Meeting Rooms		х		
Coffee Break Area		х		
Bathroom(s)		х		good condition but dated finishes - could use an upgrade
Media Center				
Size	х			good, high ceilings.
Flooring		х		carpet - replace.
Lighting		х		consider new fixtures.
				small, but present, no comments on desire to reconfigure or add
Office Space		х		additional space.
Doors		х		Doors can be considered for future replacement.
Ceilings/Walls		Х		patch/paint/upgraded fixtures and devices. just need finishes
Kitchen				
Program				300 daily student meals served (delivered from HS). No cooking here.
				JRA to provide list for selecting new equipment. Sinks/Serving
Equipment		х		equipment/ Some prep tables / 2 individual free-standing coolers.
Ceilings			х	Replace with wipeable ceiling tiles. Need new diffusers and grills.
Cooler/Freezer				Not present at this school.
				12x12 tile and base - cracked tiles to be replaced. Drains/sinks/traps/
Floors		х		all need to be cleaned, maintained, serviced.



INTERIORS / FINISHES (CON'T)		BOOD	fair	pool comments
				Receiving area attached to new west elevation bus loop service drive.
				No receiving dock. Need to add large entry for
Delivery Space			х	delivery/receiving/unloading. No covered protection currently.
				Lacking adequate storage space. Storage room too small. Mark Fargo
				suggested utilizing current outdoor maintenance storage room with
				garage door for adding new walk-in units. Expand space beyond
Storage Space			х	boiler room for more storage/new receiving and maintenance area.
				No hood presently. Need to determine location within kitchen to add
Kitchen Hood				one.
Serving Line		Х		One serving line present (separate in and out egress).
Electrical		Х		No issues noted - such as too few outlets/location/breaker capacity.
Lighting		х		Upgrade light fixtures.
Secured	х			Yes.
Fire Suppression/FA	х			Yes, present. Fully sprinkled with fire alarm coverage.
				Currently just a kitchen and serving area for the elementary. JRA does
				believe large enough SF to have fully functional operating kitchen.
				Not full functional kitchen presently. Still deal with
Overall		х		deliveries/dishwashing/trash/recycle.

MECHANICAL	800d	tait	pool comments
Heating Source and			(2) 2,000 MBH boilers replaced in 2015
Condition	Х		
			There are no heating piping known issues. Pumps are Taco and are
			near the end of life. Would like isolation valves to split system up. (2)
Heating Pumps and Piping		Х	225 gpm @ 95' HD.
Cooling Source and			DX cooling. At end of life.
Condition		Х	
Cooling Pumps and Piping			N/A
			(51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric
Terminal Devices	Х		reheat. Need to add cooling to MDF.
			(1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX
			RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton
			Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat
AHUs and RTUs	Х		exchanger.
			Exhaust systems appear to be original and should be evaluated
			further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's,
Ventilation		х	and (5) 600 cfm EF's.
Building Management			Trane Summit, no pneumatics. Beyond its life.
System/Controls		Х	
Domestic Water Piping		Х	Dielectric fittings and valves are failing. Cafeteria valve bad.
			WH's appear to be near end of service life. (2) 100 gallon, 200 MBH
Water Heaters		Х	and (1) 75 gallon, 75 MBH.
			Group restrooms have been remodeled. Sinks are near end of life. Still
Plumbing Fixtures	Х		function well. Looking into auto flush valves.
			Fully sprinkled. 6" fire suppression main with (2) 4" risers provide
Fire Protection	Х		building with coverage
Pool equipment			N/A



ELECTRICAL		800d	fair	pool comments
Transformer size	х			
Primary/Secondary Service	х			
				There is no generator on site - battery's ok per owner; hook up for
Generator				temporary generator desired
Occupancy Sensors				N/A
Lighting Control System			х	Toggle switches. Needs updating.
Panels	х			Majority of panels are in good shape.
Panel Clearance	х			Need to remove storage items.
Exit Signs		х		
Fire Alarm			Х	Fire alarm is failing
Clocks			Х	Clocks need to be replaced

TECHNOLOGY		Bood	fair	post comments
IT Rooms		x		MDF has dedicated space. Room is sprinkled. Unused equipment needs to be removed.
Fiber Optic Cabling (between buildings/IT rooms)		~	x	Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district. Paging speakers not loud enough in the gym.
Clock System			x	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Gym needs new audio system and installed projector - space is used as a large classroom. Cafeteria needs new audio/projection.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		х		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.



03 BENNETT WOODS ELEMENTARY BUDGET DETAIL

ITEM #:	9				Acres:		45		
	Bennett Woods Elementary - S	itework				E	lementary		
	Description	Quantity	UOM		Unit Cost		Total Cost		
Sitework	SITEWORK					\$	-		
Drainage						\$	-		
Asphalt Parking/ Drives	Pavement is in good condition throughout, new pavement in bus loop.		assume wo	ork not r	equired	\$	-		
	Stamped concrete at main entrance is cracked and should be replaced with		see item b			see item below		\$	-
	snowmelt concrete.								
Sidewalks	Remove/replace stamped conrete sidewalks	2,800	SF	\$	16.50	\$	46,20		
	Snow melt system - excluded		not include	ed					
Adequate Parking			assume wo	ork not r	equired	\$	-		
Bus Loop	Bus loop is new and in good condition, but is potentially undersized if student		assume wo	ork not r	equired	\$	-		
	population growth continues.					•			
Playgrounds	Poured in place surfacing at kindergarten playground could improve accessiblity	1	ALLOW	\$	300,000.00	\$	300,00		
,0	and reduce maintenance and clean up of current mulch. Playground structures are								
	dated - consider replacement.								
Student Drop off Area	There are circulation conflicts between the parent drop-off and walkway from		ALLOW	\$	75.000.00	\$	75.00		
··· · · · · · · ·	main parking lot. Improvements could improve circulation and safety.					·			
Landscaping	Landscaping located at the main parking lot is overgrown and creates a visual					\$	-		
	barrier to parent drop-off area. Mower is having issues trimming directly against								
	the building, a maintenance strip could resolve this issue.								
Landscaping	Concrete maintenance strip	1,700	LF	\$	25.00	\$	42,50		
Landscaping	Lansdscaping allwoance	I	ALLOW	\$	25,000.00	\$	25,00		
Irrigation Systems	NA		assume wo	ork not r	equired	\$	-		
Athletic fields	Soccer goals are in poor condition.	2	EA	\$	3,500.00	\$	7,00		
Fencing			assume wo	ork not r	equired	\$	-		
Service Entrance			assume wo	ork not r	equired	\$	-		
Signage	Main entrance sign is in poor condition.	I	EA	\$	35,000.00	\$	35,00		
Dumpster Location	No dumpster enclosure. Existing screen wall at the loading dock is failing and		see items l	below		\$	-		
	should be removed and replaced.								
Dumpster Location	Remove/replace screenwall at loading dock	-	ALLOW	\$	35,000.00	\$	35,00		
Dumpster Location	Dumpster pad and screen walls - excluded		not include	ed		\$	-		
Traffic Directions	Cannot drive behind buildings for maintenance - provide rolled curbs for access	400	LF	\$	30.00	\$	12,00		
Parking Lot Lighting			assume by	owner		\$	-		
Retaining Walls			assume wo	ork not r	equired	\$	-		
						\$	-		
	Direct Trade	45	acres	\$	12.837.78	\$	577,70		

ITEM #:	10			Ģ	Gross Area:	60,800
	Bennett Woods Elementary - Building Improvements					Elementary
	Description	Quantity	UOM		Unit Cost	Total Cost
Building Shell	BUILDING SHELL					\$ -
Roofing	Metal roofing and membrane roofing present at this school. Metal roofing areas		see item b	elow		\$ -
	should be original. Most recent membrane roof updates date back to 2008 with					
	Carlisle and Firestone membranes used, install by Royal West. Leaks at gallery					
	pass thru (issues with metal flashing/downspouts above glass hallway).					
Roofing	Assume allowance to repair roofing - not complete tear off and repalcement	60,800	SF	\$	2.00	\$ 121,600
Exterior Windows	intrusion resistant film installed on interior side of glass district wide; gallery roof /	4,500	SF	\$	10.00	\$ 45,000
	glazing needs to be replaced - outdoor area here not used. Some windows include					
	integral blinds. Some windows do not function properly and need to be repaired.					
	Some signs of rust at lintels above windows.					
Exterior Windows	Remove/repalce windows with integral blinds		not include	ed		
Exterior Windows	Remove/replace gallery windows	6	EA	\$	1,500.00	\$ 9,000
Positive Drainage						\$ -
Defined Entry	secure entrance with electronic locking hardware. Seem to be some issues		assume wo	ork not i	required	\$ -
	(gaps/voids/seals/install) with thresholds at exterior doors. Heavy salt use / frame					
	deterioration - snowmelt discussed. desire to add secure vestibule / reconfigure					
	main office use/layout. Heard district mention how walk-off mats (flooring) would					
	be preferred in vestibules and entrance areas. Maintenance friendly/low impact.					
Accessibility			assume wo	ork not i	required	\$ -
Fascia/Soffits	Conditions present at main entrance and auxiliary entrance to Kindergarten suite.	I	ALLOW	\$	10,000.00	\$ 10,000
	Surfaces seem in good condition. Did seem some water staining from					
	gutter/downspouts above.					
Maintenance Room Entry			assume wo	rk not i	required	\$ -



Brick							
	crumbling/failing brick wall at trash enclosure - needs to be replaced; signs of	I	ALLOW	\$	20,000.00	\$	20,000
	water infiltration below gallery pass through glazing, mildew on brick at lower						
	levels should be cleaned and sealed						
Brick	Clean brick and seal	30,000	GSFCA	\$	2.00	\$	60,00
EIFS Fascia/Soffits			assume wo	ork not	t required	\$	-
Caulk Joints	brick sealant joints at outside corners of masonry were repaired in the past and	30,000	GSFCA	\$	0.50	\$	15,00
	do not match the existing joints and existing caulk starting to fail - recommend						
	replacement						
Water Stains	Some signs of water intrusion at flashing locations in brick wall and at lintels above		assume wo	ork not	t required	\$	-
	windows - recommend flashing repair						
Exterior Doors	secure entrance with electronic locking hardware. Issues with gaps / seals at	I	ALLOW	\$	25,000.00	\$	25,00
	thresholds. Evidence of frame deterioration from salt use - snowmelt discussed.						
	Snow melt system		not include	ed			
Vestibule Entries	No secure vestibule; card access electronic hardware installed throughout district	1	ALLOW	\$	75,000.00	\$	75,00
	(universal hardware / locksets). Desire to add secure vesibule / reconfigure main						
	office use/layout. Owner prefers wall to wall walk-off mats in vestibules						
Exterior Lighting		1	LS	\$	20,000.00	\$	20,00
Skylight	no issues reported, no visible signs of leaks/stains. Consider acoustical treatments		assume wo	ork not	required	\$	-
	here						
Camera	Good (web-based system recently installed) but always want to add additional	6	EA	\$	5,500.00	\$	33,00
	cameras including around the exterior of the site if possible						
						\$	-
	INTERIORS					\$	-
Wall	Paint/refresh entire building	60,800	SF	\$	1.50	\$	91,20
Corridors		11,500				\$	-
	current bulb retrofits. Fixtures should be replaced/upgraded.	11,500		\$	7.50	\$	86,25
	Consider carpet replacement. Need additional walk-off carpet at entrances	11,500		\$	7.06	\$	81,19
	Ceiling tiles and grid sagging, stained tiles. Consider replacement. Owner is open	11,500		\$	12.00	\$	138,00
Cennigs/ Waits		11,500	51	Ψ	12.00	Ψ	150,00
	to alternative ceiling solutions (open with ceiling clouds). Further discussion						
	needed. Multispec coating on the walls is damaged and not easily repaired. Walls						
	need to be painted						
Heating	Add diffuser and grilles with new ceilings	11.500	SF	\$	0.47	\$	5.40
	Add diffuser and grilles with new ceilings	11,500		\$	0.47	\$ \$	5,40
	Add diffuser and grilles with new ceilings updated with last bond - boot trays below lockers (hard to keep clean)	11,500	SF assume wo			\$ \$	5,40
Lockers	updated with last bond - boot trays below lockers (hard to keep clean)		assume wo	ork not	t required	\$	5,40 - 262 50
Lockers	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement,					-	-
Locker	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware?		assume wo	ork not	t required 3,500.00	\$	-
Locker: Doors Size of Corridor	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted.		assume wo	sprk not	t required 3,500.00 t required	\$	- 262,50 -
Locker Doors Size of Corridor Flow of Corridor	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted.		assume wo EA assume wo assume wo	sork not \$ ork not ork not	t required 3,500.00 t required t required	\$ \$ \$	- 262,50 - -
Locker Doors Size of Corridor Flow of Corridor Emergency Egress	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted.	75	assume wo EA assume wo assume wo	sork not sork not ork not ork not	t required 3,500.00 t required t required t required	\$ \$ \$ \$	- 262,5(- - -
Locker Doors Size of Corridor Flow of Corridor Emergency Egress	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding		assume wo EA assume wo assume wo	sork not \$ ork not ork not	t required 3,500.00 t required t required	\$ \$ \$	- 262,5(- - -
Lockers Doors Size of Corridor Flow of Corridor Emergency Egress Interior Signage	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school	75	assume wo EA assume wo assume wo	sork not sork not ork not ork not	t required 3,500.00 t required t required t required	\$ \$ \$ \$	- 262,5(- - -
Lockers Doors Size of Corridor Flow of Corridor Emergency Egress Interior Signage Entrance Lobby	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion	60,800	assume wo EA assume wo assume wo SF	\$ ork not ork not ork not \$	t required 3,500.00 t required t required t required 0.55	\$ \$ \$ \$	- 262,5(- - -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms	75 60,800 25,400	assume wo EA assume wo assume wo SF SF	\$ ork not ork not ork not \$ e	required 3,500.00 required required required 0.55 excludes latchkey	\$ \$ \$ \$	- 262,5(- - - 33,4
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion	60,800	assume wo EA assume wo assume wo SF SF	\$ ork not ork not ork not \$	t required 3,500.00 t required t required t required 0.55	\$ \$ \$ \$	- 262,5(- - - 33,44
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in	75 60,800 25,400 25,400	assume wc EA assume wc assume wc SF SF SF	\$ ork not ork not ork not \$ \$	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06	\$ \$ \$ \$ \$	- 262,50 - - 33,44 - 179,32
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing	75 60,800 25,400	assume wc EA assume wc assume wc SF SF SF	\$ ork not ork not ork not \$ e	required 3,500.00 required required required 0.55 excludes latchkey	\$ \$ \$ \$	- 262,5(- - 33,44
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?).	75 60,800 25,400 25,400	assume wc EA assume wc assume wc SF SF SF	\$ ork not ork not ork not \$ \$	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06	\$ \$ \$ \$ \$	- 262,5(- - 33,44
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprition Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options.	75 60,800 25,400 25,400 25,400	assume wc EA assume wc assume wc assume wc SF SF SF SF	s ork not ork not ork not ork not s s s	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06 12.00	\$ \$ \$ \$ \$ \$	- 262,5(- - 33,4/ 179,32 304,8(
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB)	75 60,800 25,400 25,400 25,400	assume wo EA assume wo assume wo assume wo SF SF SF SF	\$ prk not prk not prk not prk not \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06	\$ \$ \$ \$ \$ \$ \$ \$	- 262,50 -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprition Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options.	75 60,800 25,400 25,400 25,400	assume wc EA assume wc assume wc assume wc SF SF SF SF	\$ prk not prk not prk not prk not \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06 12.00	\$ \$ \$ \$ \$ \$	- 262,5(- - 33,4/ 179,32 304,8(
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB)	75 60,800 25,400 25,400 25,400	assume wo EA assume wo assume wo assume wo SF SF SF SF	\$ prk not prk not prk not prk not \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06 12.00	\$ \$ \$ \$ \$ \$ \$ \$	- 262,5(- - 33,4/ 179,32 304,8(
Lockers Doors Size of Corridou Flow of Corridou Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboard Egress Windows	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered	75 60,800 25,400 25,400 25,400 25,400	assume wo EA assume wo assume wo SF SF SF SF SF SF	srk not srk not ork not srk not	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06 12.00 3,360.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 33,44 179,32 304,80 - 94,00
Lockers Doors Size of Corridou Flow of Corridou Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboard Egress Windows	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement.	75 60,800 25,400 25,400 25,400	assume wo EA assume wo assume wo SF SF SF SF SF SF	\$ prk not prk not prk not prk not \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06 12.00	\$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 33,44 179,32 304,80 - 94,00
Lockers Doors Size of Corridou Flow of Corridou Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboard Egress Windows	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered	75 60,800 25,400 25,400 25,400 25,400	assume wo EA assume wo assume wo SF SF SF SF SF SF	srk not srk not ork not srk not	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06 12.00 3,360.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,5(- - - 33,44 179,32 304,8(94,08 -
Lockers Doors Size of Corridou Flow of Corridou Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards Egress Windows Casework	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.)	75 60,800 25,400 25,400 25,400 28 560	assume wc EA assume wc assume wc SF SF SF SF SF SF LF	s celored and a celored and an	t required 3,500.00 t required required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - 333,44 179,32 304,80 - 94,08 - 95,20
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards Egress Windows Casework	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework	75 60,800 25,400 25,400 25,400 25,400	assume wc EA assume wc assume wc SF SF SF SF SF SF LF	s s s rk not rk not rk not rk not s s s s s s s s s s s s s	t required 3,500.00 t required t required t required 0.55 excludes latchkey 7.06 12.00 3,360.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - 333,44 179,32 304,80 - 94,08 - 95,20
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards Egress Windows Casework Casework	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color	75 60,800 25,400 25,400 25,400 28 560	assume wo EA assume wo assume wo SF SF SF SF SF LF LF LF see item al	s s s rk not rk not rk not s s s s s s s s s s s s s	t required 3,500.00 t required required t required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 35.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 333,44 - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards Egress Windows Casework	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color	75 60,800 25,400 25,400 25,400 28 560	assume wc EA assume wc assume wc SF SF SF SF SF SF LF	s s s rk not rk not rk not s s s s s s s s s s s s s	t required 3,500.00 t required required t required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 35.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 333,4- 179,33 304,80 - 94,00 - - 95,20 - - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards Egress Windows Casework Casework	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present.marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color	75 60,800 25,400 25,400 25,400 28 560	assume wo EA assume wo assume wo SF SF SF SF SF LF LF LF see item al	s s s rk not rk not rk not rk not s s s s s s s s s s s s s	t required 3,500.00 t required required 0.55 excludes latchkey 7.06 12.00 12.00 170.00 3,360.00 t required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 333,4 - - 304,80 - - 95,20 - - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards Egress Windows Casework Casework Marker/Chalkboards Heating Air-Conditioning	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present.marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color	75 60,800 25,400 25,400 25,400 28 560	assume wo EA assume wo assume wo SF SF SF SF SF LF LF see item al assume wo	s s s s s s s s s s s s s s	: required 3,500.00 : required : required : required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 : required : required : required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 33,4 - 33,4 - - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboards Egress Windows Casework Casework Marker/Chalkboards Heating Air-Conditioning	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color minimal.	75 60,800 25,400 25,400 25,400 28 560	assume wo EA assume wo assume wo SF SF SF SF SF SF LF LF see item al assume wo assume wo	s ork not ork not ork not ork not ork not s s s ork not s ork not ork not s s ork not ork not	: required 3,500.00 : required : required : required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 35.00 : required : required : required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - 33,4 179,3 304,80 - 94,00 - 94,00 - - 95,20 - - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboard Egress Windows Casework Casework Marker/Chalkboard Heating Air-Conditioning Dayligh	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color minimal.	75 60,800 25,400 25,400 25,400 28 560 1,120	assume wo EA assume wo assume wo SF SF SF SF SF SF LF LF see item al assume wo assume wo	s ork not ork not ork not ork not ork not s s s ork not s ork not ork not s s ork not ork not	: required 3,500.00 : required : required : required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 35.00 : required : required : required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 33,44 179,32 304,80 - 94,00 - 95,20 - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corrido Flow of Corrido Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walls Marker/Chalkboard Egress Windows Casework Casework Marker/Chalkboard Heating Air-Conditioning Dayligh	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color minimal. always need more storage space (offices/classrooms).	75 60,800 25,400 25,400 25,400 28 560 1,120	assume wo EA assume wo assume wo SF SF SF SF SF SF LF LF LF see item al assume wo assume wo assume wo assume wo	s ork not ork not ork not ork not s s s s s s s s s s s s s	: required 3,500.00 : required : required : required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 35.00 : required : required : required : required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corridou Flow of Corridou Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walt Ceilings/Walt Egress Windows Egress Windows Casewort Marker/Chalkboards Heating Air-Conditioning Dayligh Overall Sizz Doors	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color minimal. always need more storage space (offices/classrooms). should be considered for replacement.	75 60,800 25,400 25,400 25,400 28 560 1,120	assume wc EA assume wc assume wc SF SF SF SF SF SF LF LF LF LF see item al assume wc assume wc assume wc assume wc	s ork not ork not ork not ork not s s s s s s s s s s s s s	: required 3,500.00 : required : required : required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 35.00 : required : required : required : required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 33,44 - 179,32 304,80 - 94,08 - 95,20 - - - - - - - - - - - - - - - - - - -
Lockers Doors Size of Corridoo Flow of Corridoo Emergency Egress Interior Signage Entrance Lobby Classrooms Flooring Ceilings/Walts Ceilings/Walts Marker/Chalkboards Egress Windows Casework Casework Marker/Chalkboards Heating Air-Conditioning Dayligh Overall Size Doors Lighting	updated with last bond - boot trays below lockers (hard to keep clean) new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware? no issues noted. no issues noted. modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school Poor acoustics - consider adding acoustical absoprtiion Classrooms carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in 2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present. marker boards - replace / options. Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB) NA, not required - building is fully sprinkelered Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.) Repair existing casework gray in color minimal. always need more storage space (offices/classrooms).	75 60,800 25,400 25,400 25,400 28 560 1,120	assume wc EA assume wc assume wc assume wc SF SF SF SF SF SF LF LF LF see item al assume wc assume wc assume wc SF SF	stand	: required 3,500.00 : required : required : required 0.55 excludes latchkey 7.06 12.00 3,360.00 170.00 35.00 : required : required : required : required : required 3,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 262,50 - - - 33,44 179,32 304,80 - 94,08 - - 95,20 - 95,20 - 39,20



General Note 2				ork not required	\$	
	New furniture piloted in 2 classrooms			E budget %	.⊅ \$	
Toilet Rooms	· · · · ·	1,420	SF		↓ \$	
Fixtures Operational		.,.=.	see below		\$	
Toilet Partitions			see below		\$	-
Walls	interested in low flow fixture upgrades.		not include	ed	\$	-
Floors	epoxy poured in place - used at other schools in recent upgrades.		assume wo	ork not required	\$	-
Floor Drains	facilities recommended cleaning/servicing.	I	LS	\$ 6,000.00	\$	6,000
Lighting			see item be	elow	\$	-
Hand Dryers			see item be	elow	\$	-
Ceilings	drywall lids - finding chipped paint / stains. Above ceiling leaks? Moisture issues	922	SF	\$ 12.00	\$	11,064
	inside bathrooms? Evaluate further.					
Mirrors			see item be	elow	\$	-
ADA Accessible	Toilet rooms not updated require barrier free code updates.		see item be		\$	
Adequate Size			see item be	elow	\$	-
General Note	Some recent remodels; consider "hands free" auto flush upgrade per owner, verify ADA compliance. Not all toilet rooms have been remodeled.		see item be	elow	\$	-
Toilet Room Upgrade	Renovate remaining toilet rooms	1,420	SF	\$ 275.00	\$	390,500
Gymnasium	Gymnasium	4,100	SF		\$	-
Flooring	Wood floor is in good condition. District planning to refinish floor during 2021 school year.		work by ov	wner	\$	-
Lighting	recently upgraded.		assume wo	ork not required	\$	-
HVAC			assume wo	ork not required	\$	-
Daylight	none.		assume wo	ork not required	\$	-
Gym Equipment	no PA system, wall pads, scoreboards, or bleaches in gym. Recomend adding wall pads beneath the baskets,		see below		\$	-
Gym Equipment	Wall pads	1,560	SF	\$ 25.00	\$	39,000
Doors	Thresholds need to be adjusted or replaced.	5	EA	\$ 1,000.00	\$	5,000
Size	small, no room for bleachers or formal events.		assume wo	ork not required	\$	-
Bleachers	none.		assume wo	ork not required	\$	-
Locker Rooms				ork not required	\$	-
Walls/Ceilings	ceiling and walls need to be repainted	4,100	SF	\$ 5.00	\$	20,500
General Note				ork not required	\$	
Cafeteria	Cafeteria	2,300	SF		\$	-
	Porcelain tile in good condition but dated			ork not required	\$	-
Ceilings/Walls	walls to be patched and painted. Stains/water damage present in ceiling. Some signs of cracks/masonry repair at the gallery connection.	2,300	SF	\$ 12.00	\$	27,600
Accessibility			assume wo	ork not required	\$	-
Lighting	upgrade fixtures/consider replacement.	2,300		\$ 8.50	\$	19,550
	Add diffuser and grilles with new ceilings	2,300	SF	\$ 0.50	\$	1,150
Seating	current tables ok, future replacement could be considered.		owner FF&	E budget %	\$	-
Size	no issues reported.		assume wo	ork not required	\$	-
Air-Conditioning			assume wo	ork not required	\$	-
Daylight	not bad, some exterior daylight from windows/adjacent gallery pass thru.		assume wo	ork not required	\$	-
Overall Size	dated / ok condition / no issues with amount space and occupancy from the district.		assume wo	ork not required	\$	-
Doors	Should be considered for replacement.	6	EA	\$ 3,500.00	\$	21,000
General Note					\$	-
Offices		2,300			\$	-
	Powerbond splitting at seams - should be replaced	2,300		\$ 7.06	\$	16,238
	Dated furniture - recommend replacement 2x4 ceiling grid and tiles are sagging. Replace tiles, consider replacing grid with	2,300		E budget % \$ 12.00	\$ \$	- 27,600
Paging	2x2 grid. Walls to be repainted		in elec belo	I	\$	
					.⊅ \$	-
Master Clock Phone System			in elec belo in elec belo		≯ \$	-
Lighting		2,300		\$ 8.00	.⊅ \$	18,400
	Add diffuser and grilles with new ceilings	2,300		\$ 0.50	↓ \$	1,150
	Faculty workroom is underutilized	_,		ork not required	\$	-
Meeting Rooms				ork not required	\$	-
Coffee Break Area				ork not required	\$	-
	good condition but dated finishes - could use an upgrade			ork not required	\$	-
Bathroom(s)						
Bathroom(s) General Note			assume wo	ork not required	\$	-
General Note Media Center		2,400	SF		\$	-
General Note Media Center Size	good, high ceilings.		SF assume wo	ork not required	\$ \$	-
General Note Media Center Size Flooring		2,400 2,400 2,400	SF assume wo SF		\$	-

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OKEMOS



	small, but present, no comments on desire to reconfigure or add additional space.		assume wo	ork not required	\$	-
	· · · · · · · · · · · · · · · · · · ·					
Ventilation			assume wo	ork not required	\$	-
Doors	Doors can be considered for future replacement.	3	EA	\$ 3,500.	00 \$	10,50
Ceilings/Walls	patch/paint/upgraded fixtures and devices. just need finishes update.	2,400	SF	\$ 5.0	00 \$	12,0
Casework	Fixtures/bookshelves - excluded		not include	ed		
Auxiliary Spaces	Auxiliary Spaces				\$	-
General Note					\$	-
General Note					\$	-
General Note					\$	-
	Kitahan .	700	CT.		-	-
Kitchen	Kitchen	/00			\$	-
-	300 daily student meals served (delivered from HS). No cooking here.			ork not required		
Equipment	JRA to provide list for selecting new equipment. Sinks/Serving equipment/ Some	I	LS	\$ 262,500.0	00 \$	262,5
	prep tables / 2 individual free-standing coolers.					
Ceilings	Replace with wipeable ceiling tiles. Need new diffusers and grills.		EA	\$ 100.0	00 \$	4
Ceilings	Remove/replace ACT	700	SF	\$ 12.0	00 \$	8,4
Cooler/Freezer	Not present at this school.		assume wo	ork not required	\$	-
Floors	12x12 tile and base. Drains/sinks/traps/ all need to be cleaned, maintained,	700		\$ 6.0	00 \$	4,2
	serviced.		-			
Delivery Space	Receiving area attached to new west elevation bus loop service drive. No		nou odditi	on excluded	\$	
Delivery space	-		new addiu	on excluded	Ð	-
	receiving dock. Need to add large entry for delivery/receiving/unloading. No					
	covered protection currently.					
	Receiving building addition		new additi	on excluded		
Storage Space	Lacking adequate storage space. Storage room too small. Mark Fargo suggested		assume wo	ork not required	\$	-
	utilizing current outdoor maintenance storage room with garage door for adding					
	new walk-in units. Expand space beyond boiler room for more storage/new					
Storage Space	receiving and maintenance area. Storage room addtion		not include	ad		
• •				-	*	
Kitchen Hood	No hood presently. Need to determine location within kitchen to add one.		see equipn	nent above	\$	-
Make-up Air					\$	-
Serving Line	One serving line present (separate in and out egress).		assume wo	ork not required	\$	-
Electrical	No issues noted - such as too few outlets/location/breaker capacity.		assume wo	ork not required	\$	-
	Upgrade light fixtures.	700		\$ 8.0	00 \$	5,6
		700		\$ 0.	-	3
	Add diffuser and grilles with new ceilings	700			\$	-
Secured	Tes.		assume wo	ork not required	•	-
F: C · /FA				1	¢	
	Yes, present. Fully sprinkled with fire alarm coverage.			ork not required	\$	-
	Yes, present. Fully sprinkled with fire alarm coverage. Currently just a kitchen and serving area for the elementary. JRA does believe		assume wo see items a		\$	-
						-
	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional					-
	Currently just a kitchen and serving area for the elementary. JRA does believe					-
	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional				\$	-
	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.				\$	
Overall	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL				\$	
Overall Heating Source and Condition	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015				\$ \$ \$ \$	
Overall Heating Source and Condition	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end				\$	
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Overall Heating Source and Condition	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end				\$ \$ \$ \$	
Overall Heating Source and Condition	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD.				\$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.				\$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.				\$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.				\$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.				\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	35,5
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ 00 \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) I to n Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life. Dielectric fittings and valves are failing. Cafeteria valve bad.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) I to n Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life. Dielectric fittings and valves are failing. Cafeteria valve bad.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life. Dielectric fittings and valves are failing. Cafeteria valve bad. WH's appear to be near end of service life. Group restrooms have been remodeled. Sinks are near end of life. Still function		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (S1) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life. Dielectric fittings and valves are failing. Cafeteria valve bad. WH's appear to be near end of service life. Group restrooms have been remodeled. Sinks are near end of life. Still function well. Looking into auto flush valves.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life. Dielectric fittings and valves are failing. Cafeteria valve bad. WH's appear to be near end of service life. Group restrooms have been remodeled. Sinks are near end of life. Still function well. Looking into auto flush valves. Fully sprinkled. 6" fire suppression main with (2) 4" risers provide building with		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (S1) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life. Dielectric fittings and valves are failing. Cafeteria valve bad. WH's appear to be near end of service life. Group restrooms have been remodeled. Sinks are near end of life. Still function well. Looking into auto flush valves. Fully sprinkled. 6" fire suppression main with (2) 4" risers provide building with coverage		see items a	above	\$ \$ \$ \$ \$ \$ \$ 00 \$ \$ \$ 00 \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle. MECHANICAL (2) 2,000 MBH boilers replaced in 2015 There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD. DX cooling. At end of life. N/A (S1) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF. (1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger. Exhaust systems appear to be orginal and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's. Trane Summit, no pneumatics. Beyond its life. Dielectric fittings and valves are failing. Cafeteria valve bad. WH's appear to be near end of service life. Group restrooms have been remodeled. Sinks are near end of life. Still function well. Looking into auto flush valves. Fully sprinkled. 6" fire suppression main with (2) 4" risers provide building with coverage		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
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Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipment Transformer size	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Overall Heating Source and Condition Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipment Transformer size Primary/Secondary Service	Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.		see items a	above	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	



Occupancy Sensors	N/A				\$	-
Lighting Control System	Toggle switches. Needs updating.	60,800	SF	\$ 1.50	\$	91,200
Panels	Majority of panels are in good shape.				\$	-
Panel Clearance	Need to remove storage items.				\$	-
Exit Signs					\$	-
Fire Alarm	Fire alarm is failing	60,800	SF	\$ 1.75	\$	106,400
Clocks	Clocks need to be replaced	60,800	SF	\$ 0.25	\$	15,200
Paging		60,800	SF	\$ 0.60	\$	36,480
Phone System		60,800	SF	\$ 2.00	\$	121,600
Branch		60,800	SF	\$ 2.00	\$	121,600
	TROUMOLOGY					
	TECHNOLOGY				\$	
IT Rooms	MDF has dedicated space. Room is sprinkled. Unused equipment needs to be removed.		included in	n "Phone System" above	\$	-
Fiber Optic Cabling (between	Older singlemode fiber between buildings, multimode between IT rooms, some		included in	n "Phone System" above	\$	-
buildings/IT rooms)	CAT6 tie lines between racks.					
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.		included in "Phone System" above			-
Bells/Paging System	Need to update paging for the district. Paging speakers not loud enough in the gym.		included in	n "Paging" above	\$	-
Clock System	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.		included in "Mater Clock" above			-
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.		assume no work required			-
• .	Gym needs new audio system and installed projector - space is used as a large	2	EA	\$ 25,000.00	\$	50,000
	classroom. Cafeteria needs new audio/projection.				-	
· · · · · · · · · · · · · · · · · · ·	Need to update Sony cameras and VMS (currently exacqvision software)	60,800		\$ 1.00	- ·	60,800
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.		assume no	work required	\$	-
					\$	-
					\$	-
	Direct Trade	60,800	SF	\$ 76.38	\$	4,644,056





























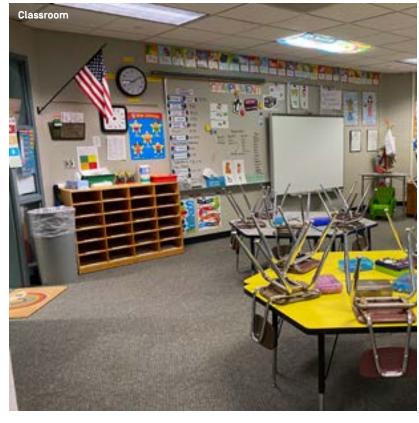






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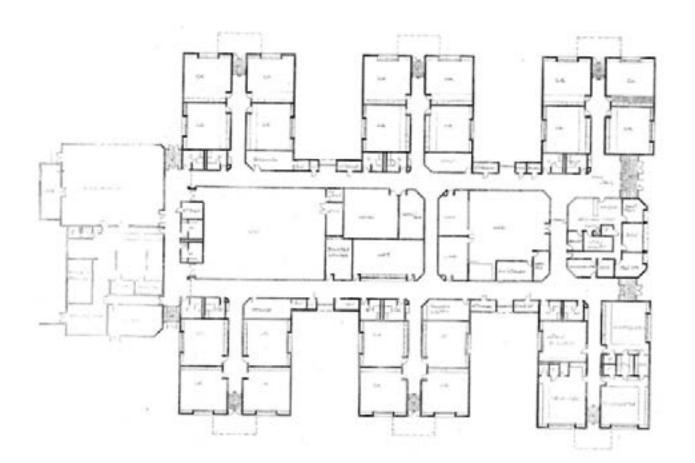






Use:	K-4
Built:	1988
Additions + Renovations:	n/a
Total Building Area:	62,000 SF
Site Area:	19.93 Acres
Enrollment:	471 students
Square Footage per Student:	131.6 sf/student
Renovation Cost:	\$11,685,587
Current Replacement Value (CRV):	\$19,840,000
Facility Condition Index (FCI):	59%















OBSERVATION HIGHLIGHTS

SITE

Pavement is in good condition throughout. Circulation works well. Stone drainage area adjacent to the teacher parking creates maintenance issues, and should be removed if possible. Playground equipment in good condition.

ARCHITECTURE

Main entrance is well defined. No secure vestibule. Roof leaks reported at some locations. Exterior classroom windows and aluminum framing in good condition. Exterior brick and mortar deteriorating at head condition above windows. Attention and further investigation needed at the exterior angled brick condition below all classroom windows. Sealants and mortar at this location need to be repaired. All exterior perimeter hollow metal frames and doors are showing signs of age and rust. Consider repair and replacement with thermally broken aluminum frames and doors.

INTERIORS

The carpet throughout is in need of replacement. It dates back to the mid-nineties and is worn and/or stained with some separation at the seams. Many of the corridor and classroom walls are painted gypsum board, which is showing signs of wear and tear. The paint is peeling and many areas are gouged in need of repair.

Ceilings are in fair to poor condition. The majority of the panels are 24" x 48" are showing signs of age and warping. Some ceiling panels are severely water damaged. The sheet vinyl flooring in the Cafeteria is in disrepair and needs to be replaced.

The wood floor in the Gymnasium is in good condition. The walls should have wall padding added behind the backboards. The exposed ceiling should be cleaned. Classroom casework should be replaced. Many edges are falling off of doors and there are several instances where the laminate significantly chipped or delaminating.

Wood doors are in fair condition with key code access hardware. Some doors are significantly chipped and damaged. Interior signs are present, at some locations but are not consistent or cohesive throughout the building. Grade level corridors are identified with some color and identity which helps with wayfinding and creating some character in an otherwise uninspiring building.

Windows include integral blinds and appear to be in good to fair condition. There are screens placed on operable windows. These screens should be removed for emergency egress and such window locations should be marked as "emergency egress". Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-toceiling and are in good condition. Many still need to be renovated.

Furniture throughout the building varies in terms of style and quality. Overall the furniture that exists is not conducive to a flexible or comfortable learning environment for staff or students.

MECHANICAL

Replace air-handling units (5,000 cfm and 8,000 cfm). Rebalance all hydronic and air systems in the building. Replace all exhaust fans in the building. Add cooling to electrical room. Replace partial pneumatics with new DDC and upgrade remaining DDC. Upgrade single toilets.



ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. The building exterior needs wall packs added for better lighting. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape and do not need to be replaced.

TECHNOLOGY

The MDF is a shared space with storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a "good" condition.



DATA SHEETS

Facility Assessment Building Name

Hiawatha Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		Bood	fair	po ^{ot} comments
				Stone drainage area adjacent to the teacher parking creates maintenance
Drainage		х		issues, should be removed if possible.
				Some cracks observed in south drive and main entry. Main lot in good
Asphalt Parking/ Drives		х		condition.
				Concrete sidewalks in playground area are in fair condition. Add snowmelt at
Sidewalks		х		main entrance.
Adequate Parking	х			
Bus Loop	х			Bus loop is separated from parent drop-off
Playgrounds	х			
Student Drop off Area	х			Works well
Landscaping	х			
Irrigation Systems				NA
Athletic fields	х			
Fencing	х			
Signage		х		
Dumpster Location		Х		Concrete pad, but no dumpster enclosure.
Parking Lot Lighting		х		

ARCHITECTURAL		Bood	tair	po ^{ot} comments
Building Shell				
				Leaks reported by the teachers lounge, issues with flashing at main entrance
Roofing		х		canopy. 2012 Carlisle membrane
				Casements do not work/ heavy/latching issues - not user friendly, Integral
Exterior Windows			х	blinds
				Need to further investigate storm runoff area at NW corner just north of staff
Positive Drainage		х		parking lot.
Defined Entry	х			
Accessibility		х		
				EIFS soffits and entrance canopy - needs to be repainted. Metal fascia/coping
Fascia/Soffits	х			in good condition
				Brick investigation needed at window head and sill (water intrusion and
Brick	х			flashing conditions). Rusted lintels. Some brick spalling at sloped brick sills
				Consider further inspection, replacement. Noticed some recent updates but
Caulk Joints		х		sealant color selected did not match original/existing.
Water Stains		х		Present on brick ledges, sills above window heads
Exterior Doors			Х	Exterior doors to be replaced, hardware/function issues



ARCHITECTURAL (CON'T)	Bood	fair	poot comments
Exterior Light	х		District currently replacing lamps on existing parking lot light poles with LED
			Replace hollow metal storefront system at vestibules - bottom rusting. No
Building Entrances		х	secure vestibule at entrance.
Security/Cameras	х		district always looking to add more locations at exterior perimeter.

INTERIORS / FINISHES		800d	Fair	pool comments
Corridors	Í –			
Lights		х		upgrade fixtures - original.
Flooring		х		replace carpet - near end of life.
				Remove and replace 2x4 ceiling tiles and grid/seeing lots of stains and some sagging/pillowing of tiles. Panelized partition walls - no color and dull -
Ceiling/Walls			Х	upgrade with patch/paint.
Lockers		x		Appears to be in good condition, original lockers - consider replacing with similar lockers a Bennett Woods (wide with shoe cubbies below).
				should be removed and replaced. Most doors do not have barrier free
Doors			х	hardware.
Size of Corridor		х		ok - no issues reported.
Emergency Egress		х		ok.
Interior Signage			х	Not ADA compliant
Classrooms				
Flooring		x		combination of carpet and VCT tile flooring currently - should be considered for replacement.
				original - replace with new grid and tiles, many stained ceiling tiles -
Ceiling		х	х	investigate above for leaks
Egress Windows		х		present - did not test function.
				Original casework, in good condition - need to be repaired to place in good
				working order. Plastic laminate countertop delaminating in some wet
				locations - consider replacing with solid surface. Do staff and teachers desire
Casework		х		new/mobile casework?
Marker/Chalkboards		x		upgrade - combo chalk and marker (smartboards) current in use - too small ?
Heat				
Air-Conditioning				
				Minimal - would be difficult to install larger perimeter windows given brick
Daylight		х		exterior details around current windows.
Overall Size		x		compact - discuss further with teachers/class sizes.
Doors		X		should be considered for replacement.
Lighting		х		upgrade.
Toilet Rooms				
Fixtures Operational	х	х		Yes.
Toilet Partitions	X	X		Nice in renovated toilet rooms/need to be replace in existing toilet rooms.
Walls	х			Ok condition.
				New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile
Floors	x	х		at toilet rooms that were not updated.
Floor Drains		х		All floors drains should be cleaned and serviced.
Lighting	х			
Hand Dryers	X			only present in updated toilet rooms.
Ceilings	X			
Mirrors	х			
ADA Accessible		x		existing room not renovated with last bond cycle present barrier free challenges.
Adequate Size	х			Not bad for an elementary school.

INTERIORS / FINISHES (CON'T)		800d	tair	post comments
General Note				All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled.
Gymnasium				
Gymnasium				wood floor poods to be refinished. The district was planning to refinish this
Flooring		х		wood floor needs to be refinished. The district was planning to refinish this floor over Christmas.
Lights	х			newer upgrade - consistent with other schools.
HVAC		х		Performing commissioning/TAB analysis.
Daylight			х	None.
Gym Equipment		х		Need wall padding - sound panels installed above CMU walls - 8' AFF.
Doors		х		consider door and hardware upgrades.
Bleachers				none.
Egress	х			Interior and exterior egress present.
Walls/Ceilings		х		Walls & ceiling to be repainted
Size	х	~		
Cafeteria	~			
Flooring			х	Current sheet vinyl product - separation/movement/failures present.
			^	2x2 grid and fiberglass pads - needs to be replaced, leaks in Storage ceiling -
Ceilings/Walls			х	investigate flashing above.
Accessibility	v		^	ok.
-	х			
Lighting		Х		upgrade light fixtures.
Seating		х		old tables with integral benches.
Daylight	Х			ok - perimeter window wall present.
				no comments/concerns noted about capacity or need to expand. Room
Overall Size		х		serves other uses outside of cafeteria for students.
Doors		х		Remove and replace.
Offices				
Flooring		х		replace.
Furniture		х		replace.
Ceilings		х		remove and replace.
Paging		х		update.
Master Clock		х		update.
Phone System		х		update.
Lighting		х		upgrade fixtures.
				upgrade - renovate (small and compact with VCT flooring / gyp walls and
Copy/Work Room		х		original casework and fridge. Staff deserve upgrade.
Meeting Rooms		X		upgrade - renovate.
Coffee Break Area		~		not present.
Bathroom(s)				not present.
Bathroom(s)				limited visibility to exterior. Main office is centrally located between main
Visibility		х		and secondary school entrances
Health Room with Toilet				upgrade school nurse area
		X		ok - barrier free hardware issues on doors
Accessibility Media Center		Х		
Media Center				read
Size	Х			good.
Flooring		Х		carpet ok condition - but will need to be replaced.
Lighting		х		upgrade lights.
0.00				small and compact - consider for finishes updates -
Office Space		Х		flooring/paint/ceilings/sound?
Doors		х		doors to be replaced
				consider removal and replacement - fire suppression/mech diffusers/fire
Ceilings	х			alarm/ all present in space.
Acoustics	х			no issues noted
Seating		х		need new tables and chairs
Dorimotor Window From				Painted hollow-metal with clear glass - good visibility for centrally located
Perimeter Window Frames	Х			Media Center.
General Note				small / compact. Building has dedicated Art Room and Music Room

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INTERIORS / FINISHES (CON'T)		Bood	tair	pool comments
Kitchen				
				300 meals served daily. Was full functional satellite kitchen for the district
Program				previously.
Equipment		х		Need New Commercial Fridge/Coolers. Need new sink disposals.
Ceilings			х	Replace with wipeable ceiling tiles. Need new diffusers and grills.
				Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider
Cooler/Freezer		х		replacement of both walk-ins.
Floors	х			4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced.
				Receiving area attached to west elevation staff parking lot. No dock currently
Delivery Space			х	at this school.
Storage Space		х		Nice space - need new floor and ceilings. Could use new shelving.
Kitchen Hood		х		Present and large, should be considered for replacement.
				One functional line presently, Originally had two functioning lines. If program
Serving Line		х		changes and kitchen becomes full service again then 2 serving lines required.
Electrical		х		Issue reported by kitchen staff regarding floor outlets not working.
Lighting	х			Linear surface mounted fluorescent bulb fixtures.
Secured	х			Yes.
Fire Suppression/FA	х			Yes, present. Fully sprinklered with fire alarm coverage.
				JRA to recommend list of new equipment for consideration, remove
				residential equipment present, upgrade storage room floor and ceiling.
				Consider delivery/receiving area, amount of storage space, transition to
Overall		х		recycle/compost program.

MECHANICAL		Bood	tair	pool comments
Heating Source and				Building served by (2) Cleaver Brooks Boilers at 1,000 MBH each installed in
Condition		Х		2013.
				Building served by (2) B&G inline pumps with integral VFD installed in 2013.
Heating Pumps and Piping		Х		No known issues with piping.
Cooling Source and				
Condition	Х			Individual DX condensing units. Electrical room needs cooling.
Cooling Pumps and Piping				N/A.
				Classrooms served by (24) horizontal unit vents with remote condensing units
Terminal Devices	Х			installed in 2019. Units need water and air rebalancing.
				A 7.5 ton RTU serves the Offices. (1) 5,000 cfm AHU serves the Gym, and (1)
				8,000 cfm AHU serves the Kitchen and all are original to the building. Units
AHUs and RTUs		Х		need water and air rebalancing.
				All exhaust fans are original to the building. (3) 200 cfm EF, (1) 600 cfm EF, (6)
Ventilation			Х	400 cfm EF, and (1) 100 cfm EF
Building Management				
System/Controls			Х	Building has Trane BMS with pneumatics in Gym, Kitchen, and Offices.
Domestic Water Piping		Х		No known issues.
				Building served by Lochinvar ETN076, 75 gallon, 76 MBH water heater
Water Heaters	Х			installed around 2017.
				Group restrooms remodeled around 2017. (6) Single restrooms are original
Plumbing Fixtures		Х		('89).
Fire Protection		Х		Building is fully sprinkled. 6" Main - with two 4" risers feed the building
Pool equipment				N/A.



ELECTRICAL		Bood	fair	pool comments
Transformer size	х			
Primary/Secondary Service			Х	
Generator				N/A
Occupancy Sensors				N/A
Lighting Control System			Х	Toggle switches. Needs to be replaced.
Panels			Х	Panels are original to the building and degraded. Consider replacing.
Panel Clearance			Х	Remove storage items.
Exit Signs			Х	Exit signs are very old and letters are dim.
Security Camera System	х			District would like to add more cameras
Clocks			Х	Clocks need to be replaced

TECHNOLOGY		Bood	fair	seoi comments
IT Rooms			х	MDF is combination storage/office space. No separate AC.
Fiber Optic Cabling				
(between buildings/IT				Older single mode fiber between buildings, multimode between IT rooms,
rooms)		х		some CAT6 tie lines between racks.
Data Cabling (within				
buildings)	х			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			х	Need to update paging for the district.
Clock System			х	There is no synchronized clock system. Using atomic clocks.
Classroom Audio/Video				Standard throw projectors being replaced with 75" interactive displays. Plan
Systems	х			to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video				Gym needs new audio system and installed projector & screen. Cafeteria has
Systems			х	a screen but needs new audio and installed projector.
Security Camera System			Х	Need to update Sony cameras and VMS (currently exacqvision software)
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt
Access Control System		х		SMS.



04 HIAWATHA ELEMENTARY-BUDGET DETAIL

ITEM #:	5				Acres:		19		
Hiawatha Elementary - Sitework									
	Description	Quantity	UOM		Unit Cost		Total Cost		
Sitework	SITEWORK					\$	-		
Drainage	Stone drainage area adjacent to the teacher parking creates maintenance issues,	1	ALLOW	\$	5,000.00	\$	5,000		
	should be removed if possible.								
Asphalt Parking/ Drives	Some cracks observed in south drive and main entry. Main lot in good condition.	I	ALLOW	\$	10,000.00	\$	10,000		
Sidewalks	Concrete sidewalks in playground area are in fair condition. Add snowmelt at					\$	-		
	main entrance.								
Sidewalks	Remove/replace sidewalks	4,300	SF	\$	11.50	\$	49,450		
Concrete Curbs	Concrete straight curb at paving	245	LF	\$	35.00	\$	8,575		
Sidewalks	Add snow melt sytem at front walks		not include	ed		\$	-		
Adequate Parking			assume wo	ork no	t required	\$	-		
Bus Loop	Bus loop is separated from parent drop-off		assume wo	ork no	t required	\$	-		
Playgrounds			assume wo	ork no	t required	\$	-		
Student Drop off Area	Works well		assume wo	ork no	t required	\$	-		
Landscaping			assume wo	ork no	t required	\$	-		
Irrigation Systems			assume wo	ork no	t required	\$	-		
Athletic fields			assume wo	ork no	t required	\$	-		
Fencing			assume wo	ork no	t required	\$	-		
Service Entrance			assume wo	ork no	\$	-			
Signage			assume wo	ork no	\$	-			
Dumpster Location	Concrete pad, but no dumpster enclosure.		not include	ed		\$	-		
Traffic Directions			assume wo	ork no	t required	\$	-		
Parking Lot Lighting			assume by	owne	r	\$	-		
Retaining Walls			assume wo	ork no	t required	\$	-		
						\$	-		
	Direct Trade	19		\$	3,843.42	\$	73,025		

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ITEM #:	6			G	Fross Area:		62,000
	Hiawatha Elementary - Building Imp	provement	s			E	lementary
	Description	Quantity	UOM		Unit Cost		Total Cost
Building Shell	BUILDING SHELL					\$	-
Roofing	Leaks reported by the teachers lounge, issues with flashing at main entrance canopy, 2012 Carlisle membrane	62,000	SF	\$	3.00	\$	186,000
Exterior Windows	Casements do not work/ heavy/latching issues - not user friendly, Integral blinds	3,600	SF	\$	95.00	\$	342,000
•	Need to further investigate storm runoff area at NW corner just north of staff parking lot.	I	LS	\$	10,000.00	\$	10,000
Defined Entry	· · · · ·		assume wo	ork not r	required	\$	-
Accessibility			assume wo	ork not r	required	\$	-
	EIFS soffits and entrance canopy - needs to be repainted. Metal fascia/coping in good condition	5,850	SF	\$	5.00	\$	29,250
Brick	Brick investigation needed at window head and sill (water intrusion and flashing conditions). Rusted lintels. Some brick spalling at sloped brick sills					\$	-
Brick	Clean/repaint steel lintels	505	LF	\$	15.00	\$	7,575
Brick	Remoe/repalce lintels, allowance	50	LF	\$	150.00	\$	7,500
Brick	Brick replacement	1	ALLOW	\$	25,000.00	\$	25,000
Caulk Joints	Consider further inspection, replacement. Noticed some recent updates but	27,300	SF	\$	0.50	\$	13,650
-	sealant color selected did not match original/existing.						
Water Stains	Present on brick ledges, sills above window heads	27,300	SF	\$	2.00	\$	54,600
	Exterior doors to be replaced, hardware/function issues	28		\$	8,000.00	\$	224,000
General Note						\$	-
Exterior Lighting	District currently replacing lamps on existing parking lot light poles with LED	I	LS	\$	20,000.00	\$	20,000
Building Entrances	Replace hollow metal storefront system at vestibules - bottom rusting. No secure vestibule at entrance.	22	EA	\$	5,500.00	\$	121,000
Building Entrances	HM sidelites/transoms	186	SF	\$	75.00	\$	13,950
-	district always looking to add more locations at exterior perimeter.	6	EA	\$	5,500.00	\$	33,000
						\$	-
	INTERIORS					\$	-
Walls	Paint/refresh entire building	62,000	SF	\$	1.50	\$	93,000
Corridors	Corridors		SF			\$	-
Lighting	upgrade fixtures - original.	13,800	SF	\$	7.50	\$	103,500
	replace carpet - near end of life.	13,800	SF	\$	7.06	\$	97,428
•	Remove and replace 2x4 ceiling tiles and grid/seeing lots of stains and some	13,800		\$	9.00	\$	124,200
-	sagging/pillowing of tiles. Panelized partition walls - no color and dull - upgrade with parch/paint.						



** dil5	Patch walls/paint	28,000	SF	\$ 2.00	\$	56,0		
Heating	Assume add diffuser with new ceilings	13,800	SF	\$ 0.50	\$	6,9		
Lockers	Appears to be in good condition, original lockers - consider replacing with similar	650	EA	\$ 300.00	\$	195,0		
	lockers a Bennett Woods (wide with shoe cubbie below).							
Doors	should be removed and replaced. Most doors do not have barrier free hardware.	\$	259,0					
Size of Corridor	ok - no issues reported.		assume wo	ork not required	\$			
Flow of Corridor		assume work not required						
Emergency Egress	ok.	ork not required	\$					
	Not ADA compliant, include for entire school	\$	34,1					
Classrooms	Classrooms	62,000 22,600	SF SF	\$ 0.55	\$			
	combination of carpet and VCT tile flooring currently - should be considered for	11,000	see item be	alow	\$			
	replacement.							
•	Carpet 90%	20,340		\$ 7.06	\$	143,		
0	VCT 10%	2,260		\$ 5.00	\$	11,		
Ceilings	original - replace with new grid and tiles, many stained ceiling tiles - investigate	22,600	SF	\$ 9.00	\$	203,		
	above for leaks							
Egress Windows	present - did not test function.		see buildin	°	\$			
Casework	Original casework, in good condition - need to be repaired to place in good	864	LF	\$ 170.00	\$	146,		
	working order. Plastic laminate countertop delaminating in some wet locations -							
	consider replacing with solid surface. Do staff and teachers desire new/mobile							
	casework?							
Casework	Casework - remove/replace assume 8 If per classroom	216	LF	\$ 450.00	\$	97,		
Casework	Remove/replace countertops - assume 40 If per classroom	1,080	LF	\$ 170.00	\$	183,		
	upgrade - combo chalk and marker (smartboards) current in use - too small	27	RMS	\$ 3,360.00	\$	90,		
			-	• • • • • • • • • • • • • • • • • • • •				
Heat			see item be	elow	\$			
Air-Conditioning				ork not required	\$			
*	Minimal - would be difficult to install larger perimeter windows given brick			ork not required	\$			
Daylight			assume wo	ink not required	φ			
Overall Size	exterior details around current windows.			when not magicined	\$			
	compact - discuss further with teachers/class sizes.			ork not required				
	should be considered for replacement.		see corrido		\$	150		
	upgrade.	22,600	SF	\$ 7.00	\$	158,		
÷	Assume add diffuser with new ceilings	22,600	SF	\$ 0.50	\$	11,		
General Note I					\$			
General Note 2					\$			
	Toilet Rooms	650	SF		\$ \$			
		650		ork not required	\$ \$			
Toilet Rooms Fixtures Operational		650			\$			
Toilet Rooms Fixtures Operational Toilet Partitions	Yes.	650	assume wo see item be		\$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms.	650	assume wo see item be	elow ork not required	\$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition.	650	assume wo see item be assume wo	elow ork not required	\$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at	650	assume wo see item be assume wo	elow ork not required	\$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated.	650	assume wo see item be assume wo see item be	elow rk not required elow \$ 6,000.00	\$ \$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced.	650	assume wo see item be assume wo see item be LS see item be	elow ork not required elow \$ 6,000.00 elow	\$ \$ \$ \$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated.	650	assume wo see item be assume wo see item be LS see item be see item be	elow ork not required elow \$ 6,000.00 elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced.	650	assume wo see item be assume wo see item be see item be see item be	elow ork not required elow \$ 6,000.00 elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms.	650 	assume wo see item be assume wo see item be see item be see item be see item be	elow ork not required elow \$ 6,000.00 elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced.	650	assume wo see item be assume wo see item be see item be see item be	elow ork not required elow \$ 6,000.00 elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$			
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges.	650 1	assume wo see item be assume wo see item be see item be see item be see item be see item be	elow ork not required elow \$ 6,000.00 elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6,		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school.	1	assume woo see item bu assume woo see item bu see item bu see item bu see item bu see item bu see item bu see item bu	elow vrk not required elow slow elow elow elow elow elow elow elow e	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6.		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges.	650 I 650	assume wo see item be assume wo see item be see item be see item be see item be see item be	elow ork not required elow \$ 6,000.00 elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6,		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet	1	assume woo see item bu assume woo see item bu see item bu see item bu see item bu see item bu see item bu see item bu	elow vrk not required elow slow elow elow elow elow elow elow elow e	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6.		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled.	650	assume woo see item bu assume woo see item bu see item bu	elow prk not required elow elov	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6.		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor	650	assume woo see item bu assume woo see item bu see item bu	elow prk not required elow elov	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6.		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas.	650	assume wo see item bu assume wo see item bu see item see ite	elow ork not required elow \$ 6,000.00 elow elow elow elow elow elow elow fk not required \$ 400.00 owner	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6.		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools.	650 4,500	assume wo see item bu assume wo see item bu see item see ite	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6. 		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis.	650	assume wo see item bu assume wo see item bu see item see ite	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6. 		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Lighting HVAC Daylight	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None.	650 4,500	assume wo see item bu assume wo see item bu see item bu see item bu see item bu see item bu see item bu see item bu assume wo SF assume wo SF assume wo	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6.		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Lighting Lighting HVAC Daylight Gym Equipment	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF.	650 4,500 4,750	assume wo see item bu assume wo see item bu see item bu see item bu see item bu see item bu see item bu assume wo SF SF assume wo SF assume wo SF	elow vrk not required elow elow elow elow elow elow elow vrk not required \$ 400.00 owner vrk not required s 1.05 vrk not required selow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260,		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Lighting HVAC Daylight Gym Equipment Gym Equipment	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels	650 4,500 4,750 2,280	assume wo see item bu assume wo see item bu see item bu see item bu see item bu see item bu see item bu assume wo SF assume wo SF assume wo SF assume wo SF	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. Rewer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item bu see item bu see item bu see item bu see item bu see item bu assume wo SF assume wo SF assume wo SF assume wo SF SF SF	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260, 260, 91, 28,		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Som Equipment Doors	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels	650 4,500 4,750 2,280	assume wo see item bu assume wo see item bu see item see	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260, 260, 91, 28,		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Doors Size of Corridor	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads consider door and hardware upgrades.	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item bu SF SF SF SF SF EA assume wo	elow vrk not required elow elow elow elow elow elow elow vrk not required vrk not required s 1.05 rk not required vrk not required vrk not required s 25.00 s 3,500.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260 260 91 28		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Som Equipment Doors	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads consider door and hardware upgrades.	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item bu SF SF SF SF SF EA assume wo	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260 260 91 28		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Doors Size of Corridor Bleachers	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads consider door and hardware upgrades.	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item bu SF SF SF EA assume wo assume wo assume wo assume wo	elow vrk not required elow elow elow elow elow elow elow vrk not required vrk not required s 1.05 rk not required vrk not required vrk not required s 25.00 s 3,500.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260 260 91 28		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Doors Size of Corridor Bleachers	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads consider door and hardware upgrades.	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item bu assume wo assume wo assume wo assume wo	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260 260 91 28		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Doors Size of Corridor Bleachers Egress	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads consider door and hardware upgrades.	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item see item see SF EA assume wo assume wo assume wo assume wo	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260 260 91 28		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Gym Equipment Gym Equipment Egress Locker Rooms	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads consider door and hardware upgrades.	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item bu assume wo SF SF SF SF EA assume wo assume wo assume wo assume wo assume wo assume wo assume wo	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	260, 260, 91, 28,		
Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Toilet Room Upgrade Gymnasium Flooring Lighting HVAC Daylight Gym Equipment Gym Equipment Gym Equipment Size of Corridor Bleachers Egress Locker Rooms Walls/Ceilings	Yes. Nice in renovated toilet rooms/need to be replace in existing toilet rooms. Ok condition. New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated. All floors drains should be cleaned and serviced. only present in updated toilet rooms. existing room not renovated with last bond cycle present barrier free challenges. Not bad for an elementary school. All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled. Gymnasium wood floor needs to be refinished. The district was planning to refinish this floor over Christmas. newer upgrade - consistent with other schools. Performing commissioning/TAB analysis. None. Need wall padding - sound panels installed above CMU walls - 8' AFF. Sound panels Wall pads consider door and hardware upgrades.	650 4,500 4,750 2,280 1,140	assume wo see item bu assume wo see item bu see item bu assume wo SF SF SF SF EA assume wo assume wo assume wo assume wo assume wo assume wo assume wo	elow vrk not required elow elow elow elow elow elow elow elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	6. 		

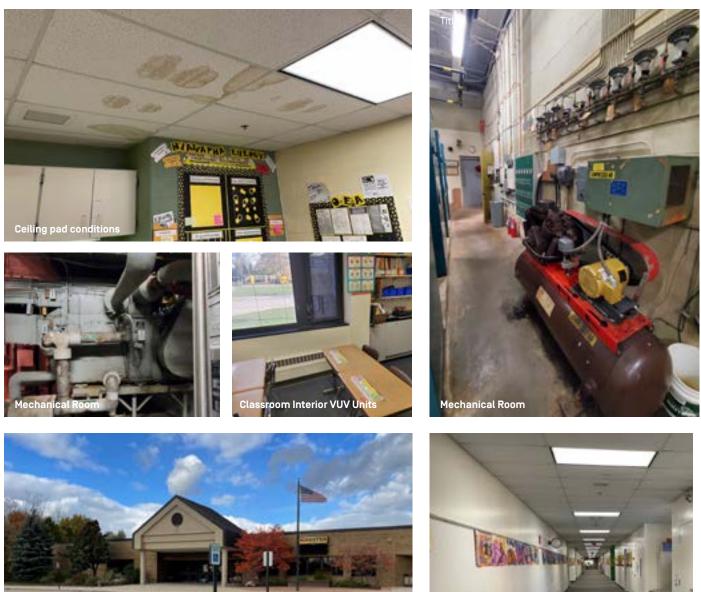


Ceilings/Wall	2x2 grid and fiberglass pads - needs to be replaced, leaks in Storage ceiling - investigate flashing above.	3,600	SF	\$ 12.00	\$	43,20
Accessibility	ok.		assume wo	ork not required	\$	-
Lighting	upgrade light fixtures.	3,600	SF	\$ 8.50	\$	30,60
	Assume add diffuser with new ceilings	3,600	SF	\$ 0.50	\$	1,80
	old tables with integral benches.	5,000		E budget %	\$	-
				,		
size				ork not required	\$	-
Air-Conditioning			assume wo	ork not required	\$	-
Daylight	ok - perimeter window wall present.		assume wo	ork not required	\$	-
	no comments/concerns noted about capacity or need to expand. Room serves		assume wo	ork not required	\$	-
			assume me	in noci equi eu	Ť	
_	other uses outside of cafeteria for students.		- 4		•	21.00
	Remove and replace.	6	EA	\$ 3,500.00	\$	21,00
General Note			assume wo	ork not required	\$	-
Offices	Offices	2,300	SF		\$	-
Flooring	replace.	2,300	SF	\$ 7.50	\$	17,2
Furniture		_,		E budget %	\$	
		2 202		-		
Ceiling	remove and replace.	2,300	SF	\$ 12.00	\$	27,6
Paging	update.	2,300	in elec belo	w	\$	-
Master Clock	update.	2,300	in elec belo	w	\$	-
Phone System		2,300			\$	-
,				1		-
	upgrade fixtures.	2,300	SF	\$ 8.00	\$	18,40
Heating	Assume add diffuser with new ceilings	2,300	SF	\$ 0.50	\$	1,1
Copy/Work Room	upgrade - renovate (small and compact with VCT flooring / gyp walls and original	180	SF	\$ 120.00	\$	21,6
••	casework and fridge. Staff deserve upgrade.					
Mosting Da-		234	SF	\$ 120.00	\$	28,0
-	upgrade - renovate.	234				20,0
Coffee Break Area				ork not required	\$	-
Bathroom(s	not present.		assume wo	ork not required	\$	-
Visibility	limited visibility to exterior. Main office is centrally located between main and		assume wo	ork not required	\$	-
	secondary school entrances					
		100	CF.	¢ 200.00	¢	20.0
	upgrade school nurse area	100	SF	\$ 300.00	\$	30,00
Accessibility	ok - barrier free hardware issues on doors	13	EA	\$ 1,000.00	\$	13,00
Media Center	Media Center	3,330	SF		\$	-
Size	good.		assume wo	ork not required	\$	-
	5	2 2 2 0	SF		\$	23,5
	carpet ok condition - but will need to be replaced.	3,330		· ·	· ·	
Lighting	upgrade lights.	3,330	SF	\$ 11.00	\$	36,6
Heating	Assume add diffuser with new ceilings	3,330	SF	\$ 0.50	\$	1,6
Office Space	small and compact - consider for finishes updates - flooring/paint/ceilings/sound?	170	SF	\$ 75.00	\$	12,7
			-	•	•	,
M at a					¢	
	minimal - not sure if performance issues are present within the space.			ork not required	\$	-
	minimal - not sure if performance issues are present within the space. ADA hardware updates required	4		ork not required \$ 1,000.00	\$ \$	- 4,00
Doors		4	EA	· · · · · · · · · · · · · · · · · · ·		- 4,0 39,9
Doors	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all		EA	\$ 1,000.00	\$	
Door: Ceiling:	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space.		EA SF	\$ 1,000.00 \$ 12.00	\$	39,9
Door: Ceiling: Acoustic:	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted		EA SF assume wo	\$ 1,000.00 \$ 12.00	\$ \$ \$	39,9
Door: Ceiling: Acoustic:	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space.		EA SF assume wo	\$ 1,000.00 \$ 12.00	\$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted		EA SF assume wo owner FF8	\$ 1,000.00 \$ 12.00	\$ \$ \$	39,9
Door: Ceiling Acoustic: Seating	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs		EA SF assume wo owner FF8	\$ 1,000.00 \$ 12.00 ork not required KE budget %	\$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center.		EA SF assume wo owner FF8 assume wo	\$ 1,000.00 \$ 12.00 brk not required & budget % brk not required	\$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room	3,330	EA SF assume wc owner FF8 assume wc	\$ 1,000.00 \$ 12.00 ork not required KE budget %	\$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen		EA SF assume wc owner FF8 assume wc assume wc	\$ 1,000.00 \$ 12.00 bork not required E budget % bork not required	\$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room	3,330	EA SF assume wc owner FF8 assume wc	\$ 1,000.00 \$ 12.00 bork not required E budget % bork not required	\$ \$ \$ \$ \$	39,9 - - - - -
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen	3,330	EA SF assume wc owner FF8 assume wc assume wc	\$ 1,000.00 \$ 12.00 bork not required E budget % bork not required	\$ \$ \$ \$ \$ \$ \$	39,9 - - - - -
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room <u>Kitchen</u> 300 meals served daily. Was full functional satellite kitchen for the district previously.	3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items b	\$ 1,000.00 \$ 12.00 vrk not required Vector K not required vrk not required vrk not required vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room <u>Kitchen</u> 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals.	3,330	EA SF owner FF8 assume wc assume wc SF see items t see equipm	\$ 1,000.00 \$ 12.00 vrk not required Æ budget % bork not required bork not required bork not required below	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9 - - - - - - - - - - - -
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room <u>Kitchen</u> 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills.	3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I see equipn see items I	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9 - - - - - - - - - - - - -
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT	3,330 3,000 3,330	EA SF assume wo owner FF8 assume wo assume wo SF see items I see items I SF	\$ 1,000.00 \$ 12.00 vrk not required 0 vrk not required 0 ork not required 0 ork not required 0 obelow 0 \$ 12.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room <u>Kitchen</u> 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills.	3,330	EA SF assume wo owner FF8 assume wo assume wo SF see items I see items I SF	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling Heating	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT	3,330 3,000 3,330	EA SF assume wo owner FF8 assume wo assume wo SF see items I see items I SF	\$ 1,000.00 \$ 12.00 vrk not required 0 vrk not required 0 ork not required 0 ork not required 0 vrk not required 0 vrk not required 0 vrk not required 0 vrk not required 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling Heating	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider	3,330 3,000 3,330	EA SF assume wo owner FF8 assume wo assume wo SF see items I see items I SF SF	\$ 1,000.00 \$ 12.00 vrk not required 0 vrk not required 0 ork not required 0 ork not required 0 vrk not required 0 vrk not required 0 vrk not required 0 vrk not required 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room <u>Kitchen</u> 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc SF see items t SF SF SF see item b	\$ 1,000.00 \$ 12.00 ork not required 4E budget % ork not required ork not required option below selow \$ 12.00 \$ 0.50 elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider	3,330 3,000 3,330	EA SF assume wc owner FF8 assume wc SF see items t SF SF SF see item b	\$ 1,000.00 \$ 12.00 vrk not required 0 vrk not required 0 ork not required 0 ork not required 0 vrk not required 0 vrk not required 0 vrk not required 0 vrk not required 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room <u>Kitchen</u> 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc SF see items t SF SF SF see item b	\$ 1,000.00 \$ 12.00 ork not required 4E budget % ork not required ork not required option below selow \$ 12.00 \$ 0.50 elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9,
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Heating Cooler/Freezer Floor:	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room <u>Kitchen</u> 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I See items I SF See item b SF SF	\$ 1,000.00 \$ 12.00 ork not required 4E budget % ork not required ork not required option below selow \$ 12.00 \$ 0.50 elow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Heating Cooler/Freezer Floor:	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I See items I SF See item b SF SF	\$ 1,000.00 \$ 12.00 >rk not required > >rk not required >ork not required <	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Noto Kitchen Program Equipmen Ceiling: Ceiling: Ceiling: Heating Cooler/Freezer Floor: Delivery Space	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I SF SF SF SF SF SF SF	\$ 1,000.00 \$ 12.00 vrk not required Æ budget % ork not required ork not required pelow selow \$ 12.00 \$ 0.50 elow \$ 0.50 elow \$ 5.00 ork not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling: Ceiling: Ceiling: Heating Cooler/Freezer Floor: Delivery Space	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I SF SF see item b SF SF assume wc see item b	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling Ceiling Heating Cooler/Freezer Floor: Delivery Space Storage Space Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace ceiling	3,330 3,000 3,330 3,330 3,330	EA SF assume wo owner FF8 assume wo SF see items t SF SF SF see item b SF SF see item b SF	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling Ceiling Heating Cooler/Freezer Floor: Delivery Space Storage Space Ceiling	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I SF SF see item b SF SF assume wc see item b	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Noto Kitchen Program Equipmen Ceiling Ceiling Ceiling Heating Cooler/Freezer Floor: Delivery Space Storage Space Ceiling Flooring	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace ceiling Remove/replace flooring	3,330 3,000 3,330 3,330 3,330	EA SF assume wo owner FF8 assume wo SF see items t SF SF see items t SF SF see item b SF see item b SF	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling Ceiling Ceiling Ceiling Heating Cooler/Freezet Floors Delivery Space Storage Space Ceiling Flooring Flooring	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace ceiling Remove/replace flooring New shelving	3,330 3,000 3,330 3,330 3,330	EA SF assume wo owner FF8 assume wo assume wo SF see items I SF SF see items b SF SF see item b SF SF see item b SF assume wo SF	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen Progran Equipmen Ceiling Ceiling Heating Cooler/Freezer Floor: Delivery Space Storage Space Ceiling Flooring Casework	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace flooring New shelving Present and large, should be considered for replacement.	3,330 3,000 3,330 3,330 3,330	EA SF assume wo owner FF8 assume wo assume wo SF see items I SF SF see items b SF SF see item b SF SF see item b SF assume wo SF	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frames General Note Kitchen Program Equipmen Ceiling Ceiling Ceiling Ceiling Ceiling Heating Cooler/Freezet Floors Delivery Space Storage Space Ceiling Flooring Flooring	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace flooring New shelving Present and large, should be considered for replacement.	3,330 3,000 3,330 3,330 3,330	EA SF assume wo owner FF8 assume wo assume wo SF see items I SF SF see items b SF SF see item b SF SF see item b SF assume wo SF	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Cooler/Freezet Floor: Delivery Space Storage Space Ceiling Flooring Casewort Kitchen Hooc Make-up Ai	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace flooring New shelving Present and large, should be considered for replacement.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc SF see items I See items I SF See item b SF SF See item b SF SF assume wc see item b with item a with item a not include see equipn	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Cooler/Freezet Floor: Delivery Space Storage Space Ceiling Flooring Casewort Kitchen Hooc Make-up Ai	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace flooring New shelving Present and large, should be considered for replacement. One functional line presently, Originally had two functioning lines. If program	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc SF see items I See items I SF See item b SF SF See item b SF SF assume wc see item b with item a with item a not include see equipn	\$ 1,000.00 \$ 12.00 >rk not required https://www.edu/action.com >rk not required >prk not required >pelow \$ 12.00 \$ 12.00 \$ 0.50 elow above above ad nent below	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Note Kitchen Progran Equipmen Ceiling Ceiling Ceiling Cooler/Freezet Floor: Delivery Space Storage Space Ceiling Flooring Casewort Kitchen Hooc Make-up Ai	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace ceiling Remove/replace flooring New shelving Present and large, should be considered for replacement.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc SF see items I See items I SF See item b SF SF See item b SF SF assume wc see item b with item a with item a not include see equipn	\$ 1,000.00 \$ 12.00 >rk not required https://www.edu/action.com >rk not required >prk not required >pelow \$ 12.00 \$ 12.00 \$ 0.50 elow above above ad nent below	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling: Acoustic: Seating Perimeter Window Frame: General Noto Kitchen Program Equipmen Ceiling: Ceiling: Ceiling: Ceiling: Ceiling: Ceiling: Ceiling: Ceiling: Ceiling: Ceiling: Cooler/Freezer Floor: Delivery Space Storage Space Ceiling: Flooring Casewort Kitchen Hooo Make-up Ai	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace flooring New shelving Present and large, should be considered for replacement. One functional line presently. Originally had two functioning lines. If program changes and kitchen becomes full service again then 2 serving lines required.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc SF see items I See items I SF SF SF see item b SF SF see item b with item a with item a not include see equipn assume wc	\$ 1,000.00 \$ 12.00 vrk not required Æ budget % ork not required brk not required pelow selow \$ 12.00 \$ 12.00 selow pelow \$ 0.50 elow selow pelow \$ 0.50 pork not required pelow pelow \$ 0.50 pork not required pelow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Noto Kitchen Program Equipmen Ceiling:	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace ceiling Remove/replace ceiling Remove/replace ceiling Remove/replace ceiling Remove/replace flooring New shelving Present and large, should be considered for replacement. One functional line presently. Originally had two functioning lines. If program changes and kitchen becomes full service again then 2 serving lines required.	3,330 3,000 3,330 3,330 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I SF SF see item b SF SF see item b SF SF see item b vith item a with item a not include see equipn assume wc SF	\$ 1,000.00 \$ 12.00 vrk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9
Door: Ceiling Acoustic: Seating Perimeter Window Frame: General Noto Kitchen Program Equipmen Ceiling:	ADA hardware updates required consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space. no issues noted need new tables and chairs Painted hollow-metal with clear glass - good visibility for centrally located Media Center. small / compact. Building has dedicated Art Room and Music Room Kitchen 300 meals served daily. Was full functional satellite kitchen for the district previously. Need New Commercial Fridge/Coolers. Need new sink disposals. Replace with wipeable ceiling tiles. Need new diffusers and grills. Remove/replace washable ACT Add diffuser and grilles with new ceilings Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins. 4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced. Receiving area attached to west elevation staff parking lot. No dock currently at this school. Nice space - need new floor and ceilings. Could use new shelving. Remove/replace flooring New shelving Present and large, should be considered for replacement. One functional line presently. Originally had two functioning lines. If program changes and kitchen becomes full service again then 2 serving lines required.	3,330 3,000 3,330 3,330 3,330	EA SF assume wc owner FF8 assume wc assume wc SF see items I SF SF see item b SF SF see item b SF SF see item b vith item a with item a not include see equipn assume wc SF	\$ 1,000.00 \$ 12.00 vrk not required Æ budget % ork not required brk not required pelow selow \$ 12.00 \$ 12.00 selow pelow \$ 0.50 elow selow pelow \$ 0.50 pork not required pelow pelow \$ 0.50 pork not required pelow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,9



Jeculeu	Yes.		assume wo	ork not rea	wired	\$	-
Fire Suppression/FA	Yes, present. Fully sprinklered with fire alarm coverage.		assume wo			₽ \$	
	JRA to recommend list of new equipment for consideration, remove residential	1	LS	\$	450.000.00	.⊅ \$	450,00
Overall	equipment present, upgrade storage room floor and ceiling. Consider	Į.	L3	φ	430,000.00	φ	450,00
	delivery/receiving area, amount of storage space, transition to recycle/compost						
	program.					•	
	MECHANICAL					\$	-
	MECHANICAL					\$	-
Heating Source and Condition	Building served by (2) Cleaver Brooks Boilers at 1,000 MBH each installed in 2013.		assume wo	ork not req	luired	\$	-
						•	
	Building served by (2) B&G inline pumps with integral VFD installed in 2013. No		assume wo	ork not req	luired	\$	-
	known issues with piping.						
Cooling Source and Condition	Individual DX condensing units. Electrical room needs cooling.	I	ALLOW	\$	9,800.00	\$	7,8
Cooling Pumps and Piping	N/A.						
Terminal Devices	Classrooms served by horizontal unit vents with remote condensing units installed	I	ALLOW	\$	7,200.00	\$	7,2
	in 2019. Units need water and air rebalancing.						
AHUs and RTUs	A RTU serves the Offices. (2) AHU's serve the Gym, and Kitchen and all are	1	ALLOW	\$	1,200.00	\$	١,2
	original to the building. Units need water and air rebalancing.						
AHUs and RTUs	7.5 ton RTU serves the Offices. (1) 5,000 cfm AHU serves the Gym, and (1) 8,000	1	LS	\$	162,000.00	\$	162,0
	cfm AHU serves the Kitchen and all are original to the building						
Ventilation	All exhaust fans are original to the building.	1	ALLOW	\$	12,500.00	\$	10,5
				Ť	,	•	,-
Building Management	Building has Trane BMS with pneumatics in Gym, Kitchen, and Offices.	62,000	SE	\$	5.00	\$	310,0
• •	Building has Trane Bris with pheumatics in Gyni, Kitchen, and Onices.	62,000	3F	φ	5.00	Ð	510,0
System/Controls	AL 1 .					•	
Domestic Water Piping			assume wo			\$	-
	Building served by Lochinvar ETN076, 75 gallon, 76 MBH water heater installed		assume wo	ork not req	luired	\$	-
	around 2017.						
Plumbing Fixtures	Group restrooms remodeled around 2017. Single restrooms are original ('89).		included w	ith toilet r	ooms above	\$	-
Fire Protection	Building is fully sprinkled. 6" Main - with two 4" risers feed the building		assume wo	ork not req	luired	\$	-
Pool equipment	N/A.		not applica	ıble		\$	-
						\$	-
	ELECTRICAL					\$	-
Transformer size						\$	
Primary/Secondary Service						·	in panels below
Generator	N/A					\$	in pariels below
							-
• • •							
Occupancy Sensors						\$	
Lighting	Misc. areas unaccounted for	7,890		\$	7.00	\$ \$	
Lighting		62,000	SF	\$	7.00 1.50	\$	
Lighting Lighting Control System	Misc. areas unaccounted for		SF			\$ \$ \$ \$	93,0
Lighting Lighting Control System Panels	Misc. areas unaccounted for Toggle switches. Needs to be replaced.	62,000	SF	\$	1.50	\$ \$ \$	93,0
Lighting Lighting Control System Panels Panel Clearance	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing.	62,000	SF	\$	1.50	\$ \$ \$ \$	93,0
Lighting Lighting Control System Panels Panel Clearance Exit Signs	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items.	62,000	SF SF	\$	1.50	\$ \$ \$ \$	93,0 201,5 - in above
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim.	62,000 62,000	SF SF SF	\$	1.50 3.25	\$ \$ \$ \$	93,0 201,5 - in above 62,0
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras	62,000 62,000 62,000 62,000	SF SF SF SF	\$ \$ \$	1.50 3.25 1.00	\$ \$ \$ \$ \$	93,0 201,5 - in above 62,0 15,5
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras	62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF	\$ \$ \$ \$ \$	1.50 3.25 1.00 0.25	\$ \$ \$ \$ \$ \$	93,0 201,5 - - - - - - - - - - - - - - - - - - -
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras	62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF	\$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging Phone System	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras	62,000 62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF	\$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras	62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF	\$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging Phone System	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras	62,000 62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF	\$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5 in above 62,0 15,5 46,5 37,2 124,0
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging Phone System	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras Clocks need to be replaced	62,000 62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF	\$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5 in above 62,0 15,5 46,5 37,2 124,0 124,0
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging Phone System Branch	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras Clocks need to be replaced TECHNOLOGY	62,000 62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60 2.00 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5 in above 62,0 15,5 46,5 37,2 124,0 124,0
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging Phone System Branch	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras Clocks need to be replaced TECHNOLOGY MDF is combination storage/office space. No separate AC.	62,000 62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF included in	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60 2.00 2.00 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5 in above 62,0 15,5 46,5 37,2 124,0 124,0
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging Phone System Branch	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras Clocks need to be replaced TECHNOLOGY	62,000 62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF included in	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60 2.00 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5 in above 62,0 15,5 46,5 37,2 124,0 124,0
Lighting Lighting Control System Panels Panel Clearance Exit Signs Security Camera System Clocks Fire Alarm Paging Phone System Branch IT Rooms Fiber Optic Cabling (between	Misc. areas unaccounted for Toggle switches. Needs to be replaced. Panels are original to the building and degraded. Consider replacing. Remove storage items. Exit signs are very old and letters are dim. District would like to add more cameras Clocks need to be replaced TECHNOLOGY MDF is combination storage/office space. No separate AC.	62,000 62,000 62,000 62,000 62,000 62,000 62,000	SF SF SF SF SF SF SF SF included in	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 3.25 1.00 0.25 0.75 0.60 2.00 2.00 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	93,0 201,5 in above 62,0 15,5 46,5 37,2 124,0 124,0
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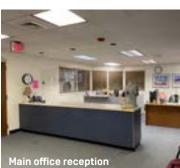


































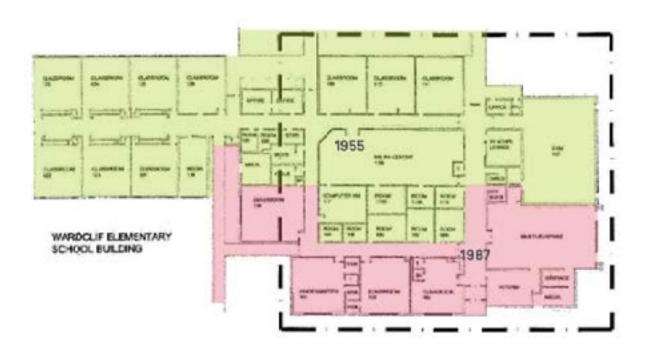
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ECHRISTMAN

Use:	Closed / Community Functions
Built:	1955
Additions + Renovations:	1967 / 1987 / 2012
Total Building Area:	33,000 SF
Site Area:	16.07 Acres
Enrollment:	N/A
Square Footage per Student:	N/A
Renovation Cost:	\$12,672,912
Current Replacement Value (CRV)	\$10,560,000
Facility Condition Index (FCI):	120%













OBSERVATION HIGHLIGHTS

SITE

Asphalt is in fair condition. Parking lot and bus loop likely undersized if facility was ever reopened as an elementary. The playground equipment is heavily used by the community and they have requested upgrades to this equipment. Community garden located on the north elevation of the school is still in use and an active space for the neighborhood and community.

ARCHITECTURE

Located directly off Wardcliff Road, Wardcliff Elementary has been closed for over a decade and used as a facility available for community use and district storage. Most classrooms and toilet rooms are not in use and offline. Found some locations where perimeter windows and frames should be removed and replaced with thermally broken glass and frames for better performance and interior comfort. The team noticed that similar exterior conditions exist, windows and EIFS, as at Cornell Elementary. Similar conditions and the same notes apply for exterior cleaning and maintenance to increase life expectancy of existing products.

INTERIORS

Due to limited use of the facility, most building services are off or not in use. Most toilet rooms finishes and fixtures are ready for upgrades. The existing gym is most widely used by the community for other functions. Most other areas of the school are used for district storage of classroom desks, chairs, and furniture. Existing carpet and vinyl tile flooring should be removed and upgraded. Most ceiling tiles will need replacement.

MECHANICAL

Replace (15) horizontal unit vents, air-handling units (4,000 cfm, 1,000 cfm, and Gym), and rooftop units (2-2,000 cfm) with new. Add cooling to the office area. All exhaust fans should be replaced. Replace the partial pneumatic controls with new DDC and upgrade the balance of the DDC control system. The 40 gallon, 34 MBH and 100 gallon, 200 MBH water heaters should be replaced. Replaced. Replace plumbing fixtures with new.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. The parking lot has no existing lighting. Pole mounted fixtures need to be added for better visibility and security. Exit signs are in poor condition with faded lettering. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape. The existing overhead service to the building should be replaced with an upgraded underground service.

TECHNOLOGY

Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.



RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. The site is large and presents many opportunities for placement of a new structure. The site is large and presents many opportunities for placement of a new structure. This building is currently offline.



DATA SHEETS

Facility Assessment

Building Name

Wardcliff Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		Bood	fair .	comments
Drainage	х			No reported issues.
Asphalt Parking/ Drives		х		Asphalt pavement in fair condition.
Sidewalks		х		
Adequate Parking		х		Parking capacity is likely undersized if the facility was reopened as a school.
Bus Loop			х	No separate bus loop
				Community requesting upgrades - neighborhood location - cause for lots of
Playgrounds			х	use. Community garden located here.
Student Drop off Area		х		One loop with parking
Landscaping			х	Front landscaping is overgrown.
				Adjacent soccer fields rented and used by the community. Asphalt pavement
Athletic fields			х	for basketball is cracked and in poor condition.
Fencing				N/A
Service Entrance			х	
Signage			х	
Parking Lot Lighting			х	No parking lot lighting currently, wall packs on building
				Low connection point to building located on SE corner of site, runs in close
Electrical Service			х	proximity to current playground location.
Community Garden				Present on north end of site - used by community members.

ARCHITECTURAL		200d	tair .	po ^{oi} comments
Building Shell		х		
				2004 Firestone membrane. Leaks present. Membrane needs to be inspected
Roofing			х	and replaced. Exterior gravel stop fascia needs to be reinstalled as well.
				Mixture of window types around building based on original areas v.
				renovations. Units present that need to be replaced. Not thermally efficient,
				need performance and operational updates. Need to replaced original
Exterior Windows			х	window frame in special education classroom (single pane).
Defined Entry	х			Two entrances at front of building. Main entrance is not prominent.
				Building does not have vestibules or automatic door hardware for ADA
Accessibility		х		access. No exterior curb at main entrance lot sidewalk.
				Main entrance canopy needs to be removed and replaced. Seeing signs of
Fascia/Soffits		х		failing soffit panels, exposed structural signs has rust present.
Maintenance Room Entry			Х	Maintenance Room in back of building - no vehicular access
				In good condition, building has a couple different variation of exterior and
				interior brick. Exterior CMU stone and limestone present. Exterior stone
Masonry	х			needs to be cleaned (mildew)
EIFS			Х	EIFS fascia - Bird Damage to be repaired
Caulk Joints		х		
Water Stains		х		Mildew present on exterior brick. Exterior facade in.
				Decent condition overall - most exterior entrances are aluminum frames with
Exterior Doors		х		insulated glass units.
Vestibule Entries			х	No secure vestibule, no card readers



INTERIORS / FINISHES		200d	tair	pool comments
Corridors				
Lights			Х	Replace.
				Mixture of Carpet and VCT - all should be replaced. Need walk off carpet at
Flooring			х	exterior doors.
				Replace ceiling. Walls in good condition in all areas (most have brick and
Ceiling/Walls			х	painted CMU).
Lockers				No corridor lockers
				Wood doors and hardware should be replaced. Hollow metal frames and
Doors			х	wire glass to be replaced.
				Narrow compared to today's standard (currently filled with misc. district
				supplies, desks, chairs, furniture). Classrooms and corridors used for overflow
Size of Corridor		х		storage space.
Flow of Corridor		х		
Vestibules			х	Not present (only main exterior entrances)
Classrooms				
Flooring			х	Replace carpet.
				Replace grid and ceiling pads. Noticed another drop ceiling panels and grid
				above current ceilings (should be noted for removal if existing ceiling work
Ceiling			х	gets included).
				Classrooms do not have exterior egress doors did not test operation of
				emergency operable windows. Noticed labels only on some windows in
Egress Windows			х	certain classrooms.
Casework			х	Remove and replace.
Marker/Chalkboards			х	Remove and replace.
Daylight		х		Ok - most classrooms have (2) individual windows in each classroom.
Overall Size		x		
Doors			х	Replace wood doors, hardware, and hollow metal frames if possible.
Lighting			X	Upgrade.
			~	It should be noted that the 1987 renovations and additions - rooms located
				on the east elevation/corridor (south of current Cafe entrance). Rooms
				labeled as speech, reading, child care, art, kindergarten all in 'better'
				condition than the rest of the building. Flooring, walls, ceilings in
General Note 1				decent/functional shape.
Toilet Rooms				
				Most fixtures are original to their respective construction dates. Most
				locations have been shutoff and not in use. All toilet rooms should be
Fixtures Operational			x	upgraded depending on future use of facility.
			^	Upgrade. Most bathrooms do not have partitions. Some corridor common
				bathrooms in the facility. Smaller single bathrooms also present within the
Toilet Partitions			x	facility.
Tollet Fartitions			^	in decent condition (be aware of exposed steel structural columns within the
Walls		x		corridors). Mixture of drywall, CMU and brick present.
Floors		^	х	All original tile flooring should be replaced.
110013			^	Have not been in use, some reports of bad sanitary piping, possible root
Floor Drains		x	x	damage. Should be inspected for operation.
Lighting		<u> </u>	x	Upgrade.
Ceilings		v	~	Upgrade.
Mirrors		X		Upgrade.
ADA Accessible		х	х	No ADA compliant.
Gymnasium			~	
	v			New rubber floor.
Flooring	X			New fixtures and bulbs in the room.
Lights	Х			
Daylight			х	None.
Gym Equipment		X		Hoops could be replaced and updated. No wall padding present.
Doors		х		Replace wood doors and entrance hollow metal frame and glass.



INTERIORS / FINISHES	/	200d	tair .	comments
(CON'T)		20	10 1	
Size		х		Small and compact but similar to the other elementary schools in the district.
Bleachers				None.
Egress	х			Exterior and interior egress. Exit signs present.
Walls/Ceilings	х			
Cafeteria				
Flooring			х	Replace - new sheet vinyl, but tearing, prep issues. Same as kitchen.
Ceilings/Walls		х		Replace ceiling pads/grid/fixture. Walls in good condition - to be repainted
Accessibility	х			
Lighting			х	Upgrade.
Seating		х		
size	х			
Daylight		х		Aluminum window frame with integral blinds on north elevation.
Overall Size		х		Good.
Doors		x		Entrance doors should be upgraded, hollow-metal frames ok.
				This was originally a multi-purpose room (CMU walls with sound panels
				present). Food service kitchen, mechanical room and fan room all accessed
				through Cafe. (2) rooms built (partition walls) near main entrance of room
General Note				that are not shown on the current floor plans.
Egress	x			Interior and Exterior egress paths
Offices	^			
Offices				Entire area chould be ungraded baced on building function in the future
Flag win a				Entire area should be upgraded based on building function in the future.
Flooring			X	Offices not required if not an elementary school.
Furniture			х	
Ceilings			х	
Paging			х	
Master Clock			х	
Phone System			х	
Lighting			х	
Copy/Work Room			х	
Meeting Rooms			х	
Coffee Break Area			х	
Bathroom(s)			х	
Visibility			х	
Media Center				
Size				N/A - not dedicated or currently media center in use
Flooring			х	Carpet to be replaced
Lighting			х	Upgrades needed
Office Space		х		
				Doors in this space are in better condition than the original wing. Door knobs
Doors		х		to be replaced with levers.
Ceilings		х		Ceilings to be replaced
Kitchen				
-				Not functioning building currently. Existing kitchen (30x40) and cafeteria
Program				present on north end of building.
				JRA to provide list for selecting new equipment. Large 3 compartment sink,
Equipment		x		residential refrigerators, hood and range.
				ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling
Coilings				
Ceilings			Х	tiles/diffusers/grilles all need to be replaced.
Cooler/Freezer				Walk-in units not present.
Floors			х	Replace- currently rubber sheet vinyl in kitchen and cafeteria.



INTERIORS / FINISHES (CON'T)	bood	tair .	pool comments
			Receiving area attached to new west elevation bus loop service drive. No
			receiving dock. Need to add large entry for delivery/receiving/unloading. No
Delivery Space		х	covered protection currently.
Storage Space		х	No storage space.
			Hood present above range. Can be removed and replaced based on new
Kitchen Hood		х	design.
			Compact, one serving line, need to redesign/reformat. Space closed off from
Serving Line	х		Cafeteria (open up).
Electrical	х		No issues noted - such as too few outlets/location/breaker capacity.
Lighting	х		Upgrade light fixtures.
Fire Suppression/FA			Not present in kitchen.
			School closed. Kitchen and Cafeteria space large enough for fully functional
			space. Shipping/Receiving/Deliveries area present on west elevation (turn-
Overall			around thru north staff parking lot). No dock.

MECHANICAL	2000	tair	post comments
Heating Source and			Building served by (2) Thermal Solutions, 1,000 MBH each heating hot water
Condition	Х		boilers installed in 2004.
			Building is served by (2) B&G, 60 gpm, 35' HD base mounted pumps installed
Heating Pumps and Piping	Х		in 2004.
Cooling Source and			
Condition		Х	Individual DX cooling.
Cooling Pumps and Piping			N/A.
Terminal Devices		х	(15) Classrooms served by horizontal unit vents that are original.
			An 4,000 cfm AHU serves the Multi-Purpose room and is at end of life. An
			2,000 cfm RTU serves the Media Center and is at end of life. An 2,000 cfm
			RTU serves the Offices and is at end of life. An 1,000 cfm AHU serves the
			Kitchen and is at end of life. An 800 cfm RTU serves the Computer Classroom
AHUs and RTUs		Х	and was installed in 2007. An AHU serves the Gym and is at end of life.
			Exhaust fans are at the end of life. (2) 300 cfm EF's, (2) 500 cfm EF, and (7)
Ventilation		х	100 cfm EF's.
Building Management			
System/Controls		Х	Building served by Trane BMS with partial pneumatics.
Domestic Water Piping	Х		No known issues.
			Building served by Lochinvar water heater, 40 gallon, 34 MBH and is at end of
			life. Kitchen is served by 100 gallon, 200 MBH water heater and is at end of
Water Heaters		Х	life.
Plumbing Fixtures		Х	Plumbing fixtures are at end of life.
Fire Protection			N/A.
Pool equipment			N/A.

ELECTRICAL		200d	tair .	poli comments
Transformer size	х			
Primary/Secondary Service	Х			Owner would like to relocate overhead power feed to building underground
Generator				There is no generator on site.
Occupancy Sensors				N/A.
Lighting Control System			х	Toggle switches. Needs updating.
Panels	х			Majority of panels are in good shape.
Panel Clearance	х			Need to remove storage items.



ELECTRICAL (CON'T)		200d	rair .	comments
				Upgraded in the last 5 years. Future upgrades could include voice activation
Fire Alarm	х			(district wide)
Interior Lighting			х	Fluorescent fixtures throughout need to be replaced.
Exit Signs			Х	Exit signs are very old and letters are dim.

TECHNOLOGY		800d	fair	pool comments
IT Rooms		х		Bare minimum MDF. Needs AC.
Fiber Optic Cabling				
(between buildings/IT				Older single mode fiber between buildings, multimode between IT rooms,
rooms)		х		some CAT6 tie lines between racks.
Data Cabling (within				
buildings)	х			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			х	Need to update paging for the district.
Clock System			х	There is no synchronized clock system. Limited atomic clocks
Classroom Audio/Video				
Systems			х	No AV.
Large Space Audio/Video				
Systems			х	No AV.
Security Camera System			х	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System			Х	Limited access control. School not in active use.



BUDGET DETAIL

ITEM #:	15				Acres:	20
	Wardcliff Elementary - Site	work				
	Description	Quantity	UOM		Unit Cost	Total Cost
Sitework	SITEWORK					\$ -
Drainage	No reported issues.					\$ -
Asphalt Parking/ Drives	Asphalt pavement in fair condition.	33,900	SF	\$	6.39	\$ 216,58
Sidewalks						\$ -
Adequate Parking	Parking capacity is likely undersized if the facility was reopened as a school.		excluded r	new parl	king	\$ -
Bus Loop	No separate bus loop		excluded r	new bus	Іоор	\$ -
	Community requesting upgrades - neighborhood location - cause for lots of use.	1	LS	\$	300,000.00	\$ 300,00
	Community garden located here.					
Student Drop off Area	One loop with parking					\$ -
	Front landscaping is overgrown.	I	LS	\$	10,000.00	\$ 10,00
Irrigation Systems						\$
Athletic fields	Adjacent soccer fields rented and used by the community. Asphalt pavement for	I		\$	25,000.00	\$ 25,00
	basketball is cracked and in poor condition.					
Fencing						\$ -
Service Entrance						\$ -
Signage	replace entry sign	I	EA	\$	35,000.00	\$ 35,0
Dumpster Location						\$ -
Traffic Directions						\$ -
Parking Lot Lighting	No parking lot lighting currently, wall packs on building	6	EA	\$	3,750.00	\$ 22,5
Electrical Service	Low connection point to building (very similar to issue noted at Cornell Elem)	250	LF	\$	65.00	\$ 16,2
	located on SE corner of site, runs in close proximity to current playground					
	location.					
Electrical - Site Restoration	Concrete/asphalt/landscape restoration from new primary conduits	250	LF	\$	10.00	\$ 2,5
Community Garden	Present on north end of site - used by community members.					\$ -
						\$ -
						\$ -
						\$ -
	Direct Trade	20		\$	31,391.67	\$ 627,83

ITEM #:	16			0	Gross Area:		33,000
	Wardcliff Elementary - Building Imp	provement	ts				
	Description	Quantity	UOM		Unit Cost		Total Cost
Building Shell	BUILDING SHELL					\$	-
•							
Roofing	2004 Royal West - Firestone. Leaks present. Membrane needs to be inspected and	33,000	SF	\$	28.00	\$	924,000
	replaced. Exterior gravel stop fascia needs to be reinstalled as well.						
Exterior Windows	Mixture of window types around building based on original areas v. renovations.	I	LS	\$	150,000.00	\$	150,000
	Units present that need to be replaced. Not thermally efficient, need performance						
	and operational updates. Need to replaced original window frame in special						
	education classroom (single pane).					-	
Positive Drainage						\$	-
Defined Entry	Two entrances at front of building. Main entrance is not prominant.					\$	-
						-	
Accessibility	Building does not have vestibules or automatic door hardware for ADA access.	I	LS	\$	75,000.00	\$	75,000
5 . 0 0	No exterior curb at main entrance lot sidewalk.		6 5		150.00		100 (00
Fascia/Soffits	Main entrance canopy needs to be removed and replaced. Seeing signs of failing	684	25	\$	150.00	\$	102,600
	soffit panels, exposed structural signs has rust present.						
Maintenance Room Entry				-		\$	-
Brick	In good condition, building has a couple different variation of exterior and interior	I	LS	\$	5,000.00	\$	5,000
	brick. Exterior CMU stone and limestone present. Exterior stone needs to be						
	cleaned (mildew)						
ELES Essecia/Soffite	EIFS fascia - Bird Damage to be repaired - need to remove and replace EIFS with	4,588	CE.	\$	70.00	\$	321,160
Ell'S Tascia/Sollics	metal panels	4,500	51	Ψ	70.00	Ψ	521,100
Caulk Joints						\$	
	Mildew present on exterior brick. Exterior facade in.					\$	_
	Decent condition overall - most exterior entrances are aluminum frames with		assume wo	ork not	required	\$ \$	
Exterior Doors	insulated glass units.		assume we	in not	required	Ψ	
	nisulacca glass units.						
Vestibule Entries	No secure vestibule, no card readers	1	LS	\$	75,000.00	\$	75,000
Exterior Lighting		I	LS	\$	15,000.00	\$	15,000
General Note			İ			\$	-



						\$	-
	INTERIORS					\$	-
Walls	Paint/refresh entire building	33,000	SF	\$	1.50	\$	49,500
	Replace.	5,576	SF	\$	7.50	\$	41,820
Flooring	Mixture of Carpet and VCT - all should be replaced. Need walk off carpet at	3,666.67	SY	\$	63.54	\$	232,980
	exterior doors.						
Ceilings/Walls	Replace ceiling. Walls in good condition in all areas (most have brick and painted CMU).	33,000	SF	\$	4.00	\$	132,000
Lockers	Remove and replace lockers	500	EA	\$	350.00	\$	175,000
Doors	Wood doors and hardware should be replaced. Hollow metal frames and wire glass to be replaced.	45	EA	\$	5,000.00	\$	225,000
Size of Corridor	Narrow compared to today's standard (currently filled with misc district supplies, desks, chairs, furniture). Classrooms and corridors used for overflow storage space.					\$	-
Flow of Corridor						\$	-
Emergency Egress						\$	-
	Not present (only main exterior entrances)					\$	-
	Interior signage	33,000		\$	0.55	\$	18,150
Classrooms	Classrooms	14,298				\$	-
-	Replace carpet.	1,588.67		\$	63.54	\$	100,944
Ceilings	Replace grid and ceiling pads. Noticed another drop ceiling panels and grid above current ceilings (should be noted for removal if existing ceiling work gets included).	14,298	SF	\$	12.00	\$	171,576
Egress Windows	Classrooms do not have exterior egress doors did not test operation of emergency operable windows. Noticed labels only on some windows in certain classrooms.	I	LS	\$	50,000.00	\$	50,000
Casework	Remove and replace.	304	LF	\$	450.00	\$	136,800
Marker/Chalkboards	Remove and replace - Assume 3 each/classroom (8' lf/each MB)	19	RMS	\$	3,360.00	\$	63,840
Heating						\$	-
Air-Conditioning						\$	-
Daylight	Ok - most classrooms have (2) individual windows in each classroom.					\$	-
Overall Size						\$	-
	Replace wood doors, hardware, and hollow metal frames if possible.		EA	\$	3,500.00	\$	77,000
	Upgrade.	14,298		\$	7.00	\$	100,086
-	Add diffuser and grilles with new ceilings	14,298	SF	\$	0.50	\$ \$	7,149
General Note	It should be noted that the 1987 renovations and additions - rooms located on the east elevation/corridor (south of current Cafe entrance). Rooms labeled as speech, reading, child care, art, kindergarten all in 'better' condition than the rest of the building. Flooring, walls, ceilings in decent/functional shape.					4	-
						\$	-
Toilet Rooms	Toilet Rooms	941	SF			\$	-
Fixtures Operational	Most fixtures are original to their respective construction dates. Most locations have been shutoff and not in use. All toilet rooms should be upgraded depending on future use of facility.	941	SF	\$	275.00	\$	258,775
Toilet Partitions	Upgrade. Most bathrooms do not have partitions. Some corridor common bathrooms in the facility. Smaller single bathrooms also present within the facility.		with item	above		\$	-
Walls	in decent condition (be aware of exposed steel structural columns within the corridors). Mixture of drywall, CMU and brick present.		with item :	above		\$	-
	All original tile flooring should be replaced.		with item	1		\$	-
	Have not been in use, some reports of bad sanitary piping, possible root damage. Should be inspected for operation.	80	HRS	\$	75.00	\$	6,000
	Upgrade.	941		\$	8.00	\$	7,528
Hand Dryers			not applica			\$	-
· · · · · ·	Upgrade.		with item			\$	-
	Upgrade. No ADA compliant.		with item			\$ \$	-
Adequate Size			with item :	above		\$	-
Gymnasium	Gymnasium	2,577	SF			\$	-
Flooring	New rubber floor.		assume wo	ork not re	equired	\$	-
	New fixtures and bulbs in the room.		assume wo	ork not re	equired	\$	-
HVAC			assume wo	ork not re	equired	\$	-
Daylight			assume wo	ork not re		\$	-
	Hoops could be replaced and updated. No wall padding present.	4		\$	7,500.00	\$	30,000
	Replace wood doors and entrance hollow metal frame and glass.	5	EA	\$	4,000.00	\$	20,000
	Small and compact but similar to the other elementary schools in the district.					\$	-
Bleachers	None.		I			\$	-



			-	1			
	Exterior and interior egress. Exit signs present.		-			\$	-
Locker Room						\$	-
Walls/Ceiling	Assume painting of walls	2,577	SF	\$	4.00	\$	10,308
General Note	currently used as voting center location for the neighborhood.					\$	-
Cafeteria	Cafeteria	2,169	SF			\$	-
Flooring	Replace - new sheet vinyl, but tearing, prep issues. Same as kitchen.	2,169	SF	\$	14.00	\$	30,366
	Replace ceiling pads/grid/fixture. Walls in good condition - to be repainted	2,169	SF	\$	12.00	\$	26,028
Accessibility		_,		Ŧ		\$	
	Upgrade.	2,169	SF	\$	8.50	\$	18,437
Heating		2,169		\$	0.50	\$	1,085
		2,107	51	φ	0.50	₽ \$	1,005
Seating							
size						\$	-
Air-Conditioning						\$	-
	Aluminum window frame with integral blinds on north elevation.					\$	-
Overall Size	Good.					\$	-
Door	Entrance doors should be upgraded, hollow-metal frames ok.	4	EA	\$	3,500.00	\$	14,000
General Note	This was originally a multi-purpose room (CMU walls with sound panels present).					\$	-
	Food service kitchen, mechanical room and fan room all accessed through Cafe.						
	(2) rooms built (partition walls) near main entrance of room that are not shown						
	on the current floor plans.						
Egres						\$	
Office		1,657	SF	1		\$	-
	Entire area should be upgraded based on building function in the future. Offices	1,657		\$	75.00	\$	- 124,275
FIOOFIN		1,037	51	Ψ	75.00	φ	1 277, 27 3
	not required if not an elementary school.			<u> </u>	FF0 F 0/	•	
Furniture			assume wi		FF&E %	\$	-
Ceiling			with item a			\$	-
Paging			in elec bel	w		\$	-
Master Clock	(in elec bel	w		\$	-
Phone System	h		in elec bel	w		\$	-
Lighting		1,657	SF	\$	8.00	\$	13,256
Heatin	Add diffuser and grilles with new ceilings	1,657	SF	\$	0.50	\$	829
Copy/Work Room			with item a	above		\$	-
Meeting Room:			with item :	above		\$	-
Coffee Break Area			with item :			\$	-
Bathroom(s			with item :			\$	_
Visibility						\$	-
· · · · · · · · · · · · · · · · · · ·		2.425	with item :	above			-
Media Center		2,435	SF			\$	-
	N/A - not dedicated or currently media center in use					\$	-
Flooring	Carpet to be replaced	271	SY	\$	63.54	\$	17,191
Lighting	Upgrades needed	2,435	SF	\$	11.00	\$	26,785
Office Space						\$	-
Ventilation	1					\$	-
Door	Doors in this space are in better condition than the original wing. Door knobs to	6	EA	\$	1,000.00	\$	6,000
	be replaced with levers.						
Ceiling	Ceilings to be replaced	2,435	SF	\$	9.00	\$	21,915
	Add diffuser and grilles with new ceilings	2,435		\$	0.50	\$	1,218
Kitcher		557		<u>ا</u>	0.50	\$.,210
		55/	5.			•	-
Frogram	Not functioning building currently. Existing kitchen (30x40) and cafeteria present		1	1		\$	-
	on north end of building.			*	2/2 522 57	*	0/0 -00
Equipmen	JRA to provide list for selecting new equipment. Large 3 compartment sink,		LS	\$	262,500.00	\$	262,500
	residential refrigerators, hood and range.		ļ	L			
Ceiling	SACT drop ceiling present. Replace and upgrade lights/wipeable ceiling	557	SF	\$	9.00	\$	5,413
<u> </u>	tiles/diffusers/grilles all need to be replaced.		-	I –		\$	-
Cooler/Freeze	tiles/diftusers/grilles all need to be replaced. Walk-in units not present.						-
				\$	12.00	\$	
Floors	Walk-in units not present.		LS	\$ \$	12.00 300,000.00	\$ \$	300,000
Floors	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No	I	LS				300,000
Floors	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No		LS				300,000
Floor: Delivery Space	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.		LS			\$	300,000
Floor: Delivery Space Storage Space	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space.			\$	300,000.00	\$ \$	300,000
Floor: Delivery Space Storage Space	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.		LS with equip	\$	300,000.00	\$	300,000 - -
Floor: Delivery Space Storage Space Kitchen Hood	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design.	1		\$	300,000.00	\$ \$ \$	300,000 - -
Floor: Delivery Space Storage Space Kitchen Hood Make-up Air	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design.		with equip	\$ ment abo	300,000.00 ve	\$ \$ \$ \$	-
Floor: Delivery Space Storage Space Kitchen Hood Make-up Air	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design.	 80	with equip	\$	300,000.00	\$ \$ \$	300,000 - - 27,000
Floor: Delivery Space Storage Space Kitchen Hood Make-up Air	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design.		with equip	\$ ment abo	300,000.00 ve	\$ \$ \$ \$	-
Floor: Delivery Space Storage Space Kitchen Hood Make-up Ai Serving Line	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design.		with equip	\$ ment abo	300,000.00 ve	\$ \$ \$ \$	-
Floor: Delivery Space Storage Space Kitchen Hood Make-up Ai Serving Line Electrica	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design. Compact, one serving line, need to redesign/reformat. Space closed off from Cafeteria (open up).		with equip SF	\$ ment abo	300,000.00 ve	\$ \$ \$ \$	
Floor: Delivery Space Storage Space Kitchen Hood Make-up Air Serving Line Electrica Lighting	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design. Compact, one serving line, need to redesign/reformat. Space closed off from Cafeteria (open up). No issues noted - such as too few outlets/location/breaker capacity. Upgrade light fixtures.	180	with equip SF SF	\$ ment abo \$ \$	300,000.00 ve 150.00 8.00	\$ \$ \$ \$ \$ \$	
Floor: Delivery Space Storage Space Kitchen Hood Make-up Air Serving Line Electrica Lighting Heating	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design. Compact, one serving line, need to redesign/reformat. Space closed off from Cafeteria (open up). No issues noted - such as too few outlets/location/breaker capacity. Upgrade light fixtures. Add diffuser and grilles with new ceilings	180	with equip SF SF	\$ ment abo	300,000.00 ve 150.00	\$ \$ \$ \$ \$ \$ \$ \$	- - 27,000 - - 4,456 679
Floor: Delivery Space Storage Space Kitchen Hood Make-up Ai Serving Line Electrica Lighting Heating Secured	Walk-in units not present. Replace- currently rubber sheet vinyl in kitchen and cafeteria. Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently. No storage space. Hood present above range. Can be removed and replaced based on new design. Compact, one serving line, need to redesign/reformat. Space closed off from Cafeteria (open up). No issues noted - such as too few outlets/location/breaker capacity. Upgrade light fixtures. Add diffuser and grilles with new ceilings	180	with equip SF SF	\$ ment abo \$ \$	300,000.00 ve 150.00 8.00	\$ \$ \$ \$ \$ \$	



Overall	School closed. Kitchen and Cafeteria space large enough for fully functional space.					\$	-
	Shipping/Receiving/Deliveries area present on west elevation (turn-around thru						
	north staff parking lot). No dock.						
						\$	-
	MECHANICAL					\$	-
Heating Source and Condition	Building served by (2) Thermal Solutions, 1,000 MBH each heating hot water boilers installed in 2004.		assume wo	ork not required		\$	-
Heating Pumps and Piping	Building is served by (2) B&G, 60 gpm, 35' HD base mounted pumps installed in 2004.		assume wo	ork not required		\$	-
Cooling Source and Condition	Individual DX cooling.					\$	-
Cooling Pumps and Piping	N/A.					\$	-
Terminal Devices	(15) Classrooms served by horizontal unit vents that are original.	20	EA	\$ 25,20	00.00	\$	432,0
AHUs and RTUs	An 4,000 cfm AHU serves the Multi-Purpose room and is at end of life. An 2,000 cfm RTU serves the Media Center and is at end of life. An 2,000 cfm RTU serves the Offices and is at end of life. An 1,000 cfm AHU serves the Kitchen and is at end of life. An 800 cfm RTU serves the Computer Classroom and was installed in 2007. An AHU serves the Gym and is at end of life.	I	EA	\$ 220,00	00.00	\$	220,0
Ventilation	Exhaust fans are at the end of life. (2) 300 cfm EF's, (2) 500 cfm EF, and (7) 100 cfm EF's.					\$	8,2
Building Management System/Controls	Building served by Trane BMS with partial pneumatics.	33,000	SF	\$	5.00	\$	165,00
Domestic Water Piping	No known issues.		assume wo	ork not required		\$	-
Water Heaters	Building served by Lochinvar water heater, 40 gallon, 34 MBH and is at end of life. Kitchen is served by 100 gallon, 200 MBH water heater and is at end of life.	I	EA	\$ 12,00	00.00	\$	12,0
Plumbing Fixtures	Plumbing fixtures are at end of life.		covered in	item above		\$	-
Fire Protection						\$	-
Pool equipment	N/A.					\$	-
						\$	-
	ELECTRICAL					\$	-
Transformer size						\$	-
	Owner would like to relocate overhead power feed to building underground		in site elec	above		\$ \$	-
Primary/Secondary Service						\$ \$	-
Primary/Secondary Service Generator Lighting	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for	2,786		above \$	7.00	\$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A.		SF	\$		\$ \$ \$ \$	- - 19,5 -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating.	2,786	SF		7.00	\$ \$ \$ \$ \$	- - 19,5 - 49,5
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape.		SF	\$		\$ \$ \$ \$ \$ \$ \$	- - - - 49,5 -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items.		SF	\$		\$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - 49,5 -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation		SF	\$		\$ \$ \$ \$ \$ \$ \$	- - - - 49,5 -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)		SF	\$ \$ \$		\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -
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Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim.	33,000	SF SF in areas ab	\$ \$ \$ ove		\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 19,5 - 49,5 - - - - - - - - - - -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim.	33,000	SF SF in areas ab in areas ab SF	\$ \$ ove	0.25	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 19,5 - - - - - - - - - - - - - - - - - - -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim.	33,000	SF SF in areas ab in areas ab SF SF	\$ \$ ove \$	0.25	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim.	33,000 33,000 33,000	SF SF in areas ab in areas ab SF SF SF	\$ \$ 00000 \$ \$	1.50 1.50 0.25 0.60	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim.	33,000 33,000 33,000 33,000	SF SF in areas ab in areas ab SF SF SF	\$ \$ 00000 \$ \$ \$	1.50 0.25 0.60 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim.	33,000 33,000 33,000 33,000	SF SF in areas ab in areas ab SF SF SF SF SF	\$ \$ 00000 \$ \$ \$	1.50 0.25 0.60 2.00 2.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. TECHNOLOGY	33,000 33,000 33,000 33,000	SF SF in areas ab in areas ab SF SF SF SF included in included in	\$ \$ ove ove \$ \$ \$ \$ "Phone System" a	0.25 0.60 2.00 2.00 bove bove	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms)	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. Upgraded in the last S Vears. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. Collect singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently.	33,000 33,000 33,000 33,000	SF SF in areas ab in areas ab SF SF SF SF included in included in	\$ \$ ove ove \$ \$ \$ \$ "Phone System" a "Phone System" a	0.25 0.60 2.00 2.00 bove bove	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings)	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. TECHNOLOGY Bare minimum MDF. Needs AC. Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district.	33,000 33,000 33,000 33,000	SF SF SF in areas ab in areas ab SF SF SF SF included in included in included in	\$ \$ ove ove \$ \$ \$ \$ \$ "Phone System" a "Phone System" a "Phone System" a	0.25 0.60 2.00 2.00 bove bove	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
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Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Bells/Paging System Clock Systems	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. TECHNOLOGY Bare minimum MDF. Needs AC. Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. There is no synchronized clock system. Limited atomic clocks No AV.	33,000 33,000 33,000 33,000 33,000 33,000 33,000 33,000	SF SF SF SF SF SF SF SF SF SF SF SF SF S	\$ \$ ove ove \$ \$ \$ "Phone System" a "Phone System" a "Phone System" a "Phone System" a "Phone System" a	0.25 0.60 2.00 2.00 bove bove bove 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	19,5 49,5
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Bells/Paging System Clock Systems lassroom Audio/Video Systems	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. TECHNOLOGY Bare minimum MDF. Needs AC. Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. There is no synchronized clock system. Limited atomic clocks No AV. No AV.	33,000 33,000 33,000 33,000 33,000 33,000 33,000 1	SF SF SF SF SF SF SF SF SF SF SF SF SF S	\$ S ove ove S S S "Phone System" a "Phone System" a "Phone System" a "Phone System" a "Phone System" a S S S S S S S S S	0.25 0.60 2.00 2.00 bove bove bove 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Bells/Paging System Clock System lassroom Audio/Video Systems Large Space Audio/Video	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. TECHNOLOGY Bare minimum MDF. Needs AC. Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. There is no synchronized clock system. Limited atomic clocks No AV. Need to update Sony cameras and VMS (currently exacqvision software)	33,000 33,000 33,000 33,000 33,000 33,000 33,000 1 33,000	SF SF SF SF SF SF SF SF SF SF SF SF SF S	\$ \$ ove ove \$ \$ \$ "Phone System" a "Phone System" a "Phone System" a "Phone System" a "Phone System" a \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 0.25 0.60 2.00 2.00 bove bove bove 0.50 00.00 1.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Bells/Paging System Clock System lassroom Audio/Video Systems Large Space Audio/Video	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. TECHNOLOGY Bare minimum MDF. Needs AC. Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. There is no synchronized clock system. Limited atomic clocks No AV. No AV.	33,000 33,000 33,000 33,000 33,000 33,000 33,000 1	SF SF SF SF SF SF SF SF SF SF SF SF SF S	\$ S ove ove S S S "Phone System" a "Phone System" a "Phone System" a "Phone System" a "Phone System" a S S S S S S S S S	0.25 0.60 2.00 2.00 bove bove bove 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Primary/Secondary Service Generator Lighting Occupancy Sensors Lighting Control System Panels Panel Clearance Frequency Drives Fire Alarm Lighting Exit Signs Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Bells/Paging System Clock Systems Large Space Audio/Video Systems Security Camera System	Owner would like to relocate overhead power feed to building underground There is no generator on site. Misc. areas unaccounted for N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim. TECHNOLOGY Bare minimum MDF. Needs AC. Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. There is no synchronized clock system. Limited atomic clocks No AV. Need to update Sony cameras and VMS (currently exacqvision software)	33,000 33,000 33,000 33,000 33,000 33,000 33,000 1 33,000	SF SF SF SF SF SF SF SF SF SF SF SF SF S	\$ \$ ove ove \$ \$ \$ "Phone System" a "Phone System" a "Phone System" a "Phone System" a "Phone System" a \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 0.25 0.60 2.00 2.00 bove bove bove 0.50 00.00 1.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - 19,5 -





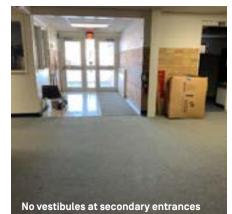




Floor/Threshold degradation at exterior doors































DESTRUCTION

Use:	PK-4
Built:	1948
Additions + Renovations:	1963 / 1988
Total Building Area:	68,400 SF
Site Area:	18.19 Acres
Enrollment:	345 students
Square Footage per Student:	145.1* sf/student
Renovation Cost:	\$18,257,287
Current Replacement Value (CRV):	\$21,888,000
Facility Condition Index (FCI):	83%

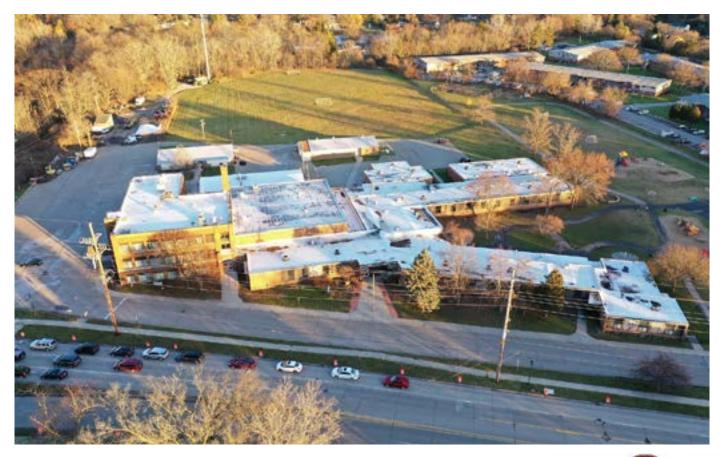


* Calculation based on school building's square footage only.









Teres Perkster OKEMOS



OBSERVATION HIGHLIGHTS

SITE

Student drop-off is located at the back of the building. This circulation is convoluted and conflicts with the adjacent Operations/Tech/Grounds functions. Dumpsters are scattered along the north side of the building, including adjacent to the main student drop-off. Current construction in progress at Okemos and Mt. Hope intersection. This intersection serves as the main exit for the Central Elementary and Administration buildings.

ARCHITECTURE

At the Montessori school, most exterior windows, entrance canopies, upper metal soffits and fascia are all in need of upgrades. Most exterior doors and frames have been upgraded to aluminum thermally broken products and are in good shape. The auxiliary entrance on the north end of the Montessori school, which provides access to the building elevator needs to be upgraded. Currently, visitors must call the main office from the exterior for access inside. Exterior chimney at the Administration building should be removed and taken out of service. North entrances to ground level kitchen and cafeteria are below grade, access from the north parking lot is down a set of exterior stairs. Water infiltration, snow and ice are a challenge at these locations for maintenance staff to monitor and control. Current masonry on exterior walls at the Administration building is in decent shape, no significant signs of deterioration. The exterior windows and aluminum framing should be considered for replacement based on age and current performance of non-thermally broken products.

INTERIORS

Toilet room updates have been performed at most locations in the Administration building. Toilet room upgrades needed at the Montessori Elementary. Flooring and ceilings should be considered for upgrades and replacement. Most interior doors and frames throughout the campus are in decent shape. Current mezzanine space adjacent to the gym being used as classroom space needs to be evaluated for ADA compliance with entrance and egress. Lockers in the Montessori Elementary need to be removed and upgraded. The students from the Montessori school proceed from their classrooms, through the corridors to use the kitchen and cafeteria located on the ground floor of the Administration building. Another item to consider are the current handrails used in the Administration building stairwells. These will need to be addressed, overall height from finish floor to top of handrail too low and current pipe used as the handrail not acceptable per current building codes.

MECHANICAL

Add cooling to the Elementary office. Provide controls to existing finned-tube. Replace air-handling units [2-3,500 cfm] and the rooftop unit [8.5-ton]. All exhaust fans should be replaced. Replace partial pneumatic controls with new DDC and upgrade the balance of the DDC controls. The two tunnel sumps, all plumbing fixtures, sanitary, and domestic piping need to be replaced.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape and do not need to be replaced.

TECHNOLOGY

The MDF is a shared space with storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating. EHRISTMAN



RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. This is the oldest building in the facility inventory and does not lend itself to easily accept improvements, modifications, or additions. Taking this building offline in the near to mid-range planning should be considered.



DATA SHEETS

Facility Assessment Building Name

Central Montessori/District Admin

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		BOOD	tair	poot comments
				There is a drainage issue at the south-west corner of the building, water
Drainage		х		pools at this location during heavy rains.
Asphalt Parking/ Drives	х			Asphalt pavement in good condition throughout.
Sidewalks		х		Some cracking along main drop-off location.
Adequate Parking		х		Parking is scattered throughout
Bus Loop				N / A - no bus service
				Playground equipment is showing its age and should be replaced in the near
Playgrounds		х	х	term.
				Student drop-off is located at the back of the building. This circulation is
				convoluted and conflicts with the adjacent Operations/Tech/Grounds
Student Drop off Area			х	functions.
Landscaping			х	
Irrigation Systems				N/A - no irrigation present
Athletic fields		х		Athletic fields are low and general hold water.
Fencing			Х	
Signage			Х	
				Dumpsters are scattered along the north side of the building, including
Dumpster Location			х	adjacent to the main student drop-off.

ARCHITECTURAL	Bood	tair	poot comments
Building Shell			
			Central Elementary 2005 Single-ply membrane. New roofing installed in 2016
Roofing	х		Firestone single-ply membrane. District reports no issues.
			Administration: original aluminum windows with interior blinds and vision
			and spandrel glass to be replaced. Integral frames with mech louvers present.
Exterior Windows	х		School: aluminum windows should be replaced.
			Administration: (2) ground floor doors allow water to enter cafeteria and
			kitchen area during heavy rains. Trench drains to be added at bottom of
			exterior stairs. School: Classrooms on the south end of each major wing have
			tunnel access with sump pumps to remove overflow rain from large rain
Positive Drainage	х		events.
			Canopy at the Administration entrance on the north side. School entrance is
			identifiable on the west side of building but there is no parking adjacent to
Defined Entry	х		the entrance.



ARCHITECTURAL (CON'T)	Bood	fair	pool comments
			ADA accessibility poor. Administration entrance (north entrance) is not
			barrier free accessible. The only barrier free access is at the west entrance, away from both administration and school main entrances. There is no
			barrier free parking near the accessible entrance. Many level changes in the
			building. Need to review barrier free emergency egress from all levels.
			Corridor to west entrance on lower level is too narrow for barrier free access
			and egress. The classroom located in the old gym mezzanine does not have
Accessibility		х	barrier free access.
			Canopy at north entrance should be removed and replaced. Wood fascia and
Fascia/Soffits		х	soffits at the school building should be replaced with prefinished metal trim.
			Brick masonry at administration and school exterior in good condition.
			Cleaning/joint care/tuckpointing/some small repairs and replacements could
			be completed. Consider removal of "chimney" on roof of administration.
Brick / CMU	х		Administration walls not energy efficient. CMU at school to be repainted.
Wall panels		х	Wall panels at window infill to be replaced.
Caulk Joints			
			Admin building - can be seen on cast stone pieces. Central Mont - can be seen
			on CMU (south elevation of wings) and some of the roof edge metal around
Water Stains	х		the perimeter of the building
			Decent aluminum frames/electronic locksets present. Not all entrances have
Eutorion Deens			barrier free access and snowmelt concrete should be considered at all
Exterior Doors	х		locations.
			Not present at most locations including Administration building. Main entrance to Central Montessori has exterior secure entrance doors but no
Vestibule Entries		x	secure vestibule entrance
			Found in some locations of the Admin building - should be considered for
Glass Block		х	removal and replacement with windows.
Chimney			Remove Chimney (not sure if still functional) on Admin building.
			Located around Central Mont windows and could be removed and replaced
Transite Panels		х	with larger window frames.

INTERIORS / FINISHES		Bood	tair	8 ⁰⁰¹ comments
Corridors				
Lights			Х	Upgrade - old/performance/bulb retrofits/lighting controls.
Flooring			Х	Replace all flooring (carpet & VCT). Terrazzo floor in fair condition.
				Replace 2x4 grid/pads/lights in Administration, Some school ceilings are in
				fair condition - selective replacement. Plaster walls in Administration (minor
				cracks to be repaired.), brick in good condition, wood walls need to be
Ceiling/Walls			х	refinished.
				Built-in lockers in school corridors. School would like them removed and new
Lockers			х	reinstalled. Build in metal lockers in CMU walls (extensive work)
				Building received electronic locking hardware upgrades (district wide).
				Administration office doors are in good condition but door knobs should be
				replaced with levers. Doors in lower level of Administration should be
				replaced (childcare, cafeteria, gym). Old/no door closers/some doors in
Doors			х	Admin building have 'knob' hardware.
				Most buildings have 'good' adequate corridor size (overall width). works with
				traffic flow, free egress, emergencies. District did not report any issues here
Size of Corridor	х			or at any other buildings in regards to this
				No issues with flow reported. Central Montessori has two major wings
Flow of Corridor	x			connected by passageway at main office.

ECHRISTMAN

INTERIORS / FINISHES (CON'T)		Bood	tair	
				Egress provided in corridor, some classrooms have egress doors. Admin building has 3 major entrances/exits. Central Mont. school has 6 major
Emergency Egress	x			entrances/exits.
Vestibule				not present
Cabinets at Building				
Entrances			х	Replace at Central Mont.
				Administration stair handrails and guardrail height do not meet today's code
Stairs		х		requirements
				One - located in southwest corner of administration building - old/estimated
				install in 1980's. It cannot be accessed from the administration or school
Elevator			х	entrances.
				Ground floor of Administration Building - located on east end south of CAFE -
				narrow (24" wide). Provides access to kitchen back of house and Admin mech
General Note				rooms.
Classrooms				
Flooring		х		classroom carpet and VCT to be replaced
Ceiling		х		Many classrooms have newer 2x4 grid and fixtures.
				Most window do not have labels, but windows should be removed and
Egress Windows			х	replaced.
Casework			х	Casework to be replaced
Marker/Chalkboards		х		Have whiteboards - ready for upgrade.
Heat		х		Received new VUV units with last bond cycle.
Air-Conditioning		x		Received new VUV units with last bond cycle.
				ok - but exterior windows and doors need to be considered for replacement.
Daylight		x		Room for large openings available - could be a big impact for each classrooms
Dayiight		^		No issues reported, school was full (every classroom occupied) when we
Overall Size		x		were onsite for tour.
		^		Upgrade doors (just replaced hardware electronic locksets with last bond
Doors			v	cycle).
				Upgrade fixtures/controls.
Lighting			х	Replace - Present in east wing of school, in 2 locations separating 4
Dividing Dartition Walls			v	
Dividing Partition Walls			х	classrooms (other classrooms received CMU walls)
Toilet Rooms				Mast (not all) tailet reame were undeted. Staff tailet reams to be undeted
Fixtures Operational	X			Most (not all) toilet rooms were updated. Staff toilet rooms to be updated.
Toilet Partitions	X			
Walls	х			Frank flagen its integral case have used at both some second such that the
F 1				Epoxy floor with integral cove base used at bathrooms recently updated
Floors	Х			(district wide update).
				Some comments from district about tree roots/floor drain conflicts at this
Floor Drains		х		building. Inspection should be recommended.
Lighting	Х			
Hand Dryers				not present.
Ceilings/Walls	х			gyp board ceilings with new light fixtures/diffusers
Mirrors		х		new framed mirrors installed.
				in compliance at new bathrooms. Some staff bathrooms in Central Mont
ADA Accessible	х			need to be upgraded/updated.
Adequate Size	х			no issues reported.
Gymnasium				
Flooring		х		Flooring being maintained and upgrade by district at winter break 2021.



INTERIORS / FINISHES (CON'T)		Bood	fair	
Lights	х			recent fixture updates (district wide at gyms).
HVAC		х		Recent upgrades (no A/C typical district wide).
Daylight			Х	none - no exterior windows.
				Hoops are fixed but in good condition. Poor acoustics and no wall padding -
Gym Equipment			Х	should be addressed.
Doors			Х	Remove, replace, upgrade.
Size	Х			nice gym.
Bleachers			Х	Remove and replace wood bleachers
Egress		х		no issues present - exterior and interior entrances.
Walls/Ceilings		x		trusses/new light fixtures/tectum roof deck present. Repaint walls and ceiling.
				North of Gym - a classroom - confirm emergency egress. Also, 9x9 floor tile -
General Note				hazardous materials.
Cafeteria				
				Rubber sheet vinyl over old gym flooring not performing well - should be
Flooring			х	replaced
				Ceiling needs to be replaced. walls need new patch/paint. Walls have wall
Ceilings/Walls			х	protection installed from floor to 4' AFF which also needs to be replaced
Accessibility		х		Acceptable but no ideal (tight/compact).
Lighting			х	Update fixtures.
				Grade school K-4 ages. Tables and chairs ok - overall space ok. Room needs
Seating		х		updates (open area up - doors/windows).
				ok - no issues reported from Okemos. Central school age students walk from
size		×		school through building (stairs - not Adah friendly) into Admin ground floor to
size		х		enter cafeteria.
Air-Conditioning	х			present with recent unit updates to Admin building.
Daylight	Х			ok - exterior windows (up high on walls) due to ground floor location.
Doors			Х	remove and replace.
				Located on ground floor of administration building. Exterior entrance (stairs
				up to parking lot level). Main entrance located on west elevation of room to
Egress			Х	corridor. Other egress through kitchen.
				Admin building mechanical unit updates recently performed, not issues
Heating	х			noted during site visit. Inefficient exterior perimeter windows.
Offices				
Flooring			Х	Replace all flooring in Administration and school offices
Furniture			Х	
				Administration ceilings (2x4 grid with sagging tiles) to be replaced. Fair to
				good condition - new ceilings would make a large impact. New light fixtures,
Ceilings			Х	may become necessary since campus does not have fire suppression system.
Paging			Х	Upgrade
Master Clock			Х	Upgrade
Phone System			Х	Upgrade
Lighting			Х	Upgrade
				School office workroom inefficient and small - not functional, Teacher
Copy/Work Room			х	workroom located in former locker room
				Small individual rooms scattered around main office - need to update /
Meeting Rooms			х	reconfigure.
Boardroom			х	Dated, all finishes and casework to be replaced.
Coffee Break Area			х	Do not have in Administration.
				Staff bathrooms in corridor outside main office were not updated with other
Bathroom(s)			x	restrooms



INTERIORS / FINISHES (CON'T)	/	Bood	tair	sooi comments
Visibility			Х	Poor visibility to both the school entrance and administration entrance
				Present at Central Mont main office near main entrance. Entire main office
Health Room w/Toilet			Х	needs to be upgraded and redesigned.
Accessibility			Х	No
Child Care Center		х		large room located on ground floor of Administration building.
Staff Lounge			Х	Located in East Wing of school, minimal natural light.
Media Center				
Size			х	No limitations reported. IT added room configured within footprint of Media Center.
Flooring			х	Carpet.
				2x4 fixtures - ok condition/no building controls other than wall switches. No
Lighting		x		dimming capacity.
				No media center offices - Adjacent meeting rooms used for general building
				use. Be aware of ceiling types in these rooms (different condition and should
Office Space				be removed and replaced).
Ventilation	х			
Doors		х		
Ceilings			х	2x4 grid/lights/projector/clean.
Acoustics	х			no issues - ceiling height 11' and CMU painted walls
Seating	х			furniture ok
Auxiliary Spaces				
· ·				Mechanical room at the Administration building is small, crowded and
Mechanical Room			х	difficult to access.
Kitchen				
				Kitchen/Cafeteria located in ground floor of Admin building (original High
				School footprint). 300 meals daily to Central Montessori Elementary
Program				students.
				JRA to provide list for selecting new equipment. Large 3 compartment sink,
				range with oven and old hood, (4) free standing coolers (one is residential),
Equipment		x		prep tables. Serving space in separate room adjacent to kitchen.
- 4				Replace 2x4 tiles and grid in serving area. Replace and upgrade
Ceilings			х	lights/diffusers/grilles. Kitchen has hard lid gyp ceiling - remove and replace.
Cooler/Freezer				Walk-in units not present.
Floors		х		4x4 quarry tile and rubber base present in kitchen and serving area.
				All are through west school entrance (no canopy) to elevator - down to
				ground floor and through cafeteria to kitchen. No receiving area. There are
Delivery Space			х	(2) exterior doors on the north side with steps up to the parking lot elevation.
				Storage room present - between kitchen and mechanical area. Concrete floor
Storage Space			х	(tunnel access here) / CMU walls/ gyp lid.
Kitchen Hood			x	Old large hood above range and coolers. Remove and replace.
				Serving space in separate room adjacent to kitchen. Floor ok, CMU and Gyp
Serving Line		х		walls, replace ceiling. No fire suppression or fire alarm present.
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity.
Lighting		x		Upgrade light fixtures.
00				Administration building just received new HVAC units to serve all (3) floors.
Heating	x			Heating and A/C.
Fire Suppression/FA	~		х	No fire suppression present. Fire alarm present.
			~	Final preparations and serving to elementary students. Not a fully functional
Overall				licensed kitchen. Materials delivered from food service and high school.



MECHANICAL		Bood	fair	
				Building is served by (4) PK heating hot water boilers, 2,000 MBH each
Heating Source and				installed around 2003. Two of the boilers have been abandoned that used to
Condition		Х		serve the Facilities out buildings.
				Building is served by (2) B&G base mounted pumps (320 gpm @ 90' HD)
Heating Pumps and Piping		Х		installed around 2003. No known issues for piping.
Cooling Source and				Individual DX cooling. Administration building and classrooms have cooling.
Condition		Х		Cafeteria and Gym does not have cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices		х		Classrooms are served by (23) horizontal unit vents with remote condensing units were installed within the last 5 years. Finned-tube have Danfoss valves not on BMS. Window air conditioning units serve the Elementary offices.
AHUs and RTUs		x		The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym.
Ventilation		<u> </u>	x	Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 600 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 690 cfm EF
Building Management				
System/Controls			х	Building is served by Trane BMS with partial pneumatics.
Domestic Water Piping				Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods.
			~	Building is served by a Bradford White water heater, 80 gallon, 200 MBH
Water Heaters	х			installed in 2020.
				Administration Building remodeled within last 5 years. Elementary fixtures
Plumbing Fixtures		Х		are original.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL		Bood	tair	poot comments
Transformer size	Х			
Primary/Secondary Service	х			Wiring is original, lacking receptacles throughout building
Generator				No generator.
Occupancy Sensors				N/A
Lighting Control System			Х	Toggle switches. Needs updating.
Panels	х			Majority of panels are in good shape.
Panel Clearance	х			Need to remove storage items.
				Upgraded in the last 5 years. Future upgrades could include voice activation
Fire Alarm	х			(district wide)
Interior Lighting			х	Fluorescent fixtures throughout need to be replaced.
Exit Signs			Х	Exit signs are very old and letters are dim.

TECHNOLOGY	BOOD	fair	pool comments
IT Rooms	х		Shared storage space. Unused equipment needs to be removed.



TECHNOLOGY (CON'T)		Bood	fair	pool comments
Fiber Optic Cabling				
(between buildings/IT				Older single mode fiber between buildings, multimode between IT rooms,
rooms)		х		some CAT6 tie lines between racks.
Data Cabling (within				
buildings)	х			CAT 6 cabling. Switches were upgraded recently.
				Need to update paging for the district. Paging speakers not loud enough in
Bells/Paging System			х	the gym.
				There is no synchronized clock system. Some satellite clocks and digital
Clock System			х	signage running software to display time.
Classroom Audio/Video				Standard throw projectors being replaced with 75" interactive displays. Plan
Systems	х			to replace Lightspeed audio with Audio Enhancement systems.
				Gym needs to audio system and installed projector. Admin
Large Space Audio/Video				boardroom/conference room need AV systems to support virtual and in-
Systems			х	person.
Security Camera System			х	Need to update Sony cameras and VMS (currently exacqvision software)
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt
Access Control System		х		SMS.



BUDGET DETAIL

ITEM #:	13				Acres:		28			
Central Montessori/District Admin Sitework										
	Description Quantity UOM Unit									
Sitework	SITEWORK					\$	-			
Drainage	There is a drainage issue at the south-west corner of the building, water pools at	1	LS	\$	25,000.00	\$	25,000			
	this location during heavy rains.									
Asphalt Parking/ Drives	Asphalt pavement in good condition throughout.		assume wo	ork not r	required	\$	-			
Sidewalks	Some cracking along main drop-off location.					\$	-			
Adequate Parking	Parking is scattered throughout					\$	-			
Bus Loop	N / A - no bus service					\$	-			
Playgrounds	Playground equipment is showing its age and should be replaced in the near term.	I	LS	\$	500,000.00	\$	500,000			
Student Drop off Area	Student drop-off is located at the back of the building. This circulation is	1	LS	\$	250,000.00	\$	250,000			
	convoluted and conflicts with the adjacent Operations/Tech/Grounds functions.									
Landscaping						\$	-			
Irrigation Systems	N/A - no irrigation present					\$	-			
Athletic fields	Athletic fields are low and general hold water.	1	allow	\$	100,000.00	\$	100,000			
Fencing						\$	-			
Service Entrance						\$	-			
Signage	Allowance	1	ALLOW	\$	5,000.00	\$	5,000			
Dumpster Location	Dumpsters are scattered along the north side of the building, including adjacent to	2	EA	\$	40,000.00	\$	80,000			
	the main student drop-off.									
Traffic Directions						\$	-			
Parking Lot Lighting			assume by	owner		\$	-			
Retaining Walls						\$	-			
-						\$	-			
						\$	-			
	Direct Trade	28	acres	\$	34.285.71	\$	960.000			

ITEM #:	14			G	Gross Area:		68,400
	Central Montessori/District Admin Build	ing Improv	vements				
	Description	Quantity	UOM		Unit Cost		Total Cost
Building Shell	BUILDING SHELL					\$	-
Roofing	Central Elementary 2005 Single-ply membrane. New roofing installed in 2016 - Firestone single-ply membrane. District reports no issues.		assume work not required			\$	-
E		68,400	CT	\$	15.00	\$	1.02(.00
Exterior Windows	Administration: original aluminum windows with interior blinds and vision and	68,400	25	\$	15.00	\$	1,026,00
	spandrel glass to be replaced. Integral frames with mech louvers present. School:						
	aluminum windows should be replaced.						
Positive Drainage	Administration: (2) ground floor doors allow water to enter cafeteria and kitchen	1	LS	\$	50,000.00	\$	50,00
0	area during heavy rains. Trench drains to be added at bottom of exterior stairs.					-	
	School: Classrooms on the south end of each major wing have tunnel access with						
	sump pumps to remove overflow rain from large rain events.						
	sump pumps to remove overnow rain non naige rain events.						
Defined Entry	Canopy at the Administration entrance on the north side. School entrance is	I	LS	\$	150,000.00	\$	150,00
	identifiable on the west side of building but there is no parking adjacent to the						
	entrance.						
Accessibility	ADA accessibility poor. Administration entrance (north entrance) is not barrier	I	LS	\$	200,000.00	\$	200,0
	free accessible. The only barrier free access is at the west entrance, away from						
	both administration and school main entrances. There is no barrier free parking						
	near the accessible entrance. Many level changes in the building. Need to review						
	barrier free emergency egress from all levels. Corridor to west entrance on						
	lower level is too narrow for barrier free access and egress. The classroom						
	located in the old gym mezzanine does not have barrier free access.						
Fascia/Soffits	Canopy at north entrance should be removed and replaced. Wood fascia and		see items	below		\$	
	soffits at the school building should be replaced with prefinisdhd metal trim.						
Fascia/Soffits	Remove/replace wood fascia/soffits	7,878	SF	\$	35.00	\$	275,7
	Canopy remove and replace	1,000	SF	\$	175.00	\$	175,0
Maintenance Room Entry				1		\$	-
Brick	Brick masonry at administration and school exterior in good condition.	27,573	SF	\$	4.00	\$	110,2
	Cleaning/joint care/tuckpointing/some small repairs and replacements could be						
	completed. Consider removal of "chimney" on roof of administration.						
	Administration walls not energy efficient. CMU at school to be repainted.						
Brick	Add insualtion at admin walls	6,300		\$	30.00	\$	189,0
	Wall panels at window infill to be replaced.	1	LS	\$	75,000.00	\$	75,0
Caulk Joints			1	1		\$	-



Water Stains	Admin building - can be seen on cast stone pieces. Central Mont - can be seen on CMU (south elevation of wings) and some of the roof edge metal around the perimeter of the building	I	LS	\$	10,000.00	\$	10,000
Exterior Doors	Decent aluminum frames/electronic locksets present. Not all entrances have barrier free access and snowmelt concrete should be considered at all locations.	I	ALLOW	\$	75,000.00	\$	75,000
	Add snow melt system Not present at most locations including Administration building. Main entrance to		excluded LS	\$	75.000.00	\$	75,000
Vestibule Life	Central Montessori has exterior secure entrance doors but no secure vestibule entrance		25	Ψ	73,000.00	Ψ	75,000
Exterior Lighting	Building mounted lighting	I	LS	\$	20,000.00	\$	20,000
Glass Block	Found in some locations of the Admin building - should be considered for removal and replacement with windows.	\$	50,000				
Chimney	Remove Chimney (not sure if still functional) on Admin building.	I	LS	\$	25,000.00	\$	25,000
Transite Panels	Located around Central Mont windows and could be removed and replaced with larger window frames.	I	LS	\$	100,000.00	\$	100,000
	INTERIORS					\$ \$	-
Wall	Paint/refresh entire building	68,400	SE.	\$	1.50	\$ \$	- 102,600
Corridors	Corridors	10,222		Ψ	1.50	\$	-
	Upgrade - old/performance/bulb retrofits/lighting controls.	10,222		\$	7.50	\$	76,665
	Replace all flooring (carpet & VCT)-assume 25% corridor area. Terrazo floor in fair condition.	283.94		\$	63.54	\$	18,042
Flooring		7,225.50	SF	\$	20.00	\$	144,510
Ceilings/Walls	Replace 2x4 grid/pads/lights in Administration, Some school ceilings are in fair condition - selective replacement. Plaster walls in Administration (minor cracks to be repaired.), brick in good condition, wood walls need to be refinished.	10,222	SF	\$	12.00	\$	122,664
	Add diffuser and grilles with new ceilings	10,222 450		\$ \$	0.50	\$	5,111
Lockers	Built-in lockers in school corridors. School would like them removed and new reinstalled. Build in metal lockers in CMU walls (extensive work)	750.00	\$	337,500			
Doors	Building received electronic locking hardware upgrades (district wide).	59	EA	\$	2,000.00	\$	118,000
	Administration office doors are in good condition but door knobs should be				,		-,
	rplaced with levers. Doors in lower level of Administration should be replaced						
	(childcare, cafeteria, gym). Old/no door closers/some doors in Admin building						
	have 'knob' hardware.						
Size of Corridor	Most buildings have 'good' adequate corridor size (overall width). works with traffic flow, free egress, emergencies. District did not report any issues here or at		assume wo	rk not	required	\$	-
Flow of Corridor	any other buildings in regards to this No issues with flow reported. Central Montessori has two major wings connected by passageway at main office.		assume wo	rk not	required	\$	-
Emergency Egress	Egress provided in corridor, some classrooms have egress doors. Admin building has 3 major entrances/exits. Central Mont. school has 6 major entrances/exits.		assume wo	rk not	required	\$	-
Vestibule Entries	not present					\$	-
Cabinets at Building Entrances		25		\$	750.00	\$	18,750
Stairs	Administration stair handrails and guardrail height do not meet today's code	I	LS	\$	35,000.00	\$	35,000
	requirements						
Elevators	One - located in southwest corner of administration building - old/estimated	I	LS	\$	20,000.00	\$	20,000
	install in 1980's. It cannot be accessed from the administration or school						
General Note	Install in 1980's. It cannot be accessed from the administration of school entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech					\$	-
	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms.						
Interior Signage	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage	68,400		\$	0.55	\$	- 37,620
Interior Signage Classrooms	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms	15,665	SF			\$	37,620
Interior Signage Classrooms Flooring	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms classrooms could use carpet and VCT upgrade.		SF SY	\$	0.55 63.54	\$ \$ \$	
Interior Signage Classrooms Flooring Ceilings	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms	15,665 1,740.56	SF			\$	37,620
Interior Signage Classrooms Flooring Ceilings Egress Windows	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms classrooms could use carpet and VCT upgrade. Many classrooms have newer 2x4 grid and fixtures.	15,665 1,740.56	SF SY SF LS	\$	63.54	\$ \$ \$	37,620 - 110,595 -
Interior Signage Classrooms Flooring Ceilings Egress Windows Casework	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms classrooms could use carpet and VCT upgrade. Many classrooms have newer 2x4 grid and fixtures. Most window do not have labels, but windows should be removed and replaced.	15,665 1,740.56 1 1	SF SY SF LS	\$	63.54	\$ \$ \$	37,620 - 110,595 - 50,000
Interior Signage Classrooms Flooring Ceilings Egress Windows Casework Marker/Chalkboards	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms classrooms could use carpet and VCT upgrade. Many classrooms have newer 2x4 grid and fixtures. Most window do not have labels, but windows should be removed and replaced. Casework to be replaced	15,665 1,740.56 1 1	SF SF LS LF	\$ \$ \$	63.54 50,000.00 450.00 3,360.00	\$ \$ \$ \$ \$ \$	37,620 - 1 10,595 - 50,000 450,000
Interior Signage Classrooms Flooring Ceilings Egress Windows Casework Marker/Chalkboards Heating Air-Conditioning	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms classrooms could use carpet and VCT upgrade. Many classrooms have newer 2x4 grid and fixtures. Most window do not have labels, but windows should be removed and replaced. Casework to be replaced Have whiteboards - ready for upgrade. Assume 3 each classroom (8' If/each MB) Received new VUV units with last bond cycle. Received new VUV units with last bond cycle.	15,665 1,740.56 1 1	SF SY LS LF RMS	\$ \$ \$ rk not	63.54 50,000.00 450.00 3,360.00 required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	37,620 - - - 50,000 450,000 67,200
Interior Signage Classrooms Flooring Ceilings Egress Windows Casework Marker/Chalkboards Heating Air-Conditioning	entrances. Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms. Interior signage Classrooms classrooms could use carpet and VCT upgrade. Many classrooms have newer 2x4 grid and fixtures. Most window do not have labels, but windows should be removed and replaced. Casework to be replaced Have whiteboards - ready for upgrade. Assume 3 each classroom (8' If/each MB) Received new VUV units with last bond cycle.	15,665 1,740.56 1 1	SF SY SF LS LF RMS assume wo	\$ \$ \$ rk not rk not	63.54 50,000.00 450.00 3,360.00 required required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	37,620 - - - 50,000 450,000 67,200



Heating Dividing Partition Walls R (c Special Education R d st Toilet Rooms		15,665	SF	\$	7.00	\$	109,655				
Dividing Partition Walls R (t Special Education R d st Toilet Rooms		1 920									
Special Education R d st Toilet Rooms	Replace - Present in east wing of school, in 2 locations separating 4 classrooms I,920 SF \$ 45.00 orbit or classrooms received CMU walls)										
Toilet Rooms	Rooms are located with east wing of Central Mont. Could not inspect - in use during site walk-through. Be aware of use/functionality here. Should meet with					\$	-				
	staff to discuss function and updates.		CT.			¢					
	Toilet Rooms Most (not all) toilet rooms were updated. Staff toilet rooms to be updated.	,	SF LOC	\$	35,000.00	\$ \$	- 70,000				
Toilet Partitions			assume wo	ork not requ	ired	\$					
Walls				rk not requ		\$					
	poxy floor with integral cove base used at bathrooms recently updated (district vide update).	\$	-								
Floor Drains S	Some comments from district about tree roots/floor drain conflicts at this building, Inspection should be recommended.	\$	6,000								
Lighting			with item a	bove staff t	oilets	\$	-				
Hand Dryers n	not present.		excluded			\$	-				
Ceilings/Walls g	gyp board ceilings with new light fixtures/diffusers		with item a	bove staff t	oilets	\$	-				
Mirrors n	new framed mirrors installed.		with item a	above staff t	oilets	\$	-				
	n compliance at new bathrooms. Some staff bathrooms in Central Mont need to be upgraded/updated.		with item a	bove staff t	oilets	\$	-				
Adequate Size n	no issues reported.					\$	-				
Gymnasium	Gymnasium	9,915	SF			\$					
×	looring being maintained and upgrade by district at winter break 2021.		wotk by ov			\$	-				
	recent fixture updates (district wide at gyms).			rk not requ		\$	-				
	Recent upgrades (no A/C typical district wide).			rk not requ		\$	-				
1.5	none - no exterior windows.			rk not requ		\$	-				
	Hoops are fixed but in good condition. Poor acoustics and no wall padding - should be addressed.	750	SF	\$	41.00	\$	30,750				
Doors R	Remove, replace, upgrade.	6	EA	\$	3,500.00	\$	21,000				
Size n	nice gym.					\$	-				
Bleachers R	Remove and replace wood bleachers	1,000	EA	\$	185.00	\$	185,000				
Egress n	no issues present - exterior and interior entrances.					\$	-				
Locker Rooms						\$	-				
Walls/Ceilings tr	russes/new light fixtures/tectum roof deck present. Repaint walls and ceiling.	9,915	SF	\$	4.00	\$	39,660				
h	North of Gym - a classroom - confirm emergency egress. Also, 9x9 floor tile - nazardous materials. Add new egress stair and barrier free elevator access to 2nd loor classroom	I	LS	\$	650,000.00	\$	650,000				
Cafeteria	Cafeteria	2,478	SF			\$					
Flooring R	Rubber sheet vinyl over old gym flooring not performing well - should be replaced	2,478		\$	15.00	\$	37,170				
Ŭ,	Ceiling needs to be replaced. walls need new patch/paint. Walls have wall protection installed from floor to 4' AFF which also needs to be replaced.	2,478	SF	\$	12.00	\$	29,736				
Accessibility A	Acceptable but not ideal (tight/compact).					\$	-				
Lighting U	Jpdate fixtures.	2,478	SF	\$	8.50	\$	21,063				
-	Grade school K-4 ages. Tables and chairs ok - overall space ok. Room needs updates (open area up - doors/windows).					\$	-				
so	ok - no issues reported from Okemos. Central school age students walk from school through building (stairs - not ADA friendly) into Admin ground floor to enter cafeteria.					\$	-				
	present with recent unit updates to Admin building.		assume wo	rk not requ	ired	\$	-				
	ok - exterior windows (up high on walls) due to ground floor location.			Ľ.		\$	-				
Overall Size						\$	-				
Doors r	remove and replace.	5	EA	\$	3,500.00	\$	17,500				
-	Located on ground floor of administration building. Exterior entrance (stairs up to barking lot level). Main entrance located on west elevation of room to corridor.					\$	-				
c	Other egress through kitchen.										
	Add diffuser and grilles with new ceilings	2,478		\$	0.50	\$	1,239				
	Admin building mechanical unit updates recently performed, not issues noted		assume wo	rk not requ	ired	\$	-				



		2 (22				•	
Offices	Offices	3,420				\$	-
Flooring	Replace all flooring in Administration and school offices. Includes renovation for	3,420	SF	\$	125.00	\$	427,500
	office area						
Furniture						\$	
	Administration ceilings (2x4 grid with sagging tiles) to be replaced. Fair to good		with item :	abovo		\$	
Cenings			with item	above		Ψ	-
	condition - new ceilings would make a large impact. New light fixtures, may						
	become necessary since campus does not have fire suppression system.						
Paging	Upgrade		in elec bel	w		\$	-
Master Clock	Upgrade		in elec bel	w		\$	-
Phone System	Upgrade		in elec bel	w		\$	-
	Upgrade	3,420	SF	\$	8.00	\$	27,360
	Add diffuser and grilles with new ceilings	3,420	SF	\$	0.50	\$	1,710
-		3,720	-		0.50		1,710
Copy/work Room	School office workroom inefficiant and small - not functional, Teacher workroom		with item a	above		\$	-
	located in former locker room						
Meeting Rooms	Small individual rooms scattered around main office - need to update /		with item a	above		\$	-
	reconfigure.						
Boardroom	Dated, all finishes and casework to be replaced.		with item a	above		\$	-
	Do not have in Administration.					÷ \$	
				<u> </u>			-
Bathroom(s)	Staff bathrooms in corridor outside main office were not updated with other		with item a	adove		\$	-
	restrooms						
Visibility	Poor visibility to both the school entrance and administration entrance					\$	-
	Present at Central Mont main office near main entrance. Entire main office needs		with item a	above		\$	-
	to be upgraded and redesigned.						
Aikilia.				1		¢	
Accessibility						\$	-
	large room located on ground floor of Administration building.					\$	-
Staff Lounge	Located in East Wing of school, minimal natural light.					\$	-
Media Center	Media Center	1,500	SF			\$	-
	No limitations reported. IT added room configured within footprint of Media	.,	LS	\$	35,000.00	\$	35,000
3126	no initiations reported. IT added room configured within lootprint of Fiedia		L3		33,000.00	Ψ	55,000
	-			-			
	Center.						
Flooring		166.67	SY	\$	63.54	\$	10,590
Flooring		166.67 1,500		\$	63.54 11.00	\$ \$	
Flooring	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No						
Flooring Lighting	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity.					\$	
Flooring Lighting	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use.						
Flooring Lighting	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed					\$	
Flooring Lighting Office Space	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use.					\$	
Flooring Lighting	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed					\$	
Flooring Lighting Office Space	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed					\$	
Flooring Lighting Office Space Ventilation Doors	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced).	1,500	SF	\$		\$ \$ \$ \$	-
Flooring Lighting Office Space Ventilation Doors Ceilings	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean.	1,500	SF SF	\$	11.00	\$ \$ \$ \$	- - - - - 18,000
Flooring Lighting Office Space Ventilation Doors Ceilings Heating	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings	1,500	SF	\$	11.00	\$ \$ \$ \$ \$	16,50 - - - 18,00 75
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 1 I' and CMU painted walls	1,500	SF SF	\$	11.00	\$ \$ \$ \$ \$ \$ \$ \$	- - - - - 18,00
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings	1,500	SF SF	\$	11.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	16,50 - - - 18,00 75
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 1 I' and CMU painted walls	1,500	SF SF	\$	11.00	\$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok	1,500	SF SF	\$	11.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to	1,500 1,500 1,500	SF SF SF	\$ \$ \$ 	11.00 12.00 0.50	\$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Acoustics Seating Auxiliary Spaces Mechanical room	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces	1,500 1,500 1,500	SF SF SF	\$ \$ \$ 	11.00 12.00 0.50	\$\$ \$\$<	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to	1,500 1,500 1,500	SF SF SF	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access.	I,500 I,500 I,500 I,500	SF SF LS	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to	1,500 1,500 1,500	SF SF LS	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access.	I,500 I,500 I,500 I,500	SF SF LS	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School	I,500 I,500 I,500 I,500	SF SF LS	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen	I,500 I,500 I,500 I,500	SF SF LS	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School	I,500 I,500 I,500 I,500	SF SF LS	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note Kitchen Program	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students.	1,500 1,500 1,500 1,500	SF SF SF LS SF	\$ \$ \$	11.00 12.00 0.50 75,000.00	\$ \$	- - 75,000 - - - -
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note Kitchen Program	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen KitchenI Kitchen Located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range	I,500 I,500 I,500 I,500	SF SF LS	\$ \$ \$ 	11.00 12.00 0.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	16,50 - - - - - - - - - - - 75,00 - - - - - - - - - - - - - - - - - -
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note Kitchen Program	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students.	1,500 1,500 1,500 1,500	SF SF SF LS SF	\$ \$ \$	11.00 12.00 0.50 75,000.00	\$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note Kitchen Program	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen KitchenI Kitchen Located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range	1,500 1,500 1,500 1,500	SF SF SF LS SF	\$ \$ \$	11.00 12.00 0.50 75,000.00	\$ \$	16,50 - - - - - - - - - - - - - - - - - - -
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note Kitchen Program	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen Kitchen Kitchenical located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables.	1,500 1,500 1,500 1,500	SF SF SF LS SF	\$ \$ \$	11.00 12.00 0.50 75,000.00	\$ \$	16,500 - - - - - - - - - - - 75,000 - - - - - - - - - - - - - - - - - -
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note Kitchen Program	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen Kitchen Kitchenical located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables.	1,500 1,500 1,500 1,500	SF SF SF LS SF	\$ \$ \$	11.00 12.00 0.50 75,000.00	\$ \$	16,50 - - - - - - - - - - - - - - - - - - -
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note General Note General Note General Note Equipment	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.	1,500 1,500 1,500 1,309	SF SF SF LS LS	\$ \$ \$ \$ \$	11.00 12.00 0.50 75,000.00 265,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note General Note General Note General Note Equipment	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen Kitchen Kitchenical located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables.	1,500 1,500 1,500 1,500	SF SF SF LS LS	\$ \$ \$	11.00 12.00 0.50 75,000.00	\$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note General Note General Note General Note Equipment	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.	1,500 1,500 1,500 1,309	SF SF SF LS LS	\$ \$ \$ \$ \$	11.00 12.00 0.50 75,000.00 265,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note General Note General Note General Note Equipment	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.	1,500 1,500 1,500 1,309	SF SF SF LS LS	\$ \$ \$ \$ \$	11.00 12.00 0.50 75,000.00 265,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note General Note General Note General Note Equipment	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.	1,500 1,500 1,500 1,309	SF SF SF LS LS	\$ \$ \$ \$ \$	11.00 12.00 0.50 75,000.00 265,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Heating Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note General Note General Note General Note Equipment	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.	1,500 1,500 1,500 1,309	SF SF SF LS LS	\$ \$ \$ \$ \$	11.00 12.00 0.50 75,000.00 265,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	16,50 - - - - - - - - - - - - - - - - - - -
Flooring Lighting Office Space Ventilation Doors Ceilings Acoustics Seating Auxiliary Spaces Mechanical room <u>General Note</u> General Note <u>Kitchen</u> Program Equipment	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. Serving space in separate room adjacent to kitchen. Replace 2x4 tiles and grid in serving area. Replace and upgrade lights/diffusers/grilles. Kitchen has hard lid gyp ceiling - remove and replace.	1,500 1,500 1,500 1,309	SF SF SF LS LS	\$ \$ \$ \$ \$	11.00 12.00 0.50 75,000.00 265,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Flooring Lighting Office Space Ventilation Doors Ceilings Acoustics Seating Auxiliary Spaces Mechanical room General Note General Note General Note General Note Ceilings Ceilings	Carpet. 2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity. No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced). 2x4 grid/lights/projector/clean. Add diffuser and grilles with new ceilings no issues - ceiling height 11' and CMU painted walls furniture ok Auxiliary Spaces Mechanical room at the Administration building is small, crowded and difficult to access. Kitchen Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students. JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.	1,500 1,500 1,500 1,309	SF SF SF LS LS	\$ \$ \$ \$ \$	11.00 12.00 0.50 75,000.00 265,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	16,50 - - - - - - - - - - - - - - - - - - -



Delivery Space								
	All are through west school entrance (no canopy) to elevator - down to ground floor and through cafeteria to kitchen. No receiving area. There are (2) exterior doors on the north side with steps up to the parking lot elevation. There is a flooding issue at the two doors	see buildin	ig shell		\$	-		
Storage Space	Storage room present - between kitchen and mechanical area. Concrete floor (tunnel access here) / CMU walls/ gyp lid.					\$	-	
Kitchen Hood	Old large hood above range and coolers. Remove and replace.		with equip	ment abo	ve	\$	-	
Make-up Air						\$	-	
,	Serving space in separate room adjacent to kitchen. Floor ok, CMU and Gyp walls,					\$	-	
Flectrica	replace ceiling. No fire suppression or fire alarm present. No issues noted - such as too few outlets/location/breaker capacity.					\$	-	
	Upgrade light fixtures.	1,309	SF	\$	8.00	\$	10,472	
	Add diffuser and grilles with new ceilings	1,309		\$	0.50	\$	655	
Heating	Administration building just received new HVAC units to serve all (3) floors.		assume wo	ork not re	equired	\$	-	
	Heating and A/C.							
Secureo						\$		
Fire Suppression/FA	No fire suppression present. Fire alarm present.					\$	-	
Overal	Final preparations and serving to elementary students. Not a fully functional licensed kitchen. Materials delivered from food service and high school.					\$	-	
						\$	-	
	MECHANICAL			^	250.000.00	\$	-	
meating Source and Condition	Building is served by (4) PK heating hot water boilers, 2,000 MBH each installed around 2003. Two of the boilers have been abandoned that used to serve the Facilities out buildings. Significant defiences in mechanical room - remove all the determined to the line.	I	allow	\$	250,000.00	\$	250,000	
Heating Pumps and Piping	abandoned equipment and piping Building is served by (2) B&G base mounted pumps (320 gpm @ 90' HD) installed around 2003. No known issues for piping.		assume wo	ork not re	equired	\$	-	
Cooling Source and Condition	Individual DX cooling. Administration building and classrooms have cooling. Cafeteria and Gym does not have cooling.	building and classrooms have cooling. assume work not required						
Cooling Pumps and Piping	N/A.					\$	-	
	Classrooms are served by (23) horizontal unit vents with remote condensing units		assume wo	ork not re	equired	\$	-	
	were installed within the last 5 years. Finned-tube have Danfoss valves not on							
	BMS. Window air conditioning units serve the Elementary offices.							
AHUs and RTUs	-	I	LS	\$	112,250.00	\$	112,250	
	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and		LS	\$	112,250.00	\$	112,250	
	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym.	1	LS		-			
Ventilation Building Management	 BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 600 cfm EF Building is served by Trane BMS with partial pneumatics. 		LS		-		25,500	
Ventilatior Building Management System/Controls	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EFs, (1) 600 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 690 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple	1	LS	\$	25,500.00	\$	25,500 342,000	
Ventilation Building Management System/Controls Domestic Water Piping	 BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 690 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. 	l 68,400 68,400	LS	\$	25,500.00 5.00 3.50	\$	25,500 342,000	
Ventilation Building Management System/Controls Domestic Water Piping Water Heaters	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the Gafeteria of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 690 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are	l 68,400 68,400	LS SF SF	\$	25,500.00 5.00 3.50	\$	25,500 342,000	
Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures	 BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are original. 	l 68,400 68,400	LS SF SF	\$	25,500.00 5.00 3.50	\$ \$ \$ \$	25,500 342,000 240,000 - -	
Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection	 BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 600 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are original. N/A. 	l 68,400 68,400	LS SF SF	\$	25,500.00 5.00 3.50	\$ \$ \$ \$ \$	25,500 342,000 240,000	
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Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection	 BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 600 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are original. N/A. 	l 68,400 68,400	LS SF SF	\$	25,500.00 5.00 3.50	\$ \$ \$ \$ \$ \$ \$ \$ \$	25,500 342,000 240,000 - - - - - - -	
Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EFs, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EFs, (3) 175 cfm EFs, (4) 560 cfm EFs, (1) 690 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are original. N/A. N/A.	l 68,400 68,400	LS SF SF	\$	25,500.00 5.00 3.50	\$ \$ \$ \$ \$ \$ \$ \$ \$	25,500 342,000 240,000 - - - - - - -	
Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipment Transformer size	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EFs, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EFs, (3) 175 cfm EFs, (4) 560 cfm EFs, (1) 690 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are original. N/A. N/A.	l 68,400 68,400	LS SF SF	\$	25,500.00 5.00 3.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	25,500 342,000 240,000 - - - - - - - - - - - - - -	
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Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipment Transformer size Primary/Secondary Service Generator Lighting	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 600 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are original. N/A. N/A. N/A. N/A. Miring is original, lacking receptacles throughout building No generator.	l 68,400 68,400	LS SF assume wo	\$	25,500.00 5.00 3.50	* *	25,500 342,000 240,000 - - - - - - - - - - - - - - - - -	
Ventilation Building Management System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipment Transformer size Primary/Secondary Service Generator	BMS. Window air conditioning units serve the Elementary offices. The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym. Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EFs, (1) 3,000 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EFs, (3) 175 cfm EFs, (4) 560 cfm EFs, (1) 1,800 cfm EF, (2) 1,100 cfm EFs, (3) 175 cfm EFs, (4) 560 cfm EFs, (1) 600 cfm EF Building is served by Trane BMS with partial pneumatics. Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods. Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020. Administration Building remodeled within last 5 years. Elementary fixtures are original. N/A. N/A. Wiring is original, lacking receptacles throughout building No generator. Misc. areas unaccounted for	l 68,400 68,400	LS SF SF assume wo	\$ \$ pork not re	25,500.00 5.00 3.50 equired	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	25,500 342,000 240,000 - - - - - - - - - - - - - - - - -	



Panel Clearance	Need to remove storage items.				\$	-				
Fire Alarm	Upgraded in the last 5 years. Future upgrades could include voice activation	68,400	SF	\$ 0.7	\$	51,300				
	(district wide)									
Lighting	Fluorescent fixtures throughout need to be replaced.	\$	-							
Exit Signs	xit signs are very old and letters are dim. in areas above									
Clocks		\$	17,100							
Paging		68,400	SF	\$ 0.6	\$	41,040				
Phone System		68,400	SF	\$ 2.0	\$	136,800				
Branch		68,400	SF	\$ 2.00	\$	136,800				
	TECHNOLOGY				\$	_				
IT Rooms	Shared storage space. Unused equipment needs to be removed.		included ir	"Phone System" above	\$	-				
Fiber Optic Cabling (between	Older singlemode fiber between buildings, multimode between IT rooms, some		included in	"Phone System" above	\$	-				
buildings/IT rooms)	CAT6 tie lines between racks.									
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.		included in	n "Phone System" above	\$	-				
Bells/Paging System	Need to update paging for the district. Paging speakers not loud enough in the gym.		included ir	n "Paging" above	\$	-				
Clock System	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.		included ir	"Mater Clock" above	\$	-				
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.		assume no	work required	\$	-				
Large Space Audio/Video	Gym needs to audio system and installed projector. Admin	I	LS	\$ 35,000.0	\$	35,000				
Systems	boardroom/conference room need AV systems to support virtual and in-person.									
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)				\$	-				
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.		assume no	work required	\$	-				
					\$	-				
					\$	-				
	Direct Trade	68,400		\$ 119.9	\$	8,202,967				

















Territ Pekster /





Break-out space in corridor





space









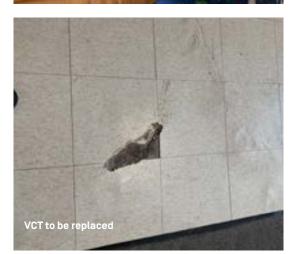


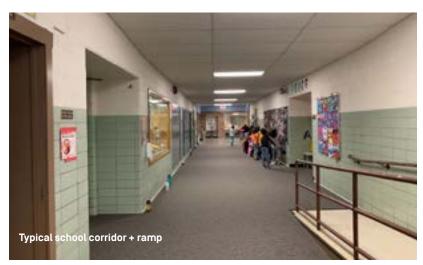












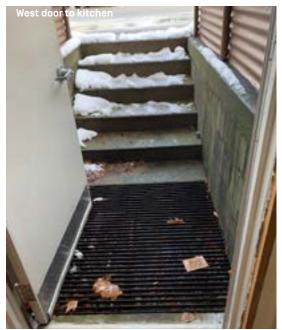


Terres Perkster OKEMOS









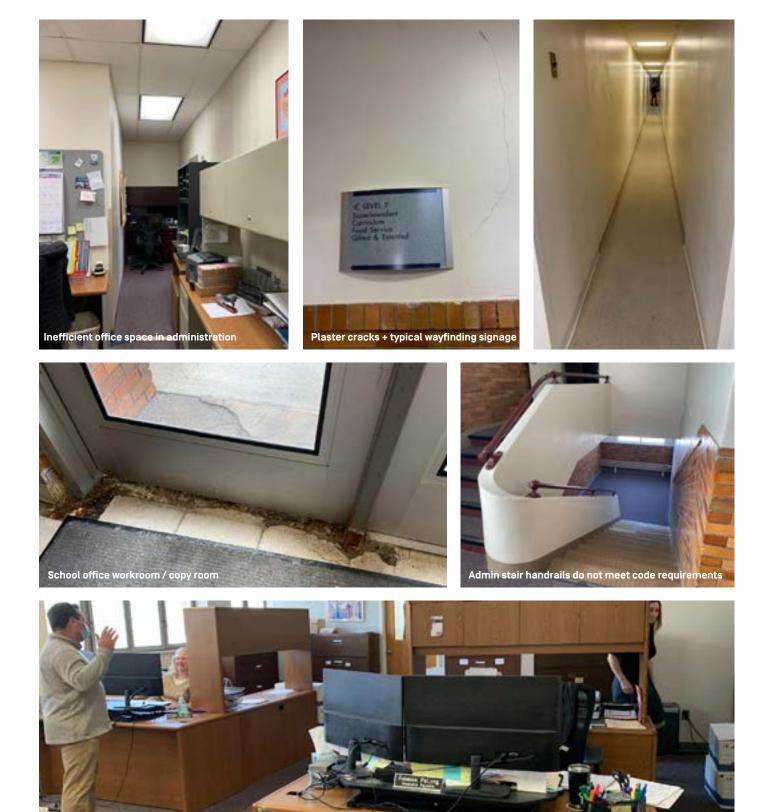












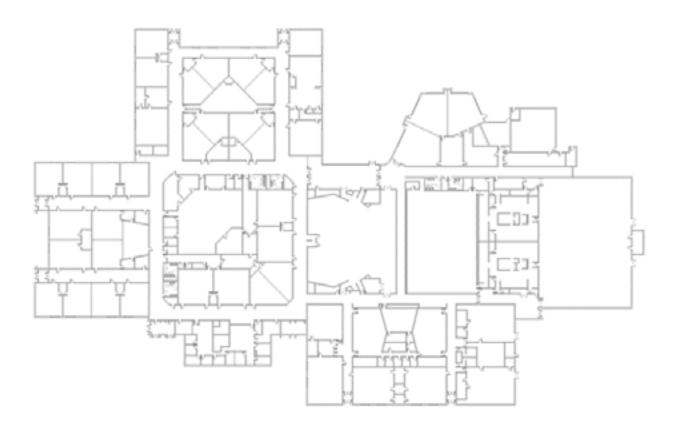
Administration office



O7 KINAWA 5-6 SCHOOL

Use:	5-6
Built:	1965
Additions + Renovations:	1967 / 1994 / 1996 / 20
Total Building Area:	154,000 SF
Site Area:	64.49 Acres
Enrollment:	644 students
Square Footage per Student:	239.1 sf/student
Renovation Cost:	\$41,242,872
Current Replacement Value (CRV):	\$50,050,000
Facility Condition Index (FCI):	82%











Teres OKEMOS CHRISTMAN

OBSERVATION HIGHLIGHTS

SITE

Pavement at parent drop-off locations is in poor condition. Loading dock pavement is in poor condition and the current loading area is insufficient to service the building. Exterior concrete 'retaining' walls and safety chains are in poor condition and present possible safety concerns for students. Considered removal and replacement. Maintenance staff mentioned the concerns regarding storm water runoff at the northwest ground level mechanical room entrance. Grading improvements and replacement of current door and frame should be completed. Tennis courts need to be replaced.

ARCHITECTURE

Secure vestibule present, but main office is located down the corridor south of the main entrance. The team noted this during our site visit and thought the entrance should be in closer proximity to the main entrance for security purposes. On the exterior, window framing upgrades and consideration to update the exterior typical bulkhead detail above the windows would dramatically change the look of the exterior of the building. Exterior brick walls in good condition. District expressed desire to reevaluate the cafeteria space both interior and exterior space available for remodel and possible expansion.

INTERIORS

In addition to the featured design of KIVA classrooms, the school has a media center, gym, locker rooms, kitchen, cafeteria, auditorium, pool (closed), music and band rooms, and a dedicated wing for additional Montessori classrooms. Current location of the main office in relation to the location of the school main entrance does not provide a direct line of sight of visitors requesting entry. Classroom shapes do not lend themselves easily to furniture multiple furniture arrangements and are lacking any exposure to natural light. Classroom interior partition walls are not operable and should be removed. Classroom furniture and casework upgrades should be considered.

Terrazzo flooring at main corridors in great shape with recent maintenance work completed during the winter of 2021. The existing carpet dates back to the mid-nineties and should be replaced. Some vinyl asbestos tile may be present in support spaces and should be abated and replaced.

Ceilings are in fair to poor condition. The majority of the panels are 24" x 48" are showing signs of age and warping. Some ceiling panels are severely water damaged. Corridor lockers need to be replaced and upgraded.

The cafeteria is undersized for the student body. The VCT flooring is showing signs of slab movement beneath and should be replaced. Painted bulkheads in the space are peeling. Wood doors are in fair condition.

Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated.

Interior signage is lacking and ADA compliant signs are not available at all doors. The project team did notice some existing corridor 'wooden' handrails that should be removed and upgraded for ADA compliance.

MECHANICAL

All exhaust fans should be replaced. Replace pneumatic controls with new DDC. Valves outside the group restroom and floor sink in Kitchen should be replaced. Replace plumbing fixtures in all single toilets.





ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The panelboards are original to the building and need to be replaced.

TECHNOLOGY

The IT rooms are a shared space with janitorial mop sinks & storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. This building has areas of aging infrastructure coupled with difficult conditions for accessibility for staff and students. Significant work would be required to eliminate accessibility issues in all areas of the building. The site is large and presents many opportunities for placement of building additions or new structures.



DATA SHEETS

Facility Assessment

Building Name

Kinawa 5-6 School

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		Bood	fair	<u> </u>
				County drain is becoming overgrown, limiting capacity at viaduct under
				adjacent railroad tracks. Segments of 30" dia RCP leading from parking lot to
Drainage			х	drainage pond have separated. Drainage issues around NW corner of site.
Asphalt Parking/ Drives	х			Pavement in parking is in good condition
Sidewalks		х		Sidewalks are heaving and cracked near the pine trees
Adequate Parking	х			
Bus Loop		х		Pavement in bus loop is in fair condition, curbs need to be replaced
Playgrounds	х			Playground equipment is in good condition.
Student Drop off Area			х	Concrete pavement at drop off is in poor condition.
Landscaping	х			
Irrigation Systems				N/A
				Ball fields are in good condition, tennis courts need to be replaced or
Athletic fields		х		removed
Fencing	х			
				Loading dock pavement is in poor condition and current loading area is
Service Entrance			х	insufficient to service the building
Signage			х	Main entrance sign is in poor condition
Dumpster Location			х	No dumpster enclosure
Traffic Directions	х			
Parking Lot Lighting		х		Concrete poles, fixtures have not yet been replaced with LED
				Fall protection to be added to the retaining wall on north side of building,
Retaining Walls			х	Retaining wall on south side needs to be removed and regraded

ARCHITECTURAL		800d	fair	po ^{ot} comments
				Sealed EIFS a few years ago. District desires to paint/stain brick (dated) - brick
				to be further evaluated. Rusted, stained lintels at window above exterior
Building Shell		х		doors 18 & 19
				Most recent roof install dates back to 2001, 2003, 2005 and 2011 based on
				location. Combination of Firestone/Cooley/Carlisle membrane. Carlisle PVC
				membrane over auditorium (2011). Leaks currently over 400 wing/above
Roofing		х		band area (flashing). other leaks, address drain collars.
Exterior Windows			Х	Need to be replaced - uninsulated 1/4" plate glass present in most locations
				Yes, with vestibule - concern is location in relation to interior entrance to
				main office. Main office located down the corridor from main exterior
Defined Entry	х			entrance.
Accessibility		х		no automatic door operators present
				Building has exterior 'bump outs' (overhangs-fascia's/soffits) above windows -
				bulkheads. District opinion is the visual appearance of these are dated.
Fascia/Soffits			х	Would prefer to consider removing or updating.
Building Entrances			Х	No secure vestibule - entrance is not visible from office



ARCHITECTURAL (CON'T)	800d	fair	pool comments
Caulk Joints	х		Ready for inspection and possible repair/replacement.
			Aluminum doors have been replaced (salt residue at base of door is an issue).
			Water intrusion at unit 'B' basement door - no positive drainage (northwest
Exterior Doors	х		corner of building), door will not close and latch properly
Vestibule Entries	х		Hollow metal frames and glass should be replaced.
Exterior Light		х	Minimal
			Need district asbestos report. Hazardous materials present in flooring and
			above ceiling piping insulation. May also be present in mech rooms with
			older piping insulation. Also present in Montessori classrooms (400 unit) -
Hazardous Materials	х		south of audit/pool/gym at east end of building.

INTERIORS / FINISHES	Bood	fair	pool comments
Corridors			
Lights	х		Fixture upgrade should be considered.
			District refinishing terrazzo floors in corridor this year. Removed floor base
Flooring	х		around perimeter to complete work.
			Need new ceiling updates in most areas - grid and pads (2x4 tiles and grid
			sagging). Vinyl wrapped drywall (panelized wall system) present. Condition is
Ceiling/Walls	х		ok but difficult to renovate/repair.
Lockers		х	remove and replace, too narrow
Doors		х	upgrade needed, many doors do not have ADA lever style hardware
Interior Storefront	х		Dated, recommend replacement
Size of Corridor	х		Seems more compact given depth of surface mounted lockers
Flow of Corridor	х		no comments or concerns mentioned during walk-through
Emergency Egress	х		Not all stair handrails meet today's code requirements
Interior Signage		х	Signage is not ADA compliant or lacking
			Many level changes - not all levels easily accessible, not all stair handrails
Barrier Free Access		х	meet today's barrier free requirements
Classrooms			
Flooring		х	Combination of carpet/VCT at most areas
			Ceiling needs to be replaced - old/tired/stained. Walls are composed of
			panelized drywall and framing (vinyl finish/no color). Bad sound performance
			(transmission) noted. Different wall thickness and door frame throat sizes
			based on different locations within the building. Did see some interior walls
			with brick masonry in classrooms at west end of building. Operable
Ceiling/Walls		х	partitions/dividers are not in good condition and potentially not repairable.
			Windows and some exterior doors present in classrooms for emergency
Egress Windows	х		egress Labeling not consistent in all classrooms.
			upgrade; on site built-in maple casework is hard to repair / match
Casework	х		(maintenance issue)
Marker/Chalkboards	х		upgrade
Daylight	х		minimal in most classrooms.
Overall Size	х		ok - dividing partition walls need to be removed, most out of service
			Doors showing signs of age/use/wear. Ready for replacement - frames to be
Doors	х		considered for removal
			Upgrade - would like to see better performing fixtures installed (less impact
			for maintenance staff). Additionally adding automated controls should be
Lighting	х		considered if other updates are being made to BMS controls system.



INTERIORS / FINISHES (CON'T)		800d	fair	soni comments
				This building needs a full service commissioning inspection and TAB analysis
Heating		х		to analyze overall performance/function/controls of current units.
				KIVA rooms (sunken floor with auditorium seating design). Odd floor layouts,
				divider walls not functional, furniture is mixed with no cohesion or
KIVA Rooms		х		consistency for which chairs and tables are in each classroom
Furniture		х		
Toilet Rooms				
Fixtures Operational		x		Most (NOT ALL) toilet rooms within this school were updated with last bond cycle
Toilet Partitions		x		Most (NOT ALL) toilet rooms within this school were updated with last bond cycle
Walls		х		wall tile and gyp board combination
Floors		x		epoxy poured in place floors with cove base below wall tile installed with new renovations
Floor Drains		х		Not cleaned or serviced with recent renovations - concern for the district.
Lighting		х		upgraded in renovated toilet rooms
				gyp board ceiling with fixtures and devices some signs of above ceiling
Ceilings		х		piping or possible roof leaks
				existing bathrooms that have not been updated do not meet current barrier
ADA Accessible		х		free requirements
				Some existing toilet rooms that were not updated (classroom or staff) were
Adequate Size		х		smaller and should be considered for expansion or future renovation.
Gymnasium				
Flooring		х		Could be considered for refinish - condition ok currently but aging
Lights	х			recent upgrade
				A/C does not work well - need commissioning/TAB report completed for
				further investigation. All schools struggle with humidity and moisture
HVAC			х	conditions during warmer months.
Daylight			Х	none present - no exterior windows/translucent panels
Gym Equipment		х		Manually operated hoops only
Doors		х		
Size of Corridor		х		one main court
Bleachers		х		looked newer - recently upgraded to this gym
Egress		х		Ok
Locker Rooms		x		dated / large / some upgrades to fixtures/showers. Noticed ADA issues in some locations
				Windows to be replaced. A/C does not work well. Louvered vents not
Walls/Ceilings		х		operable. Roof vents need to be replaced
General Note			Х	Mezzanine present but not ADA accessible
Cafeteria				
Flooring			Х	VCT. Signs of slab movement/floor separation/cracking noticed
				Exterior facade should be redone - not thermally efficient currently. Hollow-
				metal frames at interior perimeter - rough shape/rusted. Need to be
				repaired/painted or replaced. Ceilings need to be updated. Light fixture
Ceilings/Walls			х	upgrades with last bond.
				ok - district commented it may be challenging for students to progress
Accessibility		х		through kitchen space servery and then back into cafe.
Lighting		Х		Upgrade
Seating	х			recently updated - integral tables and benches
				CAFE needs to be expanded - not large enough for occupancy. Tables are
size			х	packed closely together.



INTERIORS / FINISHES (CON'T)		BOOD	tair	
D				Cafeteria has large old inefficient window wall (frames and glass). Not
Daylight	Х			thermally efficient. Not a comfortable space to take break and eat.
Overall Size			Х	Too small. Over capacity.
Doors		х		Remove and replace wood doors, wire glass and hollow-metal frames
				Old/tired/dated exterior/bulkheads need new paint and repair (perimeter
General Note				ceiling diffusers)
Offices				
Flooring			Х	replace and upgrade
Furniture			Х	upgrade - remove and replace.
				minimal/poor/ main office visibility has been a concern at multiple schools
Ceilings			Х	within the district
Paging			Х	replace and upgrade
Master Clock			Х	replace and upgrade
Phone System			Х	replace and upgrade
Lighting		х		upgrade
General Note				Door hardware (knobs) to be replaced, original layout - no upgrades in past
Media Center				
				Seems small for a 5/6 middle school. Space could be renovated and
				considered for expansion into adjacent classrooms. This building has narrow
Size		х		panelized partition walls (not conventional metal 3 5/8" stud with gyp board).
Flooring		х		carpet - ok condition. Looks like 9x9 floor tiles present near entry/circ desk.
Lighting		х		Need upgrades
				Technology/Server Room present here. Hazardous floor tiles will need to be
Office Space			Х	replaced throughout office and media center.
Ventilation			Х	requesting A/C . Not currently installed.
Doors		х		consider for replacement
				12x12 and 24x48 present. 12x12 lower elevation around perimeter above
Ceilings		х		bookshelves - needs to be replaced. 24x48 in fair condition.
Seating		х		Dated, but appears functional
Shelving / Casework		х		Dated, but appears functional
Auxiliary Spaces				
				Pool is out of service - not operational. Structural issue preventing removal of
Pool				water. Room needs to be renovated and addressed.
				Auditorium is a nice size room. Hazardous flooring present. Stage floor is in
				need of replacement. Barrier free access should be improved. Finishes and
				seating are in good condition but dated. Operable partition to close off
				seating not used. Acoustics are good. Lighting control system is no longer
				supported and will be difficult to "band aid" as equipment fails - should be
				replaced in the next 10 years - recommend ETC. No LED fixtures. Projector
Auditorium		х		due to be replaced. Speakers/audio could be reworked for better coverage.
				Montessori classrooms on the far east end of the building to be addressed -
Montessori Classrooms				renovation desired by the district to meet their needs
Kitchen				
				300 daily student meals served - full service kitchen. Cafeteria is too small,
				desire to expand. Issues with exterior receiving area - area small and difficult
Program				to access, long ramp and no double door access.
				JRA to provide list for selecting new equipment. Space currently has nice
Equipment		х		equipment worth salvaging. Ovens/passthrough oven/prep tables
Ceilings			Х	ACT. Replace ceiling with cleanable ceiling and upgrade lights



INTERIORS / FINISHES (CON'T)		Bood	tait	pon comments
				Cooler located in aux dining room. Mark suggested removing and considering
				this area a separate receiving area, made accessible by extending current
Cooler/Freezer			х	service drive.
				12x12 vct with rubber base - replace all. Drains/sinks/traps/ all need to be
Floors			х	cleaned, maintained, serviced
				Receiving area attached to new west elevation bus loop service drive. No
				receiving dock. Need to add large entry for delivery/receiving/unloading. No
Delivery Space			х	covered protection.
				Lacking adequate storage space. Storage room too small. Mark Fargo
				suggested utilizing current outdoor maintenance storage room with garage
				door for adding new walk-in units. Expand space beyond boiler room for
Storage Space			х	more storage/new receiving and maintenance area.
Kitchen Hood			х	Hood present above ovens. Small retrofit. Should replace.
Serving Line		х		Need to redesign/reformat. Space closed off from Cafeteria (open up).
Electrical		х		No issues noted - such as too few outlets/location/breaker capacity
Lighting		х		Upgrade light fixtures
Secured	х			Yes
Fire Suppression/FA				Not present in kitchen.

MECHANICAL	BOOD	fair	sont comments
Heating Source and			Building is served by (4) Cleaver Brooks boilers (1,800 MBH ea.) installed in
Condition	 Х		'06.
			Pumps were installed in '06. No known issues with piping. (2) heating pumps
Heating Pumps and Piping	Х		(300 gpm @ 60' HD ea.).
Cooling Source and			
Condition	Х		Building is served by (2) chillers (110 tons ea.) installed in '06.
			Pumps were installed in '06. No known issues with piping. (2) chiller pumps
Cooling Pumps and Piping	Х		(260 gpm @ 25' HD ea.). (2) chilled water pumps (260 gpm @ 60' HD ea.)
Terminal Devices	Х		Building served by 98 dual duct mixing boxes.
			Dual duct AHUs serve the building. (2) AHU's (3,000 cfm with 7.5 ton
			condensing unit ea.). (1) 8,500 cfm AHU, (2) 16,000 cfm AHU's, (2) 2,100 cfm
			AHU's, (2) 3,000 cfm AHU's, (3) 8,000 cfm AHU's, (3) 5,260 cfm AHU's, (3)
			4,700 cfm AHU, (2) 6,100 cfm AHU's, (1) 11,000 cfm AHU, (1) 25,000 cfm
AHUs and RTUs	Х		AHU, (1) 17,000 cfm AHU
			Exhaust systems original to building. Upgrade/replace. (2) 500 cfm, (1) 700
Ventilation		Х	cfm, (1) 150 cfm, (1) 4,500 cfm, (1) 300 cfm, (1) 600 cfm, and (2) 1,300 cfm
Building Management			
System/Controls		Х	Building served by Trace Summit. Pneumatics throughout.
			Valves outside of group restroom are bad. Some leaks from roof drains.
Domestic Water Piping		х	Basement floods from under door. Floor drain in Kitchen doesn't work.
Water Heaters	Х		(2) newer units (around 10 years old)
			Group restrooms remodeled in '19 and in good condition. All others are at
Plumbing Fixtures	Х		end of life.
Fire Protection		Х	Coverage present at auditorium stage/boiler room and receiving dock.
Pool equipment			N/A.

ELECTRICAL		BOOM	tair	post comments
Transformer size	х			
Primary/Secondary Service			х	
Generator				N/A
Occupancy Sensors				N/A



ELECTRICAL (CON'T)	800d	fair	poot comments
Lighting Control System		х	Toggle switches. Needs to be replaced.
Panels		х	Panels are original to the building and degraded. Consider replacing.
Panel Clearance		х	Remove storage items.
Exit Signs		х	Exit signs are very old and letters are dim.

TECHNOLOGY		Bood	tair	poot comments
IT Rooms			x	Most rooms are sharing space with electrical, janitorial equipment, mop sinks and/or storage. Rooms are sprinkled. Need AC installed.
Fiber Optic Cabling				
(between buildings/IT				Older single mode fiber between buildings, multimode between IT rooms,
rooms)		х		some CAT6 tie lines between racks.
Data Cabling (within				
buildings)	х			CAT 6 cabling. Switches were upgraded recently.
				Need to update paging for the district. Paging speakers not loud enough in
Bells/Paging System			х	gyms/large spaces.
				There is no synchronized clock system. Some satellite clocks and digital
Clock System			х	signage running software to display time.
Classroom Audio/Video				Standard throw projectors being replaced with 75" interactive displays. Plan
Systems	х			to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video				Audio for gym needs upgrade. Auditorium AV needs reworked for better
Systems			х	audio coverage and control.
Security Camera System			х	Need to update Sony cameras and VMS (currently exacqvision software)
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt
Access Control System		х		SMS.



BUDGET DETAIL

ITEM #:	3				Acres:		72
	Kinawa 5-6 - Sitework					I	Elementary
	Description	Quantity	UOM		Unit Cost		Total Cost
Sitework	SITEWORK					\$	-
Drainage	County drain is becoming overgrown, limiting capacity at viaduct under adjacent	I	ALLOW	\$	100,000.00	\$	100,000
	railroad tracks. Segments of 30" dia. RCP leading from parking lot to drainage						
	pond have separated. Drainage issues around NW corner of site.						
Asphalt Parking/ Drives	Pavement in parking is in good condition		assume wo	rk not i	required	\$	
Sidewalks	Sidewalks are heaving and cracked near the pine trees	I	ALLOW	\$	25,000.00	\$	25,000
Adequate Parking			assume wo	rk not i	required	\$	-
Bus Loop	Pavement in bus loop is in fair condition, curbs need to be replaced	I	ALLOW	\$	150,000.00	\$	150,000
Playgrounds	Playground equipment is in good condition.		assume wo	rk not i	required	\$	-
Student Drop off Area	Concrete pavement at drop off is in poor condition.	1	ALLOW	\$	175,000.00	\$	175,000
Landscaping			assume wo	rk not i	required	\$	-
Irrigation Systems	N/A		assume wo	rk not i	required	\$	-
Athletic fields	Ball fields are in good condition, tennis courts need to be replaced or removed		see items t	elow		\$	-
Athletic fields	Remove/replace tennis courts - 3 existing courts	25,800	SF	\$	9.83	\$	253,700
Athletic fields	Fencing at tennis court	670	LF	\$	50.00	\$	33,500
Fencing			assume wo	rk not i	required	\$	-
Service Entrance	Loading dock pavement is in poor condition and current loading area is insufficient	4,000	SF	\$	13.50	\$	54,000
	to service the building						
	Assume new loading dock addition and/or canopy		not include	d			
Concrete Curbs	Concrete curbs at loading dock	200	LF	\$	35.00	\$	7,000
Signage	Main entrance sign is in poor condition	1	ALLOW	\$	35,000.00	\$	35,000
Dumpster Location	No dumpster enclosure		not include	d		\$	-
Traffic Directions						\$	-
Parking Lot Lighting	Concrete poles, fixtures have not yet been replaced with LED		assume by	owner		\$	-
Retaining Walls	Fall protection to be added to the retaining wall on north side of building,	150	LF	\$	200.00	\$	30,000
	Retaining wall on south side needs to be removed and regraded						
						\$	-
						\$	-
	Direct Trade	72	acres	\$	11,988.89	\$	863,200

-

-

ITEM #:	4			C	Gross Area:	154,000
	Kinawa 5-6 - Building Improve	ments				Elementary
	Description	Quantity	UOM		Unit Cost	Total Cost
Building Shell	BUILDING SHELL					\$ -
Building Shell	Sealed EIFS a few years ago. District desires to paint/stain brick (dated) - brick to					\$ -
	be further evaluated. Rusted, stained lintels at window above exterior doors 18 &					
	19					
	Remove/replace steel lintels	2	EA	\$	1,500.00	\$ 3,000
	Paint brick	48,412	SF	\$	2.00	\$ 96,824
Roofing	Most recent roof install dates back to 2001, 2003, 2005 and 2011 based on	154,000	SF	\$	28.00	\$ 4,312,000
	location. Combination of Firestone/Cooley/Carlisle membrane. Carlisle PVC					
	membrane over auditorium (2011). Leaks currently over 400 wing/above band					
	area (flashing). other leaks, address drain collars.					
Exterior Windows	Need to be replaced - uninsulated 1/4" plate glass present in most locations	10,878	SF	\$	95.00	\$ 1,033,410
Defined Entry	Yes, with vestibule - concern is location in relation to interior entrance to main					\$ -
	office. Main office located down the corridor from main exterior entrance.					
Accessibility	no automatic door operators present	22	EA	\$	5,000.00	\$ 110,000
Fascia/Soffits	Building has exterior 'bump outs' (overhangs-fascias/soffits) above windows -	2,200	LF	\$	193.00	\$ 424,600
	bulkheads. District opinion is the visual appearance of these are dated. Would					
	prefer to consider removing or updating.					
Building Entrances	No secure vestibule - entrance is not visible from office	1	ALLOW	\$	50,000.00	\$ 50,000
Caulk Joints	Ready for inspection and possible repair/replacement.	60,000	SF	\$	0.50	\$ 30,000
Exterior Doors	Aluminum doors have been replaced (salt residue at base of door is an issue).					\$ -
	Water intrusion at unit 'B' basement door - no positive drainage (northwest					
	corner of building), door will not close and latch properly					
Exterior Doors	Basement door water intrusion - add site drainage/trench drain	1	ALLOW	\$	30,000.00	\$ 30,000
Exterior Doors	Remove/replace basement door	1	EA	\$	10,000.00	\$ 10,000
Vestibule Entries	Hollow metal frames and glass should be replaced.	26	EA	\$	5,000.00	\$ 130,000
Vestibule Entries	Hollow metal framed glass sidelites	26	EA	\$	5,040.00	\$ 131,040
Exterior Lighting	Minimal	I	LS	\$	15,000.00	\$ 15,000



Hazardous Material	Need district asbestos report. Hazardous materials present in flooring and above	154,000	SE	\$	2.00	\$	308,000
Tiazai dous materiais	ceiling piping insulation. May also be present in mech rooms with older piping	134,000	51	φ	2.00	φ	508,000
	insulation. Also present in Montessori classrooms (400 unit) - south of						
	audit/pool/gym at east end of building.					•	
	INTERIORS					\$ \$	-
\M/all	Paint/refresh entire building	154.000	CE.	\$	1.50	.⊅ \$	231,000
Corridors		25,900	-	Ŷ	1.50	\$ \$	231,000
	Fixture upgrade should be considered.			\$	7.50	\$	194,250
	District refinishing terrazzo floors in corridor this year. Removed floor base	23,700	see item be		7.50	\$	-
	around perimeter to complete work.					Ŧ	
Ceilings/Walls	Need new ceiling updates in most areas - grid and pads (2x4 tiles and grid sagging).	25,900	SF	\$	12.00	\$	310,800
Ū	Vinyl wrapped drywall (panelized wall system) present. Condition is ok but						
	difficult to renovate/repair.						
Heating	Assume add diffuser with new ceilings	25,900	SF	\$	0.45	\$	11,70
Lockers	remove and replace, too narrow	900	EA	\$	300.00	\$	270,00
Doors	upgrade needed, many doors do not have ADA lever style hardware	96	EA	\$	1,000.00	\$	96,00
Interior Storefron	Dated, recommend replacement	960	SF	\$	90.00	\$	86,400
Size of Corridor	Seems more compact given depth of surface mounted lockers		assume wo	ork not re	quired	\$	-
Flow of Corridor	no comments or concerns mentioned during walk-through		assume wo	ork not re	quired	\$	-
Emergency Egress	Not all stair handrails meet today's code requirements	200	LF	\$	200.00	\$	40,000
Interior Signage	Signage is not ADA compliant or lacking	154,000	SF	\$	0.55	\$	84,700
Barrier Free Access	Many level changes - not all levels easily accessible, not all stair handrails meet	154,000	SF	\$	2.00	\$	308,000
	today's barrier free requirements						
Classrooms	Classrooms	46,300	SF			\$	-
Flooring	Combination of carpet/VCT at most areas		see items b	pelow		\$	-
Flooring	Carpet 90%	41,670	SF	\$	7.06	\$	294,005
Flooring	VCT 10%	4,630	SF	\$	5.00	\$	23,150
Ceiling	Ceiling needs to be replaced - old/tired/stained. Walls are composed of panelized	46,300	SF	\$	12.00	\$	555,600
	drywall and framing (vinyl finish/no color). Bad sound performance (transmission)						
	noted. Different wall thickness and door frame throat sizes based on different						
	locations within the building. Did see some interior walls with brick masonry in						
	classrooms at west end of building. Operable partitions/dividers are not in good						
	condition and potentially not repairable.						
Egress Windows	Windows and some exterior doors present in classrooms for emergency egress.		see buildir	og shall		\$	
Leress Windows	Never did test function or locate emergency egress windows during walk-through.		see buildi	ig shell		Ψ	
	Labeling not consistent in all classrooms.						
Casework		1,350	LF	\$	450.00	\$	607,500
	issue) - assume remove/replace 30 lineal foot per room	.,		•		•	,
Marker/Chalkboards		45	RMS	\$	3,360.00	\$	151,200
Heating			see item be	elow		\$	-
Air-Conditioning	z l		assume wo	ork not re	quired	\$	-
Daylight	minimal in most classrooms.		assume wo	ork not re	quired	\$	-
Overall Size	ok - dividing partition walls need to be removed, most out of service and		see items b	pelow		\$	-
	permanently closed OR open currently.						
Operable Parition		335	LF	\$	400.00	\$	134,000
Operable Parition	Ceiling modifications/patching/painting at operable partitions	335	LF	\$	75.00	\$	25,12
Doors	Doors showing signs of age/use/wear. Ready for replacement - frames to be	60	EA	\$	3,500.00	\$	210,00
	considered for removal						
Lighting	Upgrade - would like to see better performing fixtures installed (less impact for		see item be	elow		\$	-
	maintenance staff). Additionally adding automated controls should be considered if						
	other updates are being made to BMS controls system.						
	Assume new lighting at new ceilings	46,300		\$	7.00	\$	324,10
	Assume add diffuser with new ceilings	46,300		\$	0.45	\$	22,50
Heating	This building needs a full service commissioning inspection and TAB analysis to	154,000	SF	\$	0.50	\$	77,20
	analyze overall performance/function/controls of current units.					-	
KIVA Rooms			divider wal	lls with ab	ove	\$	-
	divider walls not functional, furniture is mixed with no cohesion or consistency						
	for which chairs and tables are in each classroom				<i></i>	-	
Furniture			owner FF&	-		\$	-
Science Rooms		0.075	assume wo	ork not re	quired	\$	-
Toilet Rooms		2,375	SF			\$	-
Fixtures Operationa	Nost (NOT ALL) toilet rooms within this school were updated with last bond		see below			\$	-
T 1 . D	cycle		h -!	<u> </u>		¢	
I oilet Partitions	Most (NOT ALL) toilet rooms within this school were updated with last bond		see below			\$	-
	cycle		coo hal			\$	
\			see below				-
	wall tile and gyp board combination					¢	
	wall tile and gyp board combination epoxy poured in place floors with cove base below wall tile installed with new renovations		see below			\$	-



	upgraded in renovated toilet rooms			g with toilets below	\$	-
Hand Dryers		1.004		rk not required	\$	-
•	gyp board ceiling with fixtures and devices some signs of above ceiling piping or	1,804	SF	\$ 5.00	\$	9,020
	possible roof leaks - assume patch and paint				¢	
Mirrors			see below		\$ \$	-
	existing bathrooms that have not been updated do not meet current barrier free		see below		Þ	-
	requirements	571	SF	\$ 250.00	\$	142,750
-	Some existing toilet rooms that were not updated (classroom or staff) were	5/1	зг	φ 250.00	P	142,750
	smaller and should be considered for expansion or future renovation.					
Gymnasium	Gymnasium	11,300		L	\$	-
-	Could be considered for refinish - condition ok currently but aging			ork not required	\$	-
	recent upgrade			rk not required	\$	-
	A/C does not work well - need commissioning/TAB report completed for further	11,300	SF	\$ 0.53	\$	6,000
	investigation. All schools struggle with humidity and moisture conditions during					
	warmer months.				-	
	none present - no exterior windows/translucent panels			rk not required	\$	-
	Manually operated hoops only			rk not required	\$	-
Doors				rk not required	\$	-
Size of Corridor				rk not required	\$	-
Bleachers	looked newer - recently upgraded to this gym		assume wo	rk not required	\$	-
Egress				rk not required	\$	-
Locker Rooms	dated / large / some upgrades to fixtures/showers. Noticed ADA issues in some	5,480	SF	\$ 35.00	\$	191,800
	locations					
	ADA modifications	312	-	\$ 250.00	\$	78,000
Locker Rooms	New toilet partitions	6	EA	\$ 2,500.00	\$	15,000
Locker Rooms		5,480	SF	\$ 5.00	\$	27,400
Walls/Ceilings	Windows to be replaced. A/C does not work well. Louvered vents not operable.		see items b	elow	\$	-
	Roof vents need to be replaced					
Air-Conditioning	Air conditioning		not include	d		
Windows	Remove/replace windows		see building	g shell		
Air-Conditioning	Roof vents/louvered vents	4	EA	\$ 5,000.00	\$	20,000
					¢	100,000
General Note	Mezzanine present but not ADA accessible	I	ALLOW	\$ 100,000.00	\$	100,000
General Note Cafeteria	Mezzanine present but not ADA accessible Cafeteria		ALLOW SF	\$ 100,000.00	ֆ \$	-
Cafeteria						-
Cafeteria Flooring	Cafeteria	3,760	SF		\$	- 5,640
Cafeteria Flooring Flooring	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed	3,760 376	SF see items b	elow	\$ \$	-
Cafeteria Flooring Flooring Flooring	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance	3,760 376	SF see items b SF	selow \$ 15.00 \$ 5.00	\$ \$ \$	5,640
Cafeteria Flooring Flooring Flooring Ceilings/Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal	3,760 376	SF see items b SF SF	selow \$ 15.00 \$ 5.00	\$ \$ \$ \$	5,640
Cafeteria Flooring Flooring Flooring Ceilings/Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or	3,760 376	SF see items b SF SF	selow \$ 15.00 \$ 5.00	\$ \$ \$ \$	5,640
Cafeteria Flooring Flooring Flooring Ceilings/Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal	3,760 376	SF see items b SF SF	selow \$ 15.00 \$ 5.00	\$ \$ \$ \$	5,640
Cafeteria Flooring Flooring Flooring Ceilings/Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or	3,760 376	SF see items b SF SF see items b	selow \$ 15.00 \$ 5.00	\$ \$ \$ \$	5,640
Cafeteria Flooring Flooring Ceilings/Walls Exterior Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond.	3,760 376 3,760	SF see items b SF SF see items b	elow \$ 15.00 \$ 5.00 welow	\$ \$ \$ \$	- 5,640 18,800 -
Cafeteria Flooring Flooring Ceilings/Walls Exterior Walls Doors	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/repalce exterior doors	3,760 376 3,760 1,772 3	SF see items b SF SF see items b SF	selow 15.00 5.00 selow 125.00	\$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500
Cafeteria Flooring Flooring Ceilings/Walls Exterior Walls Doors Exterior Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall	3,760 376 3,760 1,772 3 1,772	SF see items b SF SF see items b SF EA	selow \$ 15.00 \$ 5.00 selow \$ 125.00 \$ 8,000.00	\$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000
Cafeteria Flooring Flooring Ceilings/Walls Exterior Walls Doors Exterior Walls Ceilings/Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/repalce exterior doors Tempoary facade enclosure	3,760 376 3,760 1,772 3 1,772	SF see items b SF SF see items b SF EA SF	selow \$ 15.00 \$ 5.00 selow \$ 125.00 \$ 8,000.00 \$ 15.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000 26,580
Cafeteria Flooring Flooring Ceilings/Walls Exterior Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads	3,760 376 3,760 1,772 3 1,772 1,261	SF see items b SF SF see items b SF EA SF SF SF SF	selow 15.00 5.00 selow 125.00 8,000.00 15.00 12.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000 26,580 15,132
Cafeteria Flooring Flooring Ceilings/Walls Exterior Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through	3,760 376 3,760 1,772 3 1,772 1,261	SF see items b SF SF see items b SF EA SF SF SF SF	\$ 15.00 \$ 5.00 \$ 5.00 \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 12.00 \$ 32.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000 26,580 15,132 103,680
Cafeteria Flooring Flooring Ceilings/Walls Exterior Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Accessibility	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads	3,760 376 3,760 1,772 3 1,772 1,261	SF see items b SF SF see items b SF SF SF SF SF assume wo	\$ 15.00 \$ 5.00 \$ 5.00 \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 12.00 \$ 32.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000 26,580 15,132 103,680
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF see items b SF SF SF SF SF SF SF SF	elow \$ 15.00 \$ 5.00 elow \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 15.00 \$ 12.00 \$ 12.00 \$ 32.00 rk not required \$ 8.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting Seating	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF see items b SF EA SF SF assume wo SF assume wo	selow 15.00 15.00 125.00 125.00 125.00 125.00 15.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting Seating Seating	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New GCT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches CAFE needs to be expanded - not large enough for occupancy. Tables are packed	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF see items b SF EA SF SF assume wo SF assume wo	elow \$ 15.00 \$ 5.00 elow \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 15.00 \$ 12.00 \$ 32.00 rk not required \$ 8.50 rk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - 5,640 18,800 - - 221,500 24,000 26,580 15,132 103,680 - - 31,960 -
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting Seating Seating	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF see items b SF EA SF SF assume wo SF assume wo	elow \$ 15.00 \$ 5.00 below \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 12.00 \$ 32.00 rk not required \$ 8.50 rk not required \$ 8.50 rk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - 5,640 18,800 - - 221,500 24,000 26,580 15,132 103,680 - - 31,960 -
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting Seating size Air-Conditioning	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches CAFE needs to be expanded - not large enough for occupancy. Tables are packed closely together.	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF SF SF EA SF SF SF assume wo SF SF assume wo excluded n	elow \$ 15.00 \$ 5.00 below \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 15.00 \$ 12.00 \$ 32.00 rk not required \$ 8.50 rk not required ew addition d	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000 26,580 15,132 103,680 - 31,960 - -
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Exterior Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting Seating size Air-Conditioning Daylight	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches CAFE needs to be expanded - not large enough for occupancy. Tables are packed closely together. Cafeteria has large old inefficient window wall (frames and glass). Not thermally	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF see items b SF EA SF SF SF assume wo SF assume wo excluded n not include	elow \$ 15.00 \$ 5.00 below \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 15.00 \$ 12.00 \$ 32.00 rk not required \$ 8.50 rk not required ew addition d	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000 26,580 15,132 103,680 - 31,960 - -
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting Seating Seating Air-Conditioning Daylight	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches CAFE needs to be expanded - not large enough for occupancy. Tables are packed closely together. Cafeteria has large old inefficient window wall (frames and glass). Not thermally efficient. Not a comfortable space to take break and eat.	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF see items b SF EA SF SF SF assume wo SF SF assume wo scluded n not include see item ab	selow \$ 15.00 \$ 5.00 below \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 12.00 \$ 12.00 \$ 32.00 rk not required \$ 8.50 rk not required ew addition .d yove	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - 5,640 18,800 - - 221,500 24,000 26,580 15,132 103,680 - - - - - - - -
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Ceilings/Walls Accessibility Lighting Seating Seating Air-Conditioning Daylight Overall Size	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches CAFE needs to be expanded - not large enough for occupancy. Tables are packed closely together. Cafeteria has large old inefficient window wall (frames and glass). Not thermally efficient. Not a comfortable space to take break and eat.	3,760 376 3,760 1,772 3 1,772 1,261 3,240	SF see items b SF SF see items b SF EA SF SF SF assume wo SF SF assume wo excluded n	elow \$ 15.00 \$ 5.00 below \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 125.00 \$ 8.50 rk not required \$ 8.50 rk not required ew addition :d xove ew addition	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 221,500 24,000 26,580 15,132 103,680 - 31,960 -
Cafeteria Flooring Flooring Ceilings/Walls Ceilings/Walls Doors Exterior Walls Ceilings/Walls Ce	Cafeteria VCT. Signs of slab movement/floor separation/cracking noticed Concrete slab repair allowance Remove/replace VCT Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond. Remove/replace curtainwall Remove/replace exterior doors Tempoary facade enclosure New ACT and paint walls New Gypboard Bulkheads ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe. Upgrade recently updated - integral tables and benches CAFE needs to be expanded - not large enough for occupancy. Tables are packed closely together. Cafeteria has large old inefficient window wall (frames and glass). Not thermally efficient. Not a comfortable space to take break and eat. Too small. Over capacity. Remove and replace wood doors, wire glass and hollow-metal frames	3,760 376 3,760 1,772 1,261 3,240 3,760	SF SF SF SF SF EA SF EA SF SF SF assume wo SF assume wo SF assume wo scluded n not include see item ab	elow \$ 15.00 \$ 5.00 elow \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 125.00 \$ 8,000.00 \$ 15.00 \$ 15.00 \$ 15.00 \$ 12.00 <t< td=""><td>\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$</td><td>- 5,640 18,800 - 221,500 24,000 26,580 15,132 103,680 - 31,960 - - - - - - - -</td></t<>	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 5,640 18,800 - 221,500 24,000 26,580 15,132 103,680 - 31,960 - - - - - - - -
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General Nace Door hardware (work) to be replaced, original layout - no aggrades in past Dial Dia Dial <thdial< th=""></thdial<>	Coffee Break Are			with item	above	\$	-
Heat Cancer Heat 2 bit mide school. Space cold be revocuted and considered for expansion for subject darsooms. The building harmory smalled particular verse for conventional meal 3 58° and with gp board). Harm work not required S A Reoring argue - alc condition. Lookis like 54° floor tils present ner entry(cir. desk. 4.000 S 1.000 S 4.001 S 4.000 S 3.000 S 3.200 S <td>Bathroom(s</td> <td>Assume remove/replace at new toilet room flooring</td> <td>2</td> <td>EA</td> <td>\$ 7,500.0</td> <td>00 \$</td> <td>15,00</td>	Bathroom(s	Assume remove/replace at new toilet room flooring	2	EA	\$ 7,500.0	00 \$	15,00
Size Seem and for a 16 middle school. Space cold be removated and considered for equation in out ablemic discover. The binding has marrow powerland particles with foor conventional means 3 58° tool with grp board). Size Seem 2000 Size Size Size Size Size Size Size Size	General Note	Door hardware (knobs) to be replaced, original layout - no upgrades in past	20	EA	\$ I,000.0	00 \$	20,00
expansion into adjacent clastroom. This building has narrow parallelad partition A480 SF \$ 1.00 \$ 4.480 Recording carple - ok condition. Looks like 9x9 floor sites present near entry/circ clask. 0.00 SF \$ 1.00 \$ 4.480 SF \$ 1.00 \$ 4.480 Recording CLT Paconing VCT Rooming to CTR comparison theme themes t	Media Cente	Media Center	4,800	SF		\$	-
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Honoral Renove Register Carget Otimodel 5 Renoval Register Carget 200 5F \$ 3.00 \$ 6 Lighter Need graphics Renoval Register Carget 4400 5F \$ 1.00 \$ 3.23 Office Spec Technolog/Server Room present hers, Huzzoon floor itles will need to be related room of the will need to be room of the will need to be room of the will need to be room of the room of the will need to be room of the will need				· · · · ·			
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Lighters New Joy 2016 \$ \$ 11.00 \$ 52.82 Office Space Technolog/Surve Room present here. Historious filter will need to be replaced throughout office and media center. 1.400 \$ \$ 3.00 \$ \$ 3.00 \$ \$ 3.00 \$ \$ 3.00 \$ \$ \$ <td>Floorin</td> <td>Remove/Replace Carpet</td> <td></td> <td>not includ</td> <td>ed</td> <td>\$</td> <td>-</td>	Floorin	Remove/Replace Carpet		not includ	ed	\$	-
Office Specification registering Room present here Hazardous floor tiles will need to be replaced Transformed Room of the stand stand the stand the stand stand the stand stand the st	Floorin	VCT Flooring	200	-		00 \$	60
Related introglaced introglaced offer and media center. Image: 100 space Source	Lightin	Need upgrades					52,80
Venthamon requesting A/C. Not currently intelled. 4.800 if \$ 4800 if \$ 300000 \$ 30000 \$ 30000	Office Space		4,800	SF	\$ I.0)0 \$	4,80
Doord consider for registrement ID RA \$ 3,500.00 \$	Floorin	VCT flooring	1,300	SF	\$ 3.0	00 \$	3,90
Celling 247 2 and 24-48 present. 12x12 (see elleviston around permeter above be replaced.24/v48 in fair condition. See Terms below \$ Celling ACT 2x2 1/420 5 \$ \$ 900 \$ 1/420 Celling ACT 2x4 2.880 5* \$ \$ 900 \$ 1/420 Celling Gryboard 5dift Allowance 1000 1/2 \$ 5.00 \$ 1/420 Stering Dteck, but appears functional owner FR8E budget %. \$ - - - Shelving Crateword Datek, but appears functional owner FR8E budget %. \$ - <td< td=""><td></td><td></td><td></td><td>-</td><td></td><td></td><td>230,40</td></td<>				-			230,40
bookshows - needs to be replaced. 24x48 in fair condition.			10				35,00
Celling ACT 2xd 14.20 \$	Ceiling			see items	below	\$	-
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Heating Assume add diffuser with new cellings 4,800 SF \$ 0.000 \$ 2.8 Steining Clasework Date, but appears functional 000000000000000000000000000000000000				-		-	
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Shehring / Casewort Dated, but appears functional Auxiliary Spaces - Pool owner FF&E budget % \$ Pool Pool is out of service - not operational. Structural issue preventing removal of water. Room needs to be renovated and addressed. 6,900 SF \$ 7500 \$ \$112.5 Auditorium Auxiliary Spaces - Juditorium 9,100 SF \$ 7500 \$ \$ \$ Auditorium Auditorium is a nice size room. Hazardous flooring present. Stage floor is in need of replacement. Barrier free access should be improved. Finishes and seating are in good condition but detacl. Operable parations to ison of the next IQ years - recommend ETC. No LED fixtures. Projector due to be replaced. Speakers/audio cold be reworked for better coverage. 9,100 SF \$ 2,00 \$ 18,2 Auditorium Abarcestes Improvement allowance 1 ALLOW \$ 75,000,00 \$ 75,000 \$ 100,00 \$ \$ 3,000 \$ 3,000 \$ 3,000 \$ 3,000 \$ \$ 3,000 \$ \$ 3,000 \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$			-1,000	-	•		-
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Ventilation Exhaust systems original to building. Upgrade/replace. I ALLOW \$ 15,000.00 \$ 14,000 Building Management Building served by Trace Summit. Pneumatics throughout. 154,000 SF \$ 5,000 \$ 772,000 System/Controls Foods from under door. Floor drain in Kitchen doesn't work. I ALLOW \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ 25,000,00 \$ \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$	Floors	12x12 vct with rubber base - replace all. Drains/sinks/traps/ all need to be cleaned,		see items l	below	\$	-
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	TECHNOLOGY					\$ -
IT Rooms	Most rooms are sharing space with electrical, janitorial equipment, mop sinks		included in	"Phone	System" above	\$ -
	and/or storage. Rooms are sprinkled. Need AC installed.					
Fiber Optic Cabling (between	Older singlemode fiber between buildings, multimode between IT rooms, some		included in	"Phone	System" above	\$ -
buildings/IT rooms)	CAT6 tie lines between racks.					
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.		included ir	"Phone	System" above	\$ -
Bells/Paging System	Need to update paging for the district. Paging speakers not loud enough in gyms/large spaces.		included in "Paging" above		\$ -	
Clock System	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.		included ir	n "Mater	Clock" above	\$ -
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.		assume no work required		\$ -	
	Audio for gym needs upgrade. Auditorium AV needs reworked for better audio coverage and control.	I	EA	\$	25,000.00	\$ 25,000
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)	154,000	SF	\$	1.00	\$ 154,000
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.		assume no	work re	equired	\$ -
						\$ -
	Direct Trade	154,000	GSF	\$	128.80	\$ 19,835,773









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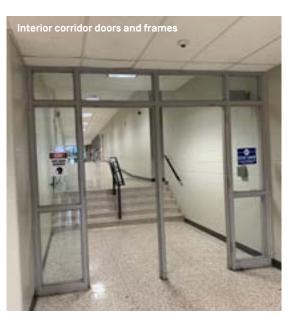


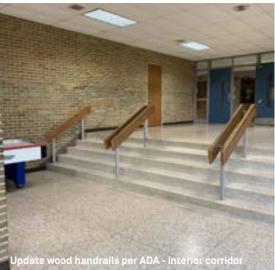










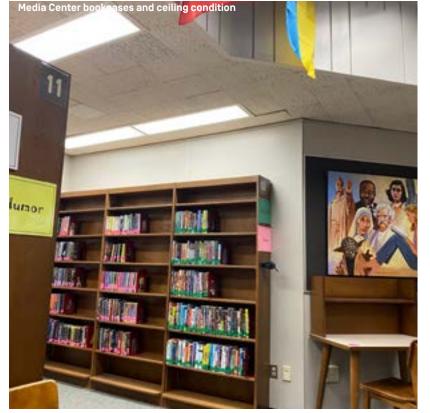




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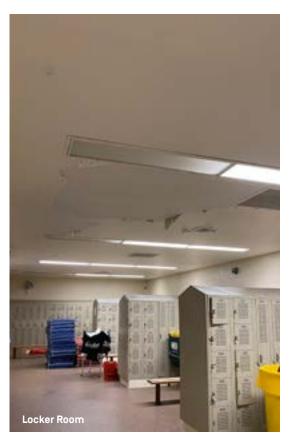
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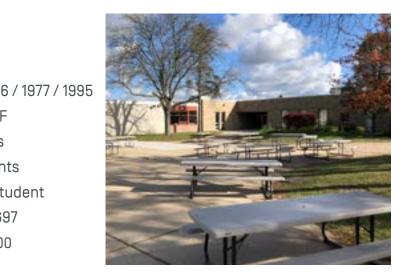


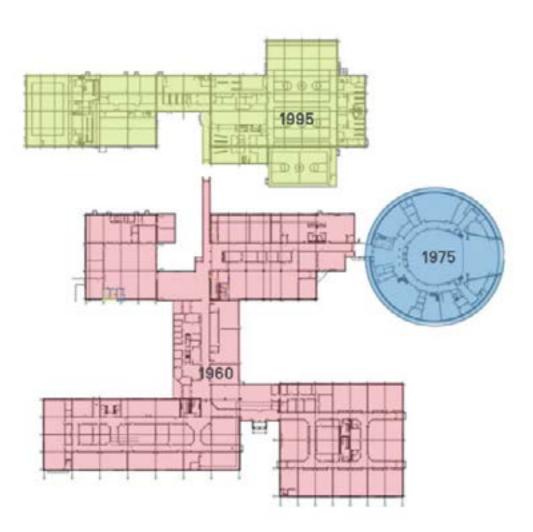
OKEMOS

OB CHIPPEWA 7-8 SCHOOL

08 CHIPPEWA 7-8 SCHOOL

Use:	7-8
Built:	1958
Additions + Renovations:	1963 / 1966 / 1977
Total Building Area:	196,000 SF
Site Area:	74.5 Acres
Enrollment:	712 students
Square Footage per Student:	275.3 sf/student
Renovation Cost:	\$58,909,697
Current Replacement Value (CRV):	\$63,700,000
Facility Condition Index (FCI):	92%





08 CHIPPEWA 7-8 SCHOOL







OBSERVATION HIGHLIGHTS

SITE

Sidewalks in poor condition throughout. Conflict between loading dock and parent drop-off functions. Structures at athletics facilities are unsafe and need to be demolished. New tennis courts are under construction. Receiving area needs redesign, improved access, and further attention to the area in the same location currently housing the main electrical service for the building.

ARCHITECTURE

Main entrance currently located on the east elevation of the school, directly adjacent to the main parking lot. Long distance from closest parking spaces to main entrance. Could be a hindrance for some visitors. The entrance is marked only by a small directional sign - no canopy to provide definition. The exterior design and materials of the building are not inviting. Secure vestibule present. Interior and exterior locations of hollow-metal frames and glass should be considered for replacement. Non-thermally broken framing and glass present at the main office area and some corridor locations. Consideration for upgrades and replacement are necessary. The team noticed some water infiltration at exterior window sills, and brick efflorescence present on the wall below most exterior windows. Noticed multiple locations where roof gravel stops conditions could be improved or repaired around the perimeter of the building. Further investigation needed to understand if water infiltration and damage present at these locations. In addition to the main classrooms, the school has a media center, gym, kitchen, cafeteria, auditorium and dedicated area for the Community Senior Center. The Senior Center has a dedicated parking lot with entrance off the southeast corner of C-wing just south of the auditorium. Current condition of the auditorium became a point of discussion on our site visit as an area to be further analyzed as a candidate for full removal or high level interior renovation of existing space.

INTERIORS

Classrooms appear to be relatively spacious, but most need new furniture for a flexible 21st century learning environment. The traditional double-loaded corridor design does not lend itself to the creation of learning communities or learning outside of the classroom. Science Labs lack appropriate casework or equipment for curriculum delivery.

The carpet should be considered for replacement throughout. It dates back to the mid-nineties and shows signs of wear and staining.VCT in the heavily trafficked hallway outside of the Media Center should be replaced. Terrazzo floors at the main entry are in good condition.

Most walls are painted CMU and are in good to fair condition. Corridor lockers should be considered for replacement.

Ceilings are in fair to poor condition. The majority of the panels are 24" x 48" are showing signs of age and warping. Wood doors are in fair to poor condition.

Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated. Interior signage is present, but ADA compliant signs are not available at all doors. This building has supplemental graphic signage to reinforce Okemos' brand and provide some wayfinding. Some of this will need to be replaced as a new mascot is defined.

MECHANICAL

Replace rooftop units (4-7.5-ton, Commons, 5-5-ton, 2-4-ton, 3-ton) and air-handling units (5-8,000 cfm, 16,000 cfm). All exhaust fans should be replaced and ventilation added to the tunnel system. Replace partial pneumatic controls with new DDC and upgrade existing DDC.



ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical system to be replaced. One of the existing services is outside and has overgrown vegetation in the equipment. The two services should be upgraded and combined into one. All of the existing panelboards are original to the building and degraded. The existing fire alarm system needs to be upgraded to include the entire building.

TECHNOLOGY

The IT rooms are a shared space with janitorial mop sinks & storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. Some portions of the building (i.e. northern athletic wing) are in better condition and would be advantageous to keep online while other portions of the building (i.e. the eastern fine arts wing) are past their useful life and are not set up well for current instructional methods and should be considered for retirement. The site is large and presents many opportunities for placement of building additions or new structures.



DATA SHEETS

Facility Assessment Building Name

Chippewa 7-8 School

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		800d	fair	enot comments
				Having issues with township backups (large stormwater events). Property
Drainage			Х	sees back-ups floods from downstream within the system.
				Main parking lot pavement is in good condition (resurfaced 10 years ago).
Asphalt Parking/ Drives	х			Some curbs need to be repaired.
				Concrete sidewalks at the following locations are in cracked and in poor
				condition: west of loading dock, south of the gym, at south entrance, and
Sidewalks			х	adjacent to bus loop and parent drop-off. Asphalt adjacent to the track is in
Adequate Parking	х			· · · ·
Bus Loop			х	Pavement at bus loop at south entrance is in poor condition.
Playgrounds				Not present.
				There is a conflict with the shared parent drop-off loop and service/loading
Student Drop off Area		х	х	access drive.
				Landscaping at south entrance is in poor condition; recommend the addition
Landscaping			х	of a maintenance strip around the building
Irrigation Systems				N/A except some athletic fields in the district.
				New tennis courts are currently under construction. Track is in poor
				condition. Athletics facilities adjacent to the track are unsafe and need to be
Athletic fields		х		replaced.
Fencing			Х	The fence at the track is in fair/poor condition.
				There is a conflict with the shared parent drop-off loop and service/loading
Service Entrance			х	access drive.
Signage			Х	Main entrance sign is in poor condition.
				Located behind D wing - areas have electrical distribution (needs to be
Dumpster Location			х	cleaned up/safety issues). The wood screen fence at the service yard needs to
Traffic Directions		х		
Parking Lot Lighting		х		Concrete poles, fixtures have not yet been replaced with LED.
				Barrier free parking is located far from entrances. No barrier free access from
Barrier Free Access		х		the school to the track.
Concrete Pads at Exterior				landscape is overgrown and pads in poor condition; existing in-ground
Doors			х	concrete door stops to be removed

ARCHITECTURAL	Bood	tair	comments
Building Shell			
			District currently working on replacement. Existing membrane dates back to
			2001, 2003, and 2010 based on location within building. Combination of
			rubber membranes manufactured by JP Stevens, Cooley, and Firestone. Many
Roofing		х	leaks visible in ceiling tiles



ARCHITECTURAL (CON'T)	Bood	tair	po ^{ot} comments
			Some original windows have been replaced with special lite 'orange'
			storefront frames which are in good condition. Notice areas in wings.
Exterior Windows	х		Recommend replacing remaining aluminum windows.
Positive Drainage	х		
			Main entrance not well defined or visible from the street. Recommend
Defined Entry		х	relocating the main entrance and office to the Kinawa Dr. entrance (currently
Accessibility	х		
			Need to repair the coping/gravel stop facia in some areas; soffits to be
Fascia/Soffits	х		repainted
			CMU at precast panel replacement locations showing signs of water intrusion
			- further investigation needed; CMU on south wall (Areas A & B) showing
			signs of water penetration below the window. Additions in northernmost
			wing not impressed with quality of exterior wall construction. Brick appears
Brick / CMU	х		to be in good condition
			wall panels dirty/discolored - recommend cleaning or staining walls as
Concrete Wall Panels		х	appropriate
Metal Siding	х		Vertical metal siding dented in some locations;
Caulk Joints		х	service and replace.
Water Stains	х		present on exterior window sills, precast, aluminum framing and doors
			original hollow metal or aluminum (not thermal) - need to be replaced,
Exterior Doors		х	including overhead doors
			Hollow metal frames (from 1995 renovation) needs to be removed and
Building Entrances		х	replaced; no secure vestibule
			Insulation could be improved. Exterior walls are precast panels &
Insulation		х	CMU/Storefront (insulated and uninsulated)
			Athletics facilities adjacent to the track are unsafe and need to be
Structural		х	demolished or replaced.
			present around this school, need further investigation. (served as high school
Tunnels		х	after moving from Central campus location)

INTERIORS / FINISHES		Bood	tair	pool comments
Corridors				
				terrazzo flooring in areas - in good shape - remove adhered brick base on
				CMU walls - owner request. Carpeted areas in need of replacement. There is
Flooring		х		a large floor crack between Area F and Area C
				sagging 2x4 suspended acoustical ceiling tiles - Recommend new 2x2 ceiling
Ceiling/Walls			х	grid and tiles, brick walls need to be repainted in Area F
				should be considered for replacement - not uniform type throughout school.
Lockers		х		Original lockers rusted out at bottoms.
				Many doors scratched / chipped. Recommend selective replacement - not
Doors		х		uniform type throughout school.
Size of Corridor	х			
Flow of Corridor		х		School has wings with main corridors.
				Have issues with current fire (cross corridor) doors. Need to investigate and
Emergency Egress		х		address issues in A, B, & C wings or replace.
Locker Rooms			х	Original to this wing/addition/tired/dated/need upgrades
Interior Signage			Х	Replace with consistent wayfinding and room signage.
Classrooms				
Flooring		х		Consider replacement with upcoming bond cycle.



INTERIORS / FINISHES (CON'T)		Bood	tair	pool comments
				sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider
Ceiling			Х	new 2x2 ceiling grid
Egress Windows		х		some classrooms have exterior doors for egress.
				Replace casework in the Teachers Lounge and Art Room. Consider selective
				replacement and repair in other locations. Home Ec casework is dated and
Casework		х		should be replaced.
Marker/Chalkboards		х		
Overall Size		х		Big Spaces - Operable partitions need to be replaced.
				Many doors scratched / chipped. Recommend selective replacement - not
Doors			х	uniform type throughout school. Many doors need barrier free hardware
Classrooms adjacent to				Classrooms adjacent to cafeteria (D101, D102, & D103) in poor condition - in
Cafeteria			v	disrepair, acoustics poor, panel construction - recommend removal and
Furniture			X	
Science Labs			X	
Science Labs			Х	Operable partitions need to be replaced.
				Shape of room not conducive to efficient use, mezzanines are not barrier free
Music Rooms			Х	accessible, overflow instrument storage in corridors (poor condition)
				Original casework should be replaced, recommend replacement of
Home Ec			Х	suspended tectum ceilings, flooring to be replaced
Toilet Rooms				
Fixtures Operational		х		
Toilet Partitions	Х			
Walls	х			Wall tile
Floors	х			Epoxy poured in place.
Floor Drains		х		
Lighting		х		
Ceilings	х			Hard drywall lids (peeling paint/stains)
Mirrors		х		
		~		Some have been updated but some are outdated and in need of ADA
ADA Accessible		х		compliance.
General Note		X		Some toilet rooms have been remodeled
Gymnasium		~		
Size	х			This auditorium is an appropriate size for a middle school
5126	^			existing wood floors need to be replaced (district already in progress with
Flooring			v	
Flooring			х	scheduling this work ahead of bond).
Walls/Ceilings		х		walls & ceilings need to be repainted
1 indus				Light fixtures replaced as part of LED bulb replacement funds/speakers
Lights		Х		added.
				Need ventilation; one main gym/one aux gym connected to main gym and
HVAC			Х	old pool turned into new gym.
Daylight			Х	no natural light - perimeter windows/translucent panels not present.
				Side hoops not glass, wall pads should be extended beneath the baskets
Gym Equipment		х		(both gyms)
				Hollow metal doors dented and in poor condition - recommend replacement.
Doors			х	No barrier free hardware.
Size of Corridor	х			Corridor/Lobby area outside of gym recently renovated
				need to operate and test function. Appearance looked dated, replacement
Bleachers		х		should be considered. No bleachers present in aux gym (old pool) location.
Egress	х			
Locker Rooms				In good condition, paint touch up needed, original (26 years old)
Weight Room	х			recently renovated
				All new finishes / sheet good flooring - good condition; consider alternative
Auxiliary gym (old pool)				wall panels for acoustics.
Cafeteria				
				Needs to be replaced - cracking/separation present (district already
Flooring			х	underway with repairs).
			^	unuci way with repairs).



INTERIORS / FINISHES (CON'T)		Bood	tair	
Ceilings/Walls		x		Recommend replacement of the suspended tectum ceiling & grid. Walls need to be painted.
				This cafeteria has classrooms present within the space, toilet rooms within
Accessibility		х		the space, and interior access to the kitchen.
				upgrade. Retrofit bulb replacements being completed. Fixtures will need to
Lighting		Х		be replaced - not efficient, not high performing.
Seating size	X			district purchasing new tables/chairs/seating.
		Х	v	need more seating to accommodate occupancy.
Daylight			х	Recommend removing classrooms on west side to allow exterior exposure Exterior doors need to be replaced. Some doors do not have barrier free
Doors			х	hardware.
Offices			^	
Flooring		х		Carpet; consider replacement
Furniture		~	х	remove and replace.
				sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider
Ceilings/Walls			х	new 2x2 ceiling grid; repaint walls
<u> </u>				Wood doors - recommend selective replacement, recommend replacing
				hardware with barrier free hardware; storefront entrance dated -
Doors		х		recommend repainting or replacement
Paging			х	replace
Master Clock			Х	replace
Phone System			Х	replace
Lighting			Х	replace
Copy/Work Room			Х	Flooring, ceiling, and casework to be replaced
Coffee Break Area			Х	Combined with workroom
Bathroom(s)			Х	Toilet room needs to be updated
Visibility			Х	poor visibility to the main entrance
Media Center				
Size				no issues noted.
Flooring		х		Powerbond carpet, mid-nineties
Lighting	Х			
Doors		х		
Ceilings	Х			Paint/drywall/CMU ceiling pads and grid.
Acoustics				no issues noted
Casting				dated tables and chairs. Chairs and tables not appropriately sized for each
Seating		X		other.
Shelving Kitchon		Х		dated, but appeared functional.
Kitchen	_			200 deile student models comed. Evil comics liteban et this school. Issues with
				300 daily student meals served. Full service kitchen at this school. Issues with
				exterior receiving area. No dock area. No ability to turnaround full size semi
Drogram				trailer. This location needs redesign/reformat this area for multiple reasons.
Program				Building has tunnels and basement below grade.
				JRA to provide list for selecting new equipment. All items need to be
Equipment		v		considered from replacement. School plumbing is old and new supply lines
Equipment		х		for domestic/gas/sanitary would be needed.
				Currently gypsum ceiling below tectum roof deck. Cafeteria ceiling has (2
				layers/levels) has upper tectum roof deck and lower tectum panels mounted
Coilings			v	to bottom of steel flanges. Install new drop ceiling with food service grade
Ceilings Cooler/Freezer			X	ceiling tiles. Need new diffusers and grills
			х	Present - but old and should be replaced.
Floors			v	6x6 tile and rubber base. Drains/sinks/traps/ all need to be cleaned,
Floors			Х	maintained, serviced.



INTERIORS / FINISHES (CON'T)		800d	fair	sont comments
				Receiving area attached to new west elevation bus loop service drive. No
				receiving dock. Need to add large entry for delivery/receiving/unloading. No
Delivery Space			х	covered protection currently.
				Lacking adequate storage space. Storage room too small. Mark Fargo
				suggested utilizing current outdoor maintenance storage room with garage
Storage Space				door for adding new walk-in units. Expand space beyond boiler room for
Storage Space Kitchen Hood			X	more storage/new receiving and maintenance area.
			х	Hood present. Old. Replace.
Serving Line		v		Compact space - not fully functional. (2) lines presently. Reuse service food
Electrical		x x		service casework, possibility. No issues noted - such as too few outlets/location/breaker capacity.
Lighting		x		
Heating		^	x	Upgrade light fixtures.
Secured	х		^	Issues - new units needed per building facilities. Yes.
Fire Suppression/FA	x	_		
	^			Not present. Kitchen needs to be fully renovated. Remove all equipment to be
				salvaged/dispose of items not to be reused. Remove an equipment to be
Overall		x		and redesign space.
Auditorium		^		and redesign space.
Size	х			good size for middle school auditorium (old high school auditorium)
Flooring	^	_	x	Stage floor in fair condition, carpet to be replaced
Ceilings / walls		х	~	dated, space needs to be updated
Cennigs / Walls		^		House lighting is poor, house/stage lighting control system is no longer
				supported by the manufacturer and will need to be replaced within 10 years -
				recommend ETC, no aisle lighting, walk-through lights needed (not on stage
Lighting			x	lighting control)
			~	Acoustics are poor - too much reverberation. Reconfiguration of
Acoustics			x	walls/ceilings and the addition of acoustical panels recommended
/ leoustics		-	~	Instrument storage in corridors causing emergency egress concerns, landing
Egress			x	at egress doors by stage is too shallow (per today's code)
LBI C35			~	barrier free seating in auditorium is minimal, no barrier free access to the
Accessibility			x	stage from the auditorium
recessioney			~	practice rooms on mezzanine are not barrier free accessible, band lockers in
Aux Rooms			х	corridors - fire code violation, poor condition,
				Recommend replacement, narrow doors for auditorium access - does not
Doors			х	meet barrier free standards (width & hardware).
				Original seats do not meet current barrier free requirements; functional but
Seating			x	dated
				Appears to be original speakers/lights in place, recommend updates; lighting
				console are sufficient but dated, no LED stage light fixtures, recommend new
AV / stage lighting systems		x		projector and screen no direct access to control booth from auditorium
Mechanical		x		Just added new RTUs for this space
				Not adequate - room shape inefficient, mezzanine practice rooms
Support Spaces			х	impractical, rooms are aged and should be replaced
Senior Center				
				District maintains this space in conjunction with users. Dedicated entrance
Size				and parking on the east side of school
5128	Х			
	x	х		
Flooring Ceilings	X	X X		carpet; should be considered for replacement Suspended tectum ceiling panels.



INTERIORS / FINISHES (CON'T)	Bood	Fair	pool comments
Doors		х	Not all doors have barrier free hardware, recommend replacement
			located in Unit C - district responsible for repairs / decent shape / dated but
General Note			functional

MECHANICAL	/	Bood	fair	pod comments
Heating Source and				Building is served by two boiler rooms with two 1,000 MBH boilers in each.
Condition		х		Boilers replaced in 2010 and 2013.
				Pumps replaced in 2010 and 2013. No issues with piping. (2) 150 gpm @ 65'
Heating Pumps and Piping		х		HD.
Cooling Source and				Parts of the building served by DX cooling (gyms and auditorium are not
Condition		х		cooled)
Cooling Pumps and Piping				N/A.
Terminal Devices		х		(36) Horizontal unit vents serve classrooms.
				20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19),
				Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room
				(2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000
				cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5
				ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm
				AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU,
AHUs and RTUs		х		(1) 3 ton RTU
				All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm
				EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2)
Ventilation			х	2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF
Building Management				Older Trane SC with partial pneumatics in the building.
System/Controls			х	
Domestic Water Piping		х		If system sits over the summer rusting occurs. Have some main breaks.
				Sectioned together in 60's and 70's. Known to have backups from Township -
Sanitary Piping		х		backup in gym (rubber floor), boiler room floods in big rains.
				85 gallon, 365 MBH water heater installed in '15, 100 gallon, 200 MBH water
Water Heaters		х		heater installed in '08.
				Plumbing fixtures are in decent condition. Some drinking fountains replaced
Plumbing Fixtures		х		with electric water coolers with bottle fillers.
				Area of building adjacent to the Auditorium is sprinkled (1995 renovation).
Fire Protection			х	Area B. The rest of the building is non-sprinkled.
Pool equipment				N/A.
				Tunnels may have asbestos - need to inspect/confirm - district needs to
				provide latest compliance/inspection report. Discussed areaways around
Mechanical Tunnels			х	perimeter of building/dangerous/closed off/ventilation issues.

ELECTRICAL	BOOM	fair	pool comments
			Building is served by two transformers. Need to replace the services and
Transformer size		х	combine into one.
			The primary services are outside and overgrown with weeds. The exterior
Primary/Secondary Service		х	setup is extremely dangerous. Need to replace and bring indoors.
Generator			N/A
Occupancy Sensors			N/A
Lighting Control System		Х	Toggle switches. Needs to be replaced.
			All of the panels are original to the building and degraded. Most of them
Panels		х	should be replaced. It will likely be difficult to find breakers for them.
Panel Clearance		х	
Exit Signs		х	Exit signs are very old and letters are dim.



ELECTRICAL (CON'T)	BOOD	tair	poor	comments
Fire Alarm	х		Siemen	s (strobe & horn). Not complete in fine arts

TECHNOLOGY		Bood	fair	pool comments
				Rooms are sharing space with electrical, janitorial equipment, mop sinks
IT Rooms			Х	and/or storage. Rooms are sprinkled. Need AC installed.
Fiber Optic Cabling				Older single mode fiber between buildings, multimode between IT rooms,
(between buildings/IT				some CAT6 tie lines between racks.
rooms)		х		
Data Cabling (within				CAT 6 cabling. Switches were upgraded recently.
buildings)	х			
				Need to update paging for the district. Paging speakers not loud enough in
Bells/Paging System			х	gyms/large spaces.
				There is no synchronized clock system. Some satellite clocks and digital
Clock System			х	signage running software to display time.
Classroom Audio/Video				Standard throw projectors being replaced with 75" interactive displays. Plan
Systems	х			to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video				Audio for gyms needs upgrade. One gym has no audio system. Auditorium
Systems			х	needs new AV and lighting systems and acoustic treatment.
Security Camera System			Х	Need to update Sony cameras and VMS (currently exacqvision software)
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt
Access Control System		х		SMS.



BUDGET DETAIL

Facility Assessment Cost Detail by Building

2/18/2022

	1				Acres:		7 Idle Schoo			
	Chippewa Middle School - Sitework									
	Description	Quantity	UOM		Unit Cost	٦	otal Cost			
Sitework	SITEWORK					\$				
Drainage	Having issues with township backups (large stormwater events). Property sees	I	ALLOW	\$	150,000.00	\$	150,0			
	back-ups floods from downstream within the system.									
Asphalt Parking/ Drives	Main parking lot pavement is in good condition (resurfaced 10 years ago). Some		see item b	elow		\$				
	curbs need to be repaired.									
Asphalt Parking/ Drives	Asphalt paving	\$								
Concrete Curbs	Concrete curbs - assume 25% remove and replace	1,000	LF	\$	35.00	\$	35,			
Sidewalks	Concrete sidewalks at the following locations are in cracked and in poor		see items l	below		\$				
	condition: west of loading dock, south of the gym, at south entrance, and adjacent									
	to bus loop and parent drop-off. Asphalt adjacent to the track is in fair condition.									
Asphalt Parking/ Drives	Remove & replace asphalt paving near track	I	ALLOW	\$	25,000.00	\$	25,			
Sidewalks	Sidewalks - remove & replace (assumed sf)	15,000	SF	\$	11.50	\$	172,			
Sidewalks	Track resurfacing Assume partial patch & resurface/restripe (exclude remove &	45,000		\$	4.00	\$	180,			
	replace asphalt)	·								
Adequate Parking			assume wo	ork not	required	\$				
Bus Loop	Pavement at bus loop at south entrance is in poor condition:		see items l	below	-	\$				
Bus Loop	Remove & replace asphalt paving	16,200	SF	\$	6.39	\$	103,			
Bus Loop	Sidewalks - remove & replace (assumed sf)	3,000	SF	\$	11.50	\$	34			
Bus Loop	Striping and signage	16,200	SF	\$	0.14	\$	2,			
Bus Loop	Remove & replace concrete curbs	1,100	LF	\$	30.00	\$	33,			
Bus Loop	Adjust storm structures	8	EA	\$	800.00	\$	6,			
Bus Loop	Site restoration/landscaping	1	LS	\$	5,000.00	\$	5,			
Playgrounds	Not present.		assume wo	ork not	required	\$				
Student Drop off Area	There is a conflict with the shared parent drop-off loop and service/loading	I	ALLOW	\$	300,000.00	\$	300,			
	access drive.									
Landscaping	Landscaping at south entrance is in poor condition.	I	LS	\$	35,000.00	\$	35,			
Irrigation Systems	N/A except some athletic fields in the district.		assume wo	ork not	required	\$				
Athletic fields	New tennis courts are currently under construction. Track is in poor condition.		no work a	t tennis	court	\$				
	Athletics facilities adjacent to the track are unsafe and need to be replaced.									
Athletic fields	Remove athletic facility	1	ls	\$	15,000.00	\$	15,			
Athletic fields	Construct new athletic facility	1	ls	\$	150,000.00	\$	150,			
Athletic fields	Remove/replace concession stand	600	SF	\$	400.00	\$	240			
Athletic fields	Track resurfacing - see item above		see item a	bove		\$				
Fencing	The fence at the track is in fair/poor condition.	2,000	LF	\$	35.00	\$	70			
Service Entrance	There is a conflict with the shared parent drop-off loop and service/loading		same drop	-off iter	n above	\$				
	access drive.									
Signage	Main entrance sign is in poor condition.	1	ls	\$	35,000.00	\$	35,			
Dumpster Location	Located behind ${\sf D}$ wing - areas have electrical distribution (needs to be cleaned	I	LS	\$	15,000.00	\$	15,			
	up/safety issues). The wood screen fence at the service yard needs to be replaced.									
Dumpster Location	Electrical service		see buildin	ī —		\$				
Dumpster Location	Wood fence - remove & replace	100	lf	\$	200.00	\$	20,			
Traffic Directions			assume wo	ork not	required	\$				
Parking Lot Lighting	Concrete poles, fixtures have not yet been replaced with LED.		assume by	owner		\$				
Retaining Walls			assume wo	ork not	required	\$				
Barrier Free Access	Barrier free parking is located far from entrances. No barrier free access from	I	ls	\$	50,000.00	\$	50			
	the action of the twenty		1	1						
	the school to the track.					\$				



712 students	2			G	iross Area:		196,000
	Chippewa Middle School - Building In	nproveme	nts			Mid	dle School
	Description	Quantity	UOM		Unit Cost	т	otal Cost
	BUILDING SHELL					\$	-
Roofing	District currently working on replacement. Existing membrane dates back to	196,000	SF	\$	28.00	\$	5,488,00
	2001, 2003, and 2010 based on location within building. Combination of rubber						
	membranes manufactured by JP Stevens, Cooley, and Firestone. Many leaks visible						
	in ceiling tiles						
Exterior Windows	Some original windows have been replaced with special lite 'orange' storefront	28,117	SF	\$	95.00	\$	2,671,11
	frames which are in good condition. Notice areas in wings. Recommend replacing						
	remianing aluminum windows.						
Positive Drainage			assume wo	ork not r	equired	\$	-
Defined Entry	Main entrance not well defined or visible from the street. Recommend relocating		see item b	elow		\$	-
	the main entrance and office to the Kinawa Dr. entrance (currently bus entrance)						
Defined Entry	Move front office from west elevation to south elevation		consider a	s an impi	rovement	\$	-
Defined Entry	Add new canopy at south main entrance		consider a	s an impi	rovement	\$	-
Accessibility			assume wo	ork not r	equired	\$	-
Fascia/Soffit	Need to repair the coping/gravel stop facia in some areas; soffits to be repainted -	5,110	LF	\$	65.00	\$	332,1
	assume remove/replace coping/blocking, paint soffit						
Brick / CML	CMU at precast panel replacement locations showing signs of water intrusion -	1	ALLOW	\$	200,000.00	\$	200,0
	further investigation needed; CMU on south wall (Areas A & B) showing signs of						
	water penetration below the window. Additions in northernmost wing not						
	impressed with quality of exterior wall construction. Brick appears to be in good						
	condition - assume patch and repair						
		78,320	с г	\$	2.00	\$	156.6
Concrete vvali Panels	Wall panels dirty/discolored - recommend cleaning or staining walls as approprate	78,320	55	Þ	2.00	Þ	150,0
Matel Cidia				¢	35,000.00	¢	25.0
	Vertical metal siding dented in some locations;	1	ALLOW	\$		\$ \$	35,0
Caulk Joints	service and replace.	78,320	SF	\$	0.75	\$	58,7
) M (70 220	CT.	¢	0.20	*	15.4
	present on exterior window sills, precast, aluminum framing and doors	78,320		\$	0.20	\$	15,6
Exterior Doors	Original hollow metal or aluminum (not thermal) - need to be replaced, including	44	EA	\$	8,000.00	\$	352,0
	overhead doors	20		¢	0.000.00	¢	1/0/
	Aluminum doors at classrooms	20		\$ \$	8,000.00	\$	160,0
	FRP doors at main entry vestiubles - exterior	28 26		•	8,000.00	\$	224,0
	FRP doors at main entry vestiubles - interior	26	N 1	\$	8,000.00	\$ \$	208,0
building Entrances	Hollow metal frames (from 1995 renovation) needs to be removed and replaced;		see item b	elow		Þ	-
Duilding Fatanan	no secure vestibule	960	SF	\$	75.00	\$	72,0
, i	HM sidelites/transoms	700	LS	\$ \$	20,000.00	۰ ۶	20,0
Exterior Lighting	exterior building-mounted lighting allowance	1	LJ	φ	20,000.00	Ъ.	20,0
Inculation	Insulation could be improved. Exterior wells are present panels & CMI l/Storefront	50,000	CE	\$	15.25	\$	762,5
Insulation	Insulation could be improved. Exterior walls are precast panels & CMU/Storefront	50,000	эг	Ð	15.25	Ъ.	762,5
	(insulated and uninsulated)						
Structura	Athletics facilities adjacent to the track are unsafe and need to be demolished or		moved to	l site athle	tic fields	¢	
Sti uctui a	replaced.		moved to	site atilie	euc neids	φ	-
	replaced.						
Cenucatum			moved to	site athle	atic fields	\$	
	Remove/replace concession stand		moved to			Ψ	-
	Remove/replace concession stand		accume car		III III SILE WOIK		
Structura	Remove/replace press box		assume sar	1	100 000 00	¢	100.0
Structura	Remove/replace press box present around this school, need further investigation. (served as high school after	1	assume sar ALLOW	\$	100,000.00	\$	100,0
Structura	Remove/replace press box	I		1	100,000.00		
Structura	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location)	1		1	100,000.00	\$	
Structura Tunnels	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS		ALLOW	\$		\$ \$	-
Structura Tunnels	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building	196,000	ALLOW SF	1	100,000.00	\$ \$ \$	
Structura Tunnels G Corridors	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors	196,000 30,095	ALLOW SF SF	\$	1.50	\$ \$ \$	294,0
Structura Tunnels S Corridors Lighting	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement	196,000 30,095 30,095	ALLOW SF SF SF	\$ \$ \$ \$	1.50	\$ \$ \$ \$ \$ \$ \$	294,0 - 225,7
Structura Tunnels ; Corridors Lighting Mechanical Diffusers	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings	196,000 30,095	ALLOW SF SF SF SF SF	\$ \$ \$ \$ \$	1.50	\$ \$ \$ \$ \$ \$	294,0 - 225,7
Structura Tunnels ; Corridors Lighting Mechanical Diffusers	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU	196,000 30,095 30,095	ALLOW SF SF SF	\$ \$ \$ \$ \$	1.50	\$ \$ \$ \$ \$ \$ \$	294,0 - 225,7
Structura Tunnels ; Corridors Lighting Mechanical Diffusers	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large	196,000 30,095 30,095	ALLOW SF SF SF SF SF	\$ \$ \$ \$ \$	1.50	\$ \$ \$ \$ \$ \$	294,0 - 225,7
Structura Tunnels S Corridors Lighting Mechanical Diffusers Flooring	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C	196,000 30,095 30,095 30,095	ALLOW SF SF SF SF see items I	\$ \$ \$ \$ \$ \$	1.50 7.50 0.45	\$ \$ \$ \$ \$ \$	294,0 - 225,7 13,5
Structura Tunnels S Corridors Lighting Mechanical Diffusers Flooring Flooring	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C Remove brick base	196,000 30,095 30,095	ALLOW SF SF SF SF SE see items I	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 7.50 0.45	\$ \$ \$ \$ \$ \$ \$	294,(- 225,7 13,5 50,0
Structura Tunnels S Corridors Lighting Mechanical Diffusers Flooring Flooring Flooring	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C Remove brick base Terrazzo floor patching allowance	196,000 30,095 30,095 30,095 5,000	ALLOW SF SF SF SF see items I LF ALLOW	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 7.50 0.45 10.00 5,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	294,(- 225,7 13,5 50,0 5,0
Structura Tunnels S Corridors Lighting Mechanical Diffusers Flooring Flooring Flooring Flooring Flooring	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C Remove brick base Terrazzo floor patching allowance Remove/replace carpet - assume 50% area	196,000 30,095 30,095 30,095 5,000 1 15,048	ALLOW SF SF SF See items I LF ALLOW SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 7.50 0.45 10.00 5,000.00 7.06	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	294,0 - 225,7 13,5 - - - - - - - - - - - - - - - - - - -
Structura Tunnels S Corridors Lighting Mechanical Diffusers Flooring Flooring Flooring Flooring Flooring	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C Remove brick base Terrazzo floor patching allowance Remove/replace carpet - assume 50% area Sagging 2x4 suspended acoustical ceiling tiles - Recomend new 2x2 ceiling grid and	196,000 30,095 30,095 30,095 5,000	ALLOW SF SF SF See items I LF ALLOW SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 7.50 0.45 10.00 5,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	294,0 - 225,7 13,5 - - - - - - - - - - - - - - - - - - -
Structura Tunnels S Corridors Lighting Mechanical Diffusers Flooring Flooring Flooring Flooring Ceilings/Walls	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C Remove brick base Terrazzo floor patching allowance Remove/replace carpet - assume 50% area Sagging 2x4 suspended acoustical ceiling tiles - Recomend new 2x2 ceiling grid and tiles, brick walls need to be repainted in Area F	196,000 30,095 30,095 30,095 5,000 1 15,048 30,095	ALLOW SF SF SF SF see items I LF ALLOW SF SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 7.50 0.45 10.00 5,000.00 7.06 12.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	100,0
Structura Tunnels S Corridors Lighting Mechanical Diffusers Flooring Flooring Flooring Flooring Ceilings/Walls	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C Remove brick base Terrazzo floor patching allowance Remove/replace carpet - assume 50% area Sagging 2x4 suspended acoustical ceiling tiles - Recomend new 2x2 ceiling grid and tiles, brick walls need to be repainted in Area F should be considered for replacement - not uniform type throughout school.	196,000 30,095 30,095 30,095 5,000 1 15,048	ALLOW SF SF SF SF see items I LF ALLOW SF SF	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 7.50 0.45 10.00 5,000.00 7.06	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Structura Tunnels Corridors Lighting Mechanical Diffusers Flooring Flooring Flooring Flooring Ceilings/Walls Lockers	Remove/replace press box present around this school, need further investigation. (served as high school after moving from Central campus location) INTERIORS Paint/refresh entire building Corridors Assume lights new with ceiling replacement Assume grilles/diffusers new with ceilings Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C Remove brick base Terrazzo floor patching allowance Remove/replace carpet - assume 50% area Sagging 2x4 suspended acoustical ceiling tiles - Recomend new 2x2 ceiling grid and tiles, brick walls need to be repainted in Area F	196,000 30,095 30,095 30,095 5,000 1 15,048 30,095	ALLOW SF SF SF SF see items I LF ALLOW SF SF SF EA	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	1.50 7.50 0.45 10.00 5,000.00 7.06 12.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	



Flow of Corridor			assume wo	rk not required	\$	-				
	School has wings with main corridors.		assume wo	ork not required	\$	-				
Emergency Egress	Have issues with current fire doors. Need to investigate and address issues in A,		see item at	oove	\$	-				
	B, & C wings.									
	Original to this wing/addition/tired/dated/need upgrades - finishes only	3,300		\$ 25.00	\$	82,500				
	Signage for entire school	196,000		\$ 0.55	\$	107,800				
Classrooms		49,800		¢ 70/	\$ \$	- 351,588				
-		Consider replacement with upcoming bond cycle. 49,800 SF \$ 7.06								
Ceilings	sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new	49,800	21	\$ 9.50	\$	473,100				
E	2x2 ceiling grid									
	did not inspect or test - some classrooms have exterior doors for egress.									
Casework	Replace casework in the Teachers Lounge and Art Room. Consider selective		see items b	Delow	\$	-				
	replacement and repair in other locations. Home Ec casework is dated and									
Comment	should be replaced. Milluseria (Trachara Lauras & Art Daars)	150		¢ 450.00	¢	(7.50)				
Casework	Millwork (Teachers Lounge & Art Room)	150	LF	\$ 450.00	\$	67,500				
Comment	Denminer fan tall ataman arkinata	20		¢ 450.00	۴	13 500				
	Premium for tall storage cabinets	30		\$ 450.00	\$	13,500				
, v	Countertop Mounted Sinks		EA	\$ 5,000.00	\$	15,000				
	Millwork - other classrooms	960	LF	\$ 450.00	\$	432,000				
	Premium for tall storage cabinets at other classrooms	384		\$ 450.00	\$	172,800				
	Millwork - science classrooms		not include		\$	-				
Marker/Chalkboards				rk not required	\$	-				
Heating			see item be	elow	\$	-				
Air-Conditioning			assume wo	ork not required	\$	-				
Daylight			assume wo	rk not required	\$	-				
Overall Size	Big Spaces - Operable partitions need to be replaced.	322	LF	\$ 440.00	\$	141,680				
Overall Size	Ceiling modifications/patching/painting at operable partitions	322	LF	\$ 75.00	\$	24,150				
Doors	Many doors scratched / chipped. Recommend selective replacement - not	145	EA	\$ 3,500.00	\$	507,500				
	uniform type throughout school. Many doors need barrier free hardware									
	replacement									
Lighting	Assume new lighting at new ceilings	49,800	SF	\$ 7.00	\$	348,600				
	Assume add diffuser with new ceilings	49,800		\$ 0.45	\$	22,500				
	Classrooms adjacent to cafeteria (D101, D102, & D103) in poor condition - in	2,080		\$ 75.00	\$	156,000				
		2,000	51	φ / 3.00	Ŷ	150,000				
Caleteria	disrepair, acoustics poor, panel construction - recommend removal and relocation									
	- renovate classrooms back to cafeteria SF	2,080	с г	\$ 125.00	\$	240.000				
•	Relocate/renovate classrooms in different location	2,080	55	\$ 125.00	Þ	260,000				
Cafeteria					¢					
General Note 2				rk not required	\$	-				
Furniture				E budget %	\$	-				
	Operable partitions need to be replaced.	160		\$ 440.00	\$	70,400				
	Ceiling modifications/patching/painting at operable partitions	160		\$ 75.00	\$	12,000				
Music Rooms	Shape of room not condusive to efficient use, mezzanines are not barrier free	4	EA	\$ 15,000.00	\$	60,000				
	accissible, overflow instrument storage in corridors (poor condition)									
Homo Ec	Original associated should be replaced recommend replacement of suspended									
TIONE LC	Original casework should be replaced, recommend replacement of suspended		see items b	below	\$	-				
l'Ione Ec	tectum ceilings, flooring to be replaced		see items t	pelow	\$	-				
		180	LF	\$ 450.00	\$	- 81,000				
Casework	tectum ceilings, flooring to be replaced	180	LF		\$					
Casework Casework	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom		LF LF	\$ 450.00	\$	18,000				
Casework Casework	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC	40	LF LF EA	\$ 450.00 \$ 450.00	\$	18,000				
Casework Casework Plumbing Fixtures	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms	40 12	LF LF EA SF	\$ 450.00 \$ 450.00	\$ \$ \$	18,000 60,000				
Casework Casework Plumbing Fixtures Toilet Rooms	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms	40 12	LF LF EA SF assume wo	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required	\$ \$ \$	18,000 60,000 -				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms	40 12	LF LF EA SF assume wo	\$ 450.00 \$ 450.00 \$ 5,000.00	\$ \$ \$ \$	18,000 60,000 - -				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile	40 12	LF LF EA SF assume wo assume wo assume wo	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - -				
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Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place.	40 12	LF EA SF assume wo assume wo assume wo assume wo included w	 \$ 450.00 \$ 450.00 \$ 5,000.00 rk not required 	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - - - - - - -				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place.	40 12	LF EA SF assume wo assume wo assume wo included w included w	 \$ 450.00 \$ 450.00 \$ 5,000.00 rk not required ith ADA accessible ith ADA accessible 	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - - - - -				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place.	40 12 3,260	LF EA SF assume wo assume wo assume wo included w included w assume wo	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required irk not required ith ADA accessible ith ADA accessible rk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,00 60,00 - - - - - - - - - - -				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place.	40 12 3,260	LF EA SF assume wo assume wo assume wo included w included w assume wo SF	 \$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required ith ADA accessible ith ADA accessible irk not required \$ 2.00 	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,00 60,00 - - - - - - - - - - 2,26				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only	40 12 3,260	LF LF EA SF assume wo assume wo assume wo included w included w assume wo SF assume wo	\$ 450.00 450.00 5,000.00 rk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,00 60,00 - - - - - - - - - - - 2,26				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place.	40 12 3,260	LF LF EA SF assume wo assume wo assume wo included w included w assume wo SF assume wo	 \$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required ith ADA accessible ith ADA accessible irk not required \$ 2.00 	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - - - - - - - - - 2,260				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance.	40 12 3,260	LF LF EA SF assume wo assume wo assume wo included w assume wo SF assume wo SF	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required rk not required rk not required rk not required \$ x not requi	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - - - - - - - - - 2,260				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance. Some toilet rooms have been remodeled	40 12 3,260 1,130 3,260	LF LF EA SF assume wo assume wo assume wo included w assume wo SF assume wo SF assume wo	\$ 450.00 450.00 5,000.00 rk not required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - - - - - - - - - 2,266 - 896,500				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible General Note Gymnasium	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance. Some toilet rooms have been remodeled Gymnasium	40 12 3,260 1,130 3,260	LF EA SF assume wo assume wo assume wo included w assume wo SF assume wo SF assume wo SF	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required rk not required rk not required rk not required \$ x 10A accessible rk not required \$ 2.00 rk not required \$ \$ 275.00 rk not required \$	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,00 60,00 - - - - - - - - - - - 2,26				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible General Note Gymnasium	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance. Some toilet rooms have been remodeled Gymnasium	40 12 3,260 1,130 3,260	LF EA SF assume wo assume wo assume wo included w assume wo SF assume wo SF assume wo SF assume wo	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required rk not required rk not required rk not required \$	\$ \$ \$ \$	18,000 60,000 - - - - - - - - - - 2,266 - 896,500				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible General Note Gymnasium	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance. Some toilet rooms have been remodeled Gymnasium existing wood floors need to be replaced (district already in progress with	40 12 3,260 1,130 3,260	LF EA SF assume wo assume wo assume wo included w assume wo SF assume wo SF assume wo SF	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required rk not required rk not required rk not required \$	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - - - - - - - - - 2,266 - 896,500				
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Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible General Note General Note Flooring Size Flooring	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance. Some toilet rooms have been remodeled Gymnasium existing wood floors need to be replaced (district already in progress with scheduling this work ahead of bond). walls & ceilings need to be repainted	40 12 3,260 1,130 3,260 27,660	LF EA SF assume wo assume wo assume wo included w included w assume wo SF assume wo SF assume wo SF SF SF	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required rk not required 2.00 rk not required 2.00 rk not required 2.00 rk not required required \$ 2.00 rk not required required \$ 2.00 rk not required 4.00	\$ \$ \$ \$	18,000 60,000 - - - - - - 2,260 - 896,500 - - - - - - - - - - - - -				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible General Note General Note Flooring Lighting Lighting	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance. Some toilet rooms have been remodeled Gymnasium existing wood floors need to be replaced (district already in progress with scheduling this work ahead of bond). walls & ceilings need to be repainted	40 12 3,260 1,130 3,260 27,660	LF LF EA SF assume wo assume wo assume wo assume wo SF assume wo SF assume wo SF SF assume wo SF SF assume wo SF assume wo Assume wo SF Assume wo Assume wo	\$ 450.00 \$ 450.00 \$ 5,000.00 rk not required rk not required rk not required rk not required rk not required 2.00 rk not required 2.00 rk not required 2.00 rk not required required \$ 2.00 rk not required required \$ 2.00 rk not required 4.00	\$ \$ \$ \$	- - - - - 2,260 - - 896,500 -				
Casework Casework Plumbing Fixtures Toilet Rooms Fixtures Operational Toilet Partitions Walls Floor Drains Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible General Note General Note Flooring Lighting Lighting	tectum ceilings, flooring to be replaced Millwork - Home-EC classroom Premium for tall storage cabinets at Home-EC Countertop Mounted Sinks - Home-Ec Toilet Rooms Wall tile Epoxy poured in place. Wall tile Epoxy poured in place. Hard drywall lids (peeling paint/stains) - paint ceiling only Hard drywall lids (peeling paint/stains) - paint ceiling only Some have been updated but some are outdated and in need of ADA compliance. Some toilet rooms have been remodeled Gymnasium existing wood floors need to be replaced (district already in progress with scheduling this work ahead of bond). walls & ceilings need to be repainted Light fixtures replaced as park of LED bulb replacement funds/speakers added.	40 12 3,260 1,130 3,260 27,660 27,600	LF LF EA SF assume wo assume wo assume wo assume wo SF assume wo SF assume wo SF SF assume wo SF SF assume wo SF assume wo Assume wo SF Assume wo Assume wo	\$ 450.00 \$ 450.00 \$ 5,000.00 In the second secon	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	18,000 60,000 - - - - - 2,260 - 896,500 - - - - - - - - - - - - -				



Gym Equipment	Side booss not doss wall pads should be extended beneath the baskets (both		SF		\$	
	Side hoops not glass, wall pads should be extended beneath the baskets (both gyms)		55		Þ	-
Gym Equipment		720	SF	\$ 9.00	\$	6,480
	Basketball backstops	2	EA	\$ 7,500.00	\$	15,000
	Hollow metal doors dented and in poor condition - recommend replacement. No	14	EA	\$ 3,500.00	\$	49,000
	barrier free hardware.			• • • • • • • • • • • • • • • • • • • •	•	
Size of Corridor	Corridor/Lobby area outside of gym recentally renovated	\$	_			
	need to operate and test function. Appearance looked dated, replacement should	1,500		rk not required \$ 200.00	\$	300,000
Dieachers		1,500	52/(15	÷ 200.00	Ψ	500,000
	be considered. No bleachers present in aux gym (old pool) location.					
Egress				rk not required	\$	-
Locker Rooms	Locker Rooms	15,500				
	In good condition, paint touch up needed, original (26 years old)	15,500	SF	\$ 5.00	\$	77,500
-	recently renovated					
Walls/Ceilings			with item a		\$	-
General Note	Original auxiliary gym location - filled in pool / all new finishes / sheet good		assume wo	rk not required	\$	-
	flooring not wood / odd wall panels used for sound absorbing materials.					
Cafeteria	Cafeteria	6,200	SF		\$	-
Flooring	Needs to be replaced - cracking/separation present (district already underway		work by ov	wner	\$	-
	with repairs).					
Ceilings/Walls	Recomend replacement of the suspended tectum ceiling & grid. Walls need to be		see items b	below	\$	-
	painted.					
Ceilings/Walls	Remove & replace tectum panels - cafeteria	6,200	SF	\$ 22.00	\$	136,400
Ceilings/Walls	Remove & replace tectum panels underside metal deck - cafeteria		excluded		\$	
Ceilings/Walls	New ACT - cafeteria	6,200	SF	\$ 9.50	\$	58,900
Ceilings/Walls	Paint walls - cafeteria	6,200	SF	\$ 2.00	\$	12,400
HVAC	Remove/reinstall ductwork (to access tectum underside metal deck) - New	6,200	SF	\$ 5.65	\$	35,000
	diffusers					
Accessibility	This cafeteria has classrooms present within the space, toilet rooms within the		assume wo	rk not required	\$	
,	space, and interior access to the kitchen.					
Lighting	upgrade. Retrofit bulb replacements being completed. Fixtures will need to be	6,200	SF	\$ 8.50	\$	52,700
0 0	replaced - not efficient, not high performing.	.,	-	•	•	
Seating	district purchasing new tables/chairs/seating.		assume wo	rk not required	\$	-
	need more seating to accommodate occupancy.			rk not required	\$	-
Air-Conditioning	······································			ork not required	\$	-
	Recommend removing classrooms on west side to allow exterior exposure			rk not required	\$	-
	Exterior doors need to be replaced. Some doors do not have barrier free		see buildin		\$	-
	hardware.				•	
General Note			not applica	ble	¢	-
					3	
Offices	Offices	4,000			\$ \$	-
Offices		,	SF		\$	
Offices Flooring	Carpet; consider replacement	4,000 4,000	SF SF	\$ 7.06		
Offices Flooring Furniture	Carpet; consider replacement remove and replace.	4,000	SF SF owner FF&	\$ 7.06 E budget %	\$ \$ \$	28,240
Offices Flooring Furniture	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new		SF SF owner FF&	\$ 7.06	\$ \$	28,240
Offices Flooring Furniture Ceilings/Walls	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window.	4,000	SF SF owner FF& SF	\$ 7.06 E budget % \$ 9.50	\$ \$ \$ \$	28,240 - 38,000
Offices Flooring Furniture Ceilings/Walls	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware	4,000	SF SF owner FF&	\$ 7.06 E budget %	\$ \$ \$	28,240 - 38,000
Offices Flooring Furniture Ceilings/Walls	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window.	4,000	SF SF owner FF& SF	\$ 7.06 E budget % \$ 9.50	\$ \$ \$ \$	28,240 - 38,000
Offices Flooring Furniture Ceilings/Walls	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware	4,000	SF SF owner FF& SF	\$ 7.06 E budget % \$ 9.50	\$ \$ \$ \$	28,240 - 38,000
Offices Flooring Furniture Ceilings/Walls Doors	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement	4,000	SF owner FF& SF EA	\$ 7.06 E budget % \$ 9.50 \$ 3,500.00	\$ \$ \$ \$	- 28,240 - 38,000 56,000
Offices Flooring Furniture Ceilings/Walls Doors Paging	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace	4,000	SF SF owner FF& SF EA see electric	\$ 7.06 E budget % \$ 9.50 \$ 3,500.00	\$ \$ \$ \$ \$	28,240 - 38,000 56,000
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace	4,000	SF SF owner FF& SF EA see electric see electric	\$ 7.06 E budget % \$ 9.50 \$ 3,500.00 cal	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - 38,000 56,000 - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace	4,000	SF SF owner FF& SF EA EA see electric see electric see electric	\$ 7.06 E budget % \$ 9.50 \$ 3,500.00 cal cal	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,24(- 38,000 56,000 - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace	4,000	SF SF owner FF& SF EA see electric see electric SF	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 cal \$ cal \$ \$ 8.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - 38,000 56,000 - - - 32,000
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace	4,000	SF SF owner FF& SF EA See electric see electric SF with item a	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 cal \$ cal \$ cal \$ bove \$	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,24(- 38,000 56,000 - - - 32,000 -
Offices Flooring Furniture Ceilings/Walls Doors Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace	4,000	SF SF owner FF& SF EA see electric see electric SF with item a with item a	\$ 7.06 E budget %	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - 38,000 56,000 - - 32,000 - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace	4,000 4,000 16 4,000 4,000	SF SF owner FF& SF EA EA see electrid see electrid see electrid SF with item a with item a	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 cal \$ cal \$ cal \$ bove \$ bove \$ bove \$	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,24(- 38,00(56,00(- - 32,00(- - -
Offices Flooring Furniture Ceilings/Walls Doors Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s)	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated	4,000	SF SF SF SF EA See electric see electric SF with item a with item a SF	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 cal	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,24(- 38,000 56,000 - - 32,000 - - - 51,25(
Offices Flooring Furniture Ceilings/Walls Doors Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance	4,000 4,000 16 4,000 205	SF SF SF SF EA EA See electric See electric See electric SF with item a with item a SF with item a	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 cal	\$ \$ \$ \$	28,24(- 38,000 56,000 - - 32,000 - - - 51,250 - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace Toilet room needs to be updated poor visibility to the main entrance Media Center	4,000 4,000 16 4,000 4,000	SF SF SF SF EA EA See electric See electric See electric SF with item a with item a SF with item a SF	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 sal	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,24(- 38,000 56,000 - - 32,000 - - 51,250 - - -
Offices Flooring Furniture Ceilings/Walls Doors Doors Paging Master Clock Phone System Lighting Copy/Work Room Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted.	4,000 4,000 16 4,000 4,000 205 3,600	SF SF SF SF EA EA See electric see electric see electric see electric SF with item a SF with item a SF with item a SF	\$ 7.06 E budget % \$ 9.50 \$ 9.50 \$ 3,500.00 \$ 3,500.00 :al	\$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Doors Paging Master Clock Phone System Lighting Copy/Work Room Copy/Work Room Scoffee Break Area Bathroom(s) Visibility Media Center Size Flooring	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace Toilet room needs to be updated poor visibility to the main entrance Media Center	4,000 4,000 16 4,000 205	SF SF owner FF& SF EA EA See electric see electric see electric see electric SF with item a SF with item a SF with item a SF SF SF SF SF SF	\$ 7.06 E budget % \$ \$ 9.50 \$ 9.50 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 8.00 bove bove bove \$ \$ 250.00 bove \$ \$ 7.06	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Doors Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted.	4,000 4,000 16 4,000 4,000 205 3,600	SF SF owner FF& SF EA EA EA See electric see electric see electric see electric see electric SF with item a SF with item a SF with item a SF SF with item a SF SF SF SF SF SF SF SF SF SF SF SF SF	\$ 7.06 E budget % E budget % \$ 9.50 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 8.00 bove	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Doors Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting Office Space	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted.	4,000 4,000 16 4,000 4,000 205 3,600	SF SF owner FF& SF EA EA EA SE electric see electric see electric see electric see electric SF with item a SF with item a SF assume wc SF assume wc assume wc	\$ 7.06 E budget % \$ E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 cal \$ cal \$ cal \$ cal \$ cal \$ cbove \$ ubove \$ ubove \$ s 250.00 ubove \$ s 7.06 rk not required \$ rk not required \$	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting Office Space Ventilation	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted.	4,000 4,000 16 4,000 4,000 205 3,600	SF SF SF SF EA EA EA EA See electric see electric SF with item a with item a SF assume wo SF assume wo assume wo assume wo	\$ 7.06 E budget % \$ E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 cal \$ cal \$ cal \$ cal \$ cbove \$ bbove \$ bbove \$ bbove \$ cbove \$ cbove \$ s 7.06 rk not required \$ rk not required \$ rk not required \$	\$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting Office Space Ventilation	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted. Powerbond carpet, mid-nineties	4,000 4,000 16 4,000 4,000 205 3,600 3,600	SF SF SF SF EA SF EA See electric see electric see electric SF with item a with item a SF SF assume wc SF assume wc assume wc	\$ 7.06 E budget % \$ \$ 9.50 \$ 9.50 \$ 3,500.00 \$ 3,500.00 :al	\$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting Office Space Ventilation Doors Ceilings/Walls	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted. Powerbond carpet, mid-nineties Paint/drywall/CMU ceiling pads and grid.	4,000 4,000 16 4,000 4,000 205 3,600	SF SF SF SF EA SF EA See electric See electric SF with item a with item a SF with item a SF assume wo SF assume wo SF assume wo SF	\$ 7.06 E budget % \$ \$ 9.50 \$ 9.50 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 cal	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Flooring Lighting Office Space Ventilation Doors Ceilings/Walls Acoustics	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted. Powerbond carpet, mid-nineties Paint/drywall/CMU ceiling pads and grid. no issues noted	4,000 4,000 16 4,000 4,000 205 3,600 3,600	SF SF SF SF EA SF EA See electric See electric See electric SF with item a with item a SF With item a SF assume wo assume wo assume wo SF assume wo SF assume wo SF assume wo	\$ 7.06 E budget % \$ \$ 9.50 \$ 9.50 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 cal	\$ \$ \$ <td>28,240 - - 38,000 56,000 - - - - - - - - - - - - - - - - - -</td>	28,240 - - 38,000 56,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting Office Space Ventilation Doors Ceilings/Walls	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted. Powerbond carpet, mid-nineties Paint/drywall/CMU ceiling pads and grid.	4,000 4,000 16 4,000 4,000 205 3,600 3,600	SF SF SF SF EA SF EA See electric See electric See electric SF with item a with item a SF With item a SF assume wo assume wo assume wo SF assume wo SF assume wo SF assume wo	\$ 7.06 E budget % \$ \$ 9.50 \$ 9.50 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 cal	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	28,240 - - 38,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting Office Space Ventilation Doors Ceilings/Walls Acoustics Seating	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted. Powerbond carpet, mid-nineties Paint/drywall/CMU ceiling pads and grid. no issues noted dated tables and chairs. Chairs and tables not appropriately sized for each other.	4,000 4,000 16 4,000 4,000 205 3,600 3,600	SF SF SF SF EA SF EA See electrid See electrid SF with item a with item a SF with item a SF SF assume wc assume wc assume wc SF assume wc owner FF&	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 cal	\$ \$ \$ \$	28,240 - - 38,000 56,000 - - - - - - - - - - - - - - - - - -
Offices Flooring Furniture Ceilings/Walls Doors Paging Master Clock Phone System Lighting Copy/Work Room Meeting Rooms Coffee Break Area Bathroom(s) Visibility Media Center Size Flooring Lighting Office Space Ventilation Doors Ceilings/Walls Acoustics Seating	Carpet; consider replacement remove and replace. sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window. Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement replace replace Toilet room needs to be updated poor visibility to the main entrance Media Center no issues noted. Powerbond carpet, mid-nineties Paint/drywall/CMU ceiling pads and grid. no issues noted	4,000 4,000 16 4,000 4,000 205 3,600 3,600	SF SF SF SF EA SF EA See electric See electric See electric SF with item a with item a SF With item a SF assume wo assume wo assume wo SF assume wo SF assume wo SF assume wo	\$ 7.06 E budget % \$ \$ 9.50 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 \$ 3,500.00 state \$ cal \$ cal \$ cal \$ cal \$ bove \$ bove \$ bove \$ bove \$ bove \$ store \$ ork not required \$ rk not required \$ rk not required \$ rk not required \$ E budget % \$	\$ \$ \$ <td>28,240 - - 38,000 56,000 - - - - - - - - - - - - - - - - - -</td>	28,240 - - 38,000 56,000 - - - - - - - - - - - - - - - - - -



Kitchen		= 200				
		5,300			\$	-
Program	300 daily student meals served. Full service kitchen at this school. Issues with		see deliver	y area below	\$	-
	exterior receiving area. No dock area. No ability to turnaround full size semi					
	trailer. This location needs redesign/reformat this area for multiple reasons.					
	Building has tunnels and basement below grade.					
Equipment	IRA to provide list for selecting new equipment. All items need to be considered	I	LS	\$ 525,000.00	\$	525,000
	from replacement. School plumbing is old and new supply lines for					
	domestic/gas/sanitary would be needed.					
Coiling	Currently gypsum ceiling below tectum roof deck. Cafeteria ceiling has (2		soo kitchor	n renovation below	\$	
Cennigs			see kitchei		Ψ	-
	layers/levels) has upper tectum roof deck and lower tectum panels mounted to					
	bottom of steel flanges. Install new drop ceiling with food service grade ceiling					
	tiles. Need new diffusers and grills					
Cillin			a a a duite a la an	renovation below	\$	
Cellings	Remove & replace tectum panels - kitchen		see kitcher	renovation below	Þ	-
Ceilings	New ACT - kitchen		see kitcher	n renovation below	\$	-
HVAC	Remove/reinstall ductwork (to access tectum underside metal deck) - New		see kitcher	renovation below	\$	-
	diffusers					
Lighting	Remove & replace/install new lighting at new ACT/tectum removal		see kitcher	renovation below	\$	-
	Present - but old and should be replaced.			pment above	\$	-
	6x6 tile and rubber base. Drains/sinks/traps/ all need to be cleaned, maintained,			renovation below	\$	
10013			see kitchei		Ψ	-
	serviced.		1.5.1		-	
	Remove & replace quarry tile flooring - kitchen			renovation below	\$	-
Delivery Space	Receiving area attached to new west elevation bus loop service drive. No		exclude ne	w addition	\$	-
	receiving dock. Need to add large entry for delivery/receiving/unloading. No					
	covered protection currently.					
Delivery Space	Sitework for new receiving area		exclude ne	w addition	\$	-
	Lacking adequate storage space. Storage room too small. Mark Fargo suggested		exclude ne		\$	
storage space			exclude ne	addion	Ť	
	utilizing current outdoor maintenance storage room with garage door for adding					
	new walk-in units. Expand space beyond boiler room for more storage/new					
	receiving and maintenance area.					
Kitchen Hood	Hood present. Old. Replace.		inc w/equi	pment above	\$	-
	Mark (building facilities director) mentioned to us that new units needed to			renovation below	\$	
			see kitchei		Ψ	
	provide heating/cooling to Kitchen and Cafeteria. Currently operating with limited					
	heat capacity and lack of fresh air turnover.					
Serving Line	Compact space - not fully functional. (2) lines presently. Reuse service food		see kitcher	n renovation below	\$	-
	service casework, possibility.					
Electrical	No issues noted - such as too few outlets/location/breaker capacity.		assume wo	ork not required	\$	-
Lighting	Upgrade light fixtures.		see kitcher	renovation below	\$	-
Heating	Issues - new units needed per building facilities. Makeup air Unit?		included in	other item	\$	-
Secured			assume wo	ork not required	\$	-
Fire Suppression/FA	Not present				\$	-
	i tot pi escita				-	
	Kitchen people to be fully reprovated. Remove all equipment to be solvaged/disperse	5 300	CE.	¢ 250.00	¢	1 3 2 5 0 0 0
Overal	Kitchen needs to be fully renovated. Remove all equipment to be salvaged/dispose	5,300	SF	\$ 250.00	\$	1,325,000
Overal	Kitchen needs to be fully renovated. Remove all equipment to be salvaged/dispose of items not to be reused. Remove floors/ walls/ceilings and redesign space.	5,300	SF	\$ 250.00	\$	1,325,000
	of items not to be reused. Remove floors/ walls/ceilings and redesign space.	-,		\$ 250.00		1,325,000
Auditorium	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine)	5,300 32,300	SF		\$	1,325,000
Auditorium	of items not to be reused. Remove floors/ walls/ceilings and redesign space.	-,				,325,000 - -
Auditorium Size	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium)	-,	SF see items t	pelow	\$	1,325,000
Auditorium Size	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine)	-,	SF	pelow	\$,325,000
Auditorium Size	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium)	-,	SF see items t	pelow	\$	-
Auditorium Size Flooring	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium)	-,	SF see items b see items b	pelow	\$	-
Auditorium Size Flooring Flooring	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet	32,300	SF see items t see items t SF	pelow	\$ \$ \$ \$	
Auditorium Size Flooring Flooring Flooring	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring	32,300 5,650 4,000	SF see items b see items b SF SF	pelow \$ 7.06 \$ 42.00	\$ \$ \$ \$	39,864
Auditorium Size Flooring Flooring Flooring Flooring Flooring	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet	32,300 5,650 4,000 17,650	SF see items b see items b SF SF SF	pelow \$ 7.06 \$ 42.00 \$ 6.50	\$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -
Auditorium Size Flooring Flooring Flooring Flooring Flooring Flooring	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing?	32,300 5,650 4,000	SF see items b see items b SF SF SF SF	selow \$ 7.06 \$ 42.00 \$ 6.50 \$ 2.50	\$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -
Auditorium Size Flooring Flooring Flooring Flooring Flooring Flooring	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet	32,300 5,650 4,000 17,650	SF see items b see items b SF SF SF	selow \$ 7.06 \$ 42.00 \$ 6.50 \$ 2.50	\$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -
Auditorium Size Flooring Flooring Flooring Flooring Flooring Ceilings/Walls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated	32,300 5,650 4,000 17,650 5,000	SF see items b see items b SF SF SF SF see items b	selow \$ 7.06 \$ 42.00 \$ 6.50 \$ 2.50 selow	\$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,000 114,72 12,500
Auditorium Size Flooring Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding	32,300 5,650 4,000 17,650 5,000 5,650	SF see items b see items b SF SF SF SF SF SF SF SF	below \$ 7.06 \$ 42.00 \$ 6.50 \$ 2.50 below \$ 70.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,000 114,72 12,500 395,500
Auditorium Size Flooring Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated	32,300 5,650 4,000 17,650 5,000 5,650 4,000	SF see items b SF SF SF SF SF SF SF SF SF	selow \$ 7.06 \$ 42.00 \$ 6.50 \$ 2.50 selow	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,000 114,72 12,500 395,500 50,000
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding	32,300 5,650 4,000 17,650 5,000 5,650	SF see items b SF SF SF SF SF SF SF SF SF	below \$ 7.06 \$ 42.00 \$ 6.50 \$ 2.50 below \$ 70.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,000 114,72 12,500 395,500 50,000
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding Stage - clean & paint includes lifts	32,300 5,650 4,000 17,650 5,000 5,650 4,000	SF see items b SF SF SF SF SF SF SF SF SF SF	selow \$ 7.06 \$ 42.00 \$ 42.00 \$ 6.50 \$ 2.50 \$ 2.50 \$ 2.50 \$ 2.50 \$ 2.50 \$ 2.50 \$ 2.50 \$ 2.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86- 168,000 114,72 12,500 395,500 50,000 158,850
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding Stage - clean & paint includes lifts Corridors & classrooms - assume ACT	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650	SF see items b SF SF SF SF SF SF SF SF SF SF SF SF	selow \$ 7.06 \$ 42.00 42.00 42.00 42.00 <td>\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$</td> <td>39,86 168,00 114,72 12,500 395,500 50,000 158,850 12,500</td>	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,500 395,500 50,000 158,850 12,500
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Ceilings Ceilings	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding Stage - clean & paint includes lifts Corridors & classrooms - assume ACT Mezzanine - exposed	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120	SF see items b SF SF SF SF SF SF SF SF SF SF SF SF SF	pelow \$ <	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,50 395,50 50,00 158,85 12,50 364,80
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Ceilings Ceilings Walls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding Stage - clean & paint includes lifts Corridors & classrooms - assume ACT Mezzanine - exposed Auditorium - acoustical panel allowance	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120 17,650	SF see items l SF SF SF SF SF SF SF SF SF SF SF SF SF	\$ 7.06 \$ 42.00 \$ 42.00 \$ 6.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 12.50 \$ 9.00 \$ 12.50 \$ 9.00 \$ 12.50 \$ 40.00 \$ 2.50 \$ 40.00 \$ 2.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 2.50 \$ 2.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,50 395,50 50,00 158,85 12,50 364,80 35,30
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Ceilings Walls Walls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding Stage - clean & paint includes lifts Corridors & classrooms - assume ACT Mezzanine - exposed Auditorium - acoustical panel allowance Adjacent spaces	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120	SF see items l SF SF SF SF SF SF SF SF SF SF SF SF SF	pelow \$ <	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,50 395,50 50,00 158,85 12,50 364,80 35,30
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Ceilings Walls Walls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium - acoustical panel allowance Auditorium - acoustical panel allowance Adjacent spaces House lighting is poor, house/stage lighting control system is no longer supported by the manufacturer and will need to be replaced within 10 years - recommend	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120 17,650	SF see items l SF SF SF SF SF SF SF SF SF SF SF SF SF	\$ 7.06 \$ 42.00 \$ 42.00 \$ 6.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 12.50 \$ 9.00 \$ 12.50 \$ 9.00 \$ 12.50 \$ 40.00 \$ 2.50 \$ 40.00 \$ 2.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 2.50 \$ 2.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,50 395,50 50,00 158,85 12,50 364,80 35,30
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Ceilings Walls Walls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium ceiling includes scaffolding Stage - clean & paint includes lifts Corridors & classrooms - assume ACT Mezzanine - exposed Auditorium - acoustical panel allowance Adjacent spaces	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120 17,650	SF see items l SF SF SF SF SF SF SF SF SF SF SF SF SF	\$ 7.06 \$ 42.00 \$ 42.00 \$ 6.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 12.50 \$ 9.00 \$ 12.50 \$ 9.00 \$ 12.50 \$ 40.00 \$ 2.50 \$ 40.00 \$ 2.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 2.50 \$ 2.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,50 395,50 50,00 158,85 12,50 364,80 35,30
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Uralls Walls Uralls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium - eiling includes scaffolding Stage - clean & paint includes lifts Corridors & classrooms - assume ACT Mezzanine - sexposed Auditorium - acoustical panel allowance Adjacent spaces House lighting is poor, house/stage lighting control system is no longer supported by the manufacturer and will need to be replaced within 10 years - recommend ETC, no aisle lighting, walk-through lights needed (not on stage lighting control)	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120 17,650	SF see items l SF SF SF SF SF SF SF SF SF SF SF SF SF	\$ 7.06 \$ 42.00 \$ 42.00 \$ 6.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 12.50 \$ 9.00 \$ 12.50 \$ 9.00 \$ 12.50 \$ 40.00 \$ 2.50 \$ 40.00 \$ 2.50 \$ 2.50 \$ 2.50 \$ 12.50 \$ 2.50 \$ 2.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,50 395,50 50,00 158,85 12,50 364,80 35,30
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Uralls Walls Uralls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium - acoustical panel allowance Auditorium - acoustical panel allowance Adjacent spaces House lighting is poor, house/stage lighting control system is no longer supported by the manufacturer and will need to be replaced within 10 years - recommend	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120 17,650	SF see items l SF SF SF SF SF SF SF SF SF SF SF SF SF	selow \$ <	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	39,86 168,00 114,72 12,50 395,50 50,00 158,85 12,50 364,80 35,30
Auditorium Size Flooring Flooring Flooring Flooring Ceilings/Walls Ceilings Ceilings Ceilings Ceilings Ceilings Uralls Walls Uralls	of items not to be reused. Remove floors/ walls/ceilings and redesign space. Auditorium (Includes Classrooms, Corridors & Mezzanine) good size for middle school auditorium (old high school auditorium) Stage floor in fair condition, carpet to be replaced Auditorium - assume carpet Stage - wood flooring Corridors & classrooms - assume carpet Mezzanine - sealed concrete/waterproofing? dated, space needs to be updated Auditorium - eiling includes scaffolding Stage - clean & paint includes lifts Corridors & classrooms - assume ACT Mezzanine - sexposed Auditorium - acoustical panel allowance Adjacent spaces House lighting is poor, house/stage lighting control system is no longer supported by the manufacturer and will need to be replaced within 10 years - recommend ETC, no aisle lighting, walk-through lights needed (not on stage lighting control)	32,300 5,650 4,000 17,650 5,000 5,650 4,000 17,650 5,000 9,120 17,650	SF see items l SF SF SF SF SF SF SF SF SF SF SF SF SF	selow \$ <	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	-



Egress	Instrument storage in corridors causing emergency egress concerns, landing at egress doors by stage is too shallow (per today's code)	I	ALLOW	\$	10,000.00	\$	10,000
Accessibility	barrier free seating in auditorium is minimal, no barrier free access to the stage from the auditorium	I	ALLOW	\$	50,000.00	\$	50,000
Aux Rooms	practice rooms on mezzanine are not barrier free accessible, band lockers in		see items l	below		\$	-
Aux Rooms	corridors - fire code violation, poor condition,	4	EA	\$	50,000.00	\$	200,00
	Enclose mezzanines/lift shaft	5,000		\$ \$	25.00	\$ \$	125,00
	Recommend replacement, narrow doors for auditorium access - does not meet		EA	.⊅ \$	3,500.00	.⊅ \$	259,00
Doors	-	/4		φ	3,500.00	Ð	239,00
	barrier free standards (width & hardware).		F A	¢	0.000.00	¢	40.00
	Remove/repalce auditorium doors	600	EA	\$ \$	8,000.00 450.00	\$	48,00
_	Original seats do not meet current barrier free requirements; functional but dated	\$	270,00				
AV / stage lighting systems	Appears to be original speakers/lights in place, recommend updates; lighting	I	LS	\$	100,000.00	\$	100,00
	console are sufficient but dated, no LED stage light fixtures, recommend new						
	projector and screen no direct access to control booth from auditorium						
AV / stage lighting systems	New projector and screen	1	LS	\$	13,500.00	\$	13,50
	Add access from auditorium to control room	1	LS	\$	150,000.00	\$	150,00
,	Just added new RTUs for this space		assume wo			•	, -
			assume wo		required		
Support Spaces	Discuss current auditorium/music/performing arts needs at this middle school and						
	consider alternatives.			_			
Senior Center	Senior Center	10,700				\$	-
Size	District maintains this space in conjunction with users. Dedicated entrance and		assume wo	ork not	required	\$	-
	parking on the east side of school						
Flooring	carpet; should be considered for replacement	10,700	SF	\$	7.06	\$	75,54
-	Suspended tectum ceiling panels.		assume wo			\$	7 0,0
					•	-	-
Lighting	Ok .		assume wo		•	\$	-
Ventilation			assume wo	ork not	required	\$	-
Doors	Not all doors have barrier free hardware, recommend replacement	23	EA	\$	1,000.00	\$	23,0
General Note	located in Unit C - district responsible for repairs / decent shape / dated but		assume wo	ork not	required	\$	-
	functional				·		
				1		•	-
						3	
	MECHANICAL	196 000	SE			\$	
Heating Source and Condition	MECHANICAL	196,000		nk not	required	\$	
Heating Source and Condition	Building is served by two boiler rooms with two boilers in each. Boilers replaced	196,000	SF assume wo	ork not	required	>	
	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013.	196,000	assume wo		-		
	Building is served by two boiler rooms with two boilers in each. Boilers replaced	196,000			-	\$	-
Heating Pumps and Piping	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013.	196,000	assume wo	ork not	required		-
Heating Pumps and Piping	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping.	196,000	assume wo	ork not	required	\$	-
Heating Pumps and Piping Cooling Source and Condition	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled)	196,000	assume wo assume wo assume wo	ork not ork not	required required	\$	-
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A.	196,000	assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required	\$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms.	196,000	assume wo assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required required	\$ \$ \$	- - - -
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media	196,000	assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required	\$ \$ \$	- - - -
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000	196,000	assume wo assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required required	\$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU	196,000 	assume wo assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required required	\$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000	196,000	assume wo assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required required	\$ \$ \$	- - - 825,00
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU,	196,000	assume wo assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required required	\$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at	196,000	assume wo assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required required	\$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU,	196,000 	assume wo assume wo assume wo assume wo assume wo	ork not ork not ork not	required required required required	\$ \$ \$	- - - -
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU		assume wo assume wo assume wo assume wo assume wo LS	ork not ork not ork not \$	required required required 825,000.00	\$ \$ \$ \$	- - - 825,00
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's,	196,000	assume wo assume wo assume wo assume wo assume wo LS	ork not ork not ork not	required required required required	\$ \$ \$	- - - -
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000		assume wo assume wo assume wo assume wo assume wo LS	ork not ork not ork not \$	required required required 825,000.00	\$ \$ \$ \$	- - - 825,0
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's,		assume wo assume wo assume wo assume wo assume wo LS	ork not ork not ork not \$	required required required 825,000.00	\$ \$ \$ \$	- - - 825,0
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000		assume wo assume wo assume wo assume wo assume wo LS	ork not ork not ork not \$	required required required 825,000.00	\$ \$ \$ \$	- - - 825,0
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000	196,000	assume wo assume wo assume wo assume wo LS SF	ork not ork not ork not \$	required required required 825,000.00	\$ \$ \$ \$	- - - 825,0
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000		assume wo assume wo assume wo assume wo LS SF	ork not ork not ork not \$	required required required 825,000.00	\$ \$ \$ \$	- - - 825,0
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm ATU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. 	196,000	assume wo assume wo assume wo assume wo LS SF	sork not ork not ork not \$	required required required 825,000.00	\$ \$ \$ \$	- - - 825.0 28,5
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. 	196,000	assume wo assume wo assume wo assume wo LS SF SF	strk not prk not prk not srk not \$ \$ \$ \$	required required required 825,000.00 0.15	\$ \$ \$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition <u>Cooling Pumps and Piping</u> <u>Terminal Devices</u> AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. If system sits over the summer rusting occurs. Have some main breaks. 	196,000	assume wo assume wo assume wo assume wo LS SF	strk not prk not prk not srk not \$ \$ \$ \$	required required required 825,000.00 0.15	\$ \$ \$ \$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition <u>Cooling Pumps and Piping</u> <u>Terminal Devices</u> AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. If system sits over the summer rusting occurs. Have some main breaks. Sectioned together in 60's and 70's. Known to have backups from Township - 	196,000	assume wo assume wo assume wo assume wo LS SF SF	strk not prk not prk not srk not \$ \$ \$ \$	required required required 825,000.00 0.15	\$ \$ \$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Sanitary Piping	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. If system sits over the summer rusting occurs. Have some main breaks. Sectioned together in 60's and 70's. Known to have backups from Township - backup in gym (rubber floor), boiler room floods in big rains. 	196,000	assume wo assume wo assume wo assume wo LS SF SF	strk not prk not prk not srk not \$ \$ \$ \$	required required required 825,000.00 0.15	\$ \$ \$ \$ \$ \$ \$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Sanitary Piping	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. If system sits over the summer rusting occurs. Have some main breaks. Sectioned together in 60's and 70's. Known to have backups from Township - 	196,000	assume wo assume wo assume wo assume wo LS SF SF	strk not prk not prk not srk not \$ \$ \$ \$	required required required 825,000.00 0.15	\$ \$ \$ \$ \$ \$ \$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Sanitary Piping Water Heaters	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. If system sits over the summer rusting occurs. Have some main breaks. Sectioned together in 60's and 70's. Known to have backups from Township - backup in gym (rubber floor), boiler room floods in big rains. 	196,000	assume wo assume wo assume wo assume wo LS SF SF	strk not prk not prk not srk not \$ \$ \$ \$	required required required 825,000.00 0.15	\$ \$ \$ \$ \$ \$ \$ \$ \$	
Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUs Ventilation Building Management System/Controls Domestic Water Piping Sanitary Piping Water Heaters	 Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. If system sits over the summer rusting occurs. Have some main breaks. Sectioned together in 60's and 70's. Known to have backups from Township - backup in gym (rubber floor), boiler room floods in big rains. 85 gal, 365 MBH WH installed in '15, 100gal, 200MBH installed in '08 	196,000	assume wo assume wo assume wo assume wo LS SF SF	strk not prk not prk not srk not \$ \$ \$ \$	required required required 825,000.00 0.15	\$ \$ \$ \$ \$ \$ \$ \$ \$	
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Heating Pumps and Piping Cooling Source and Condition Cooling Pumps and Piping Terminal Devices AHUs and RTUS Ventilation Ventilation Suilding Management System/Controls Domestic Water Piping Sanitary Piping Sanitary Piping Sanitary Piping Fire Protection Pool equipment Mechanical Tunnels	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013. Pumps replaced in 2010 and 2013. No issues with piping. Parts of the building served by DX cooling (gyms and auditorium are not cooled) N/A. Horizontal unit vents serve 36 classrooms. 20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF Older Trane SC with partial pneumatics in the building. If system sits over the summer rusting occurs. Have some main breaks. Sectioned together in 60's and 70's. Known to have backups from Township - backup in gym (rubber floor), boiler room floods in big rains. 85 gal, 365 MBH WH installed in '15, 100gal, 200MBH installed in '08 Plumbing fixtures are in decent condition. Some drinking fountains replaced with electric water coolers with bottle fillers. Area of	196,000	assume wo assume wo assume wo assume wo LS SF SF SF assume wo assume wo not applica ALLOW	sork not	required required required required 0.15 0.15 0.15 required required	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	



Facility Assessment Cost Detail by Building

2/18/2022

Primary/Secondary Service	The primary services are outside and overgrown with weeds. The exterior setup											
	is extremely dangerous. Need to replace and bring indoors.											
Generator						\$	-					
Occupancy Sensors	N/A					\$	-					
Lighting	Replace all lighting with LED? in areas above											
Lighting	Misc. areas unaccounted for	\$	186,795									
Lighting Control System	Toggle switches. Needs to be replaced.	196,000	SF	\$	1.50	\$	294,000					
Panels	All of the panels are original to the building and degraded. Most of them should be						in above					
	replaced. It will likely be difficult to find breakers for them.											
Panel Clearance						\$	-					
Exit Signs	Exit signs are very old and letters are dim.		in areas ab	ove								
Fire Alarm	Siemens (strobe & horn). Not complete in fine arts	196,000	SF	\$	0.75	\$	147,000					
Paging	replace	196,000	SF	\$	0.60	\$	117,600					
Master Clock	replace	196,000	SF	\$	0.25	\$	49,000					
Phone System	replace	196,000	SF	\$	2.00	\$	392,000					
Branch wiring		196,000	SF	\$	2.00	\$	392,000					
	TECHNOLOGY	196,000	SF			\$	-					
IT Rooms	Rooms are sharing space with electrical, janitorial equipment, mop sinks and/or		included in	n "Phone Sy	ystem" above	\$	-					
	storage. Rooms are sprinkled. Need AC installed.											
Fiber Optic Cabling (between	Older singlemode fiber between buildings, multimode between IT rooms, some		included in	"Phone S	ystem" above	\$	-					
buildings/IT rooms)	CAT6 tie lines between racks.											
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.		included in	n "Phone Sy	ystem" above	\$	-					
Bolls/Paging System	Need to update paging for the district. Paging speakers not loud enough in		included in	"Paging" a	hovo	\$						
Delis/Laging System			included in	i i aging a	luove	φ	-					
Clock System	gyms/large spaces. There is no synchronized clock system. Some satellite clocks and digital signage		included in	"Mastor (Clock" above	\$						
Clock System	, , , , , , , , , , , , , , , , , , , ,		included in	i Flaster C	LIUCK ADOVE	φ	-					
Classroom Audio/Video Systems	running software to display time. Standard throw projectors being replaced with 75" interactive displays. Plan to		assume no	work rog	uirod	\$						
Classroom Audio/video Systems	replace Lightspeed audio with Audio Enhancement systems.		assume no	work req	unea	Ð	-					
Larga Space Audio///idea	Audio for gyms needs upgrade. One gym has no audio systems. Auditorium needs		EA	\$	25.000.00	\$	25,000					
			EA	φ	23,000.00	Þ	25,000					
	new AV and lighting systems and acoustic treatment. Need to update Sony cameras and VMS (currently exacqvision software)	196,000	C.F.	\$	1.00	\$	196.000					
		196,000		Ŧ		⊅ \$	196,000					
Assess Campanal C	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.		assume no	work req	Devin	\$	-					
Access Control System	· ,											
Access Control System						\$	-					





















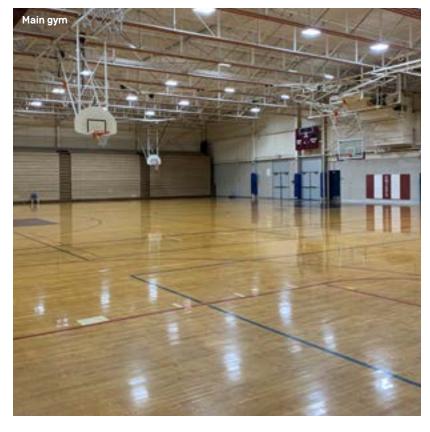
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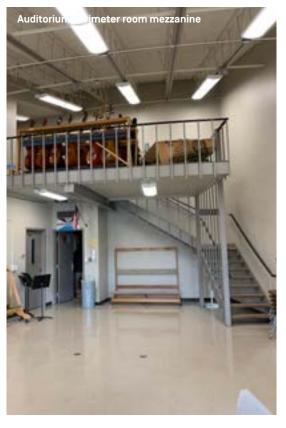
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Typical classroom entrance door

EHRISTMAN





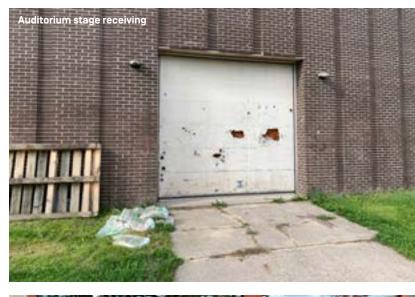




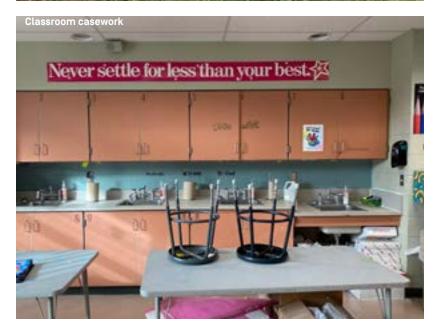


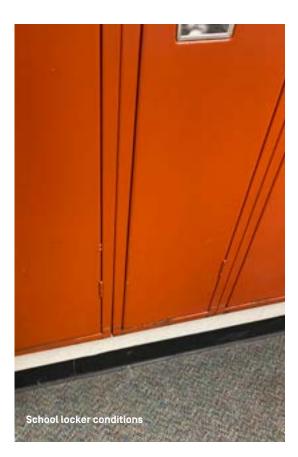
CHRISTMAN

Terret Pinkster









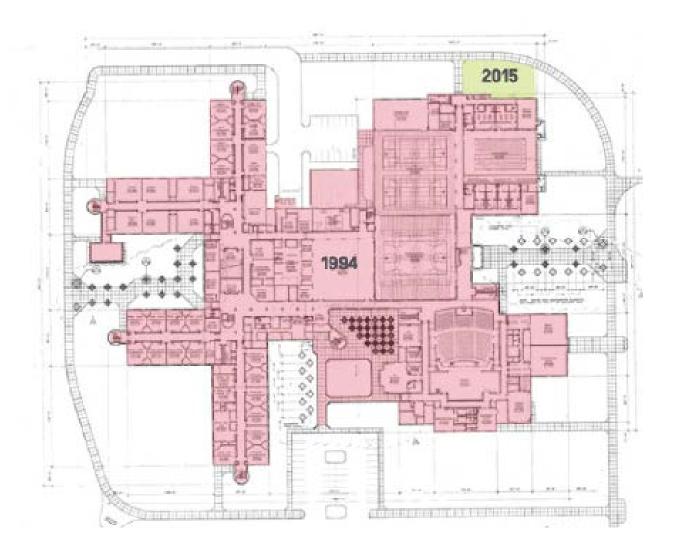


Pesser OKEMOS CHRISTMAN

OS OKEMOS HIGH SCHOOL

Use:	9-12
Built:	1994
Additions + Renovations:	2015
Total Building Area:	320,000 SF
Site Area:	89.5 Acres
Enrollment:	1,457 students
Square Footage per Student:	219.6 sf/student
Renovation Cost:	\$44,299,036
Current Replacement Value (CRV):	\$107,200,000
Facility Condition Index (FCI):	41%





Terrer Pinkster









OBSERVATION HIGHLIGHTS

SITE

Drainage issues near Door 1 and outside of auditorium. Drainage issues also present on the exterior of south elevation near service doors outside the auditorium. Site circulation needs to be reviewed to study circulation conflicts in multiple locations.

ARCHITECTURE

The high school serves as the newest building in the district. In addition to the classrooms, the school has a media center with news production center located on the 2nd floor, gym with locker rooms, large kitchen, cafeteria, auditorium with green room and stage production areas, six lane 25 meter pool with locker rooms, exterior greenhouse and additional dedicated areas for band, choir, music, and orchestra. It lacks a clearly defined main entry and/or site directional signs, with many first time visitors approaching the athletics entry incorrectly. There is no secure vestibule at the Main Office. The building features a good amount of exterior glazing, offering lots of natural light into common areas within the building. Some improvements to be evaluated for upgrades are the current condition of the large barrel gutters, replacement of exterior translucent panels near natatorium, some aluminum exterior doors could use new hardware and adjustments. The metal roofing is noted as being in good condition as it approaches an age of 30 years, just some slight fading present. There are some areas where leaks are present and they cannot find them. The maintenance staff expressed interest during our site visit exterior improvements to the main service drive, and loading located on the north elevation of the school. Some repairs or cleaning required on exterior limestone (mildew present) located around window openings on the exterior. Greenhouse in good condition, just some cleaning and masonry maintenance and repairs needed to extend the life of current products.

INTERIORS

The layout of the building is fairly well organized and easy to navigate. General classrooms are oddly shaped due to the inclusion of an underutilized small group space within the classrooms. The cafeteria is too small for the current student body and recent furniture adds have created tight circulation paths. There is a good deal of damage at the bulkheads along the perimeter of the room.

The Media Center is a nice space with borrowed light from the cafeteria and a high ceiling. The flooring should and lighting should be replaced, but it is in otherwise good condition. As a traditional library, modifications should be considered evaluating the need for book volumes vs. available student break-out space. The large size of the circulation desk should also be evaluated.

The fine arts wing is spacious and has nice access to natural light. Music and instrument storage is insufficient and located outside of the classrooms. The Auditorium may be undersized for the student population. The athletics wing is in good condition. There is some damage to the acoustic block walls in the auxiliary gym that should be repaired. The railings that define the pool spectator area, as well as the drinking fountains, are rusted and corroded.

The building features more durable finishes overall. The corridor walls are in good condition where there is DCMU and glazed CMU present. Above the lockers there are wall surfaces finished with a multi-spec coating, which is durable yet difficult to repair. Some of the classroom walls are gypsum board with a multi-spec coating and in need of repair and/or refinishing. The carpet throughout the building should be replaced. It is in particularly bad condition in the hallways as it is fairly light in color. The terrazzo at the athletics entry has scratches, scuffs, and some areas of heaving. This should be considered for re-finished and/or repair. Vinyl tile in classrooms should be replaced.





Ceilings are in good to fair condition. The ceiling panelsl are 24" x 48" in classrooms. Wood doors are in fair condition with card access throughout. Toilet rooms feature 2" x 2" porcelain tile on the floors with 4" x 4" gloss ceramic tiles on the walls. These should be considered for updates.

ADA compliant interior signs are present, but have not been properly maintained over the years as updates have been made to room use or name inserts. Wayfinding signage is only present as laminated signs created by the District.

MECHANICAL

Replace two heating hot water system pumps. Existing original 289 chiller needs to be replaced. Provide additional isolation valves on heating and cooling systems. Replace air-handling units (12,000 cfm, 8-21,000 cfm, 2-14,000 cfm, 2-34,000 cfm, 2-11,000 cfm, 30,000 cfm, 8,000 cfm, 6,000 cfm, 4-15,000 cfm). VAV boxes should be replaced with new and hydronic reheat coil in lieu of electric. All exhaust fans should be replaced. Upgrade existing DDC system. Replace plumbing fixtures with auto flush valves and faucets in the group restrooms. Pool equipment (18,000 cfm AHU and 500 MBH boiler) with associated pumps need to be replaced.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The building has two services that should be upgraded and combined into one. The majority of the existing panelboards are in fair condition. The existing fire alarm system should be upgraded.

TECHNOLOGY

The IT rooms are a shared space with janitorial mop sinks & storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a "good" condition. Overall, the High School is a relatively young building compared to many other facilities in the inventory. The site is large and presents many opportunities for placement of building additions or new structures.



DATA SHEETS

Facility Assessment Building Name

Okemos High School

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		Bood	tair	
				There is a low spot south of the building along sidewalk just outside
				Auditorium green room and scene shop. Also potential drainage issues on
				south facade by Door 1 parking lot and access drive - insufficient slope to
Drainage		х		wetland area.
Asphalt Parking/ Drives	х			
Sidewalks	Х			
				District would like to have traffic study performed at high school for further
				discussion/analysis/use of lots. Staff parking lot was full with overflow
Adequate Parking		х		parking along access drive to loading dock.
Bus Loop		х		parking lot.
Playgrounds				N/A - not present on site.
Student Drop off Area	х			
Landscaping	х			
Irrigation Systems				N/A - not present onsite.
Service Entrance			х	Drive - curb and pavement up for replacement/redesign per district requests.
Signage			Х	Poor and needs to be addressed (directional/entrance/wayfinding)
				District continuing to replace bulbs and exterior pole fixture fixtures prior to
Parking Lot Lighting		х		bond updates.
				Conflict noted between the service drive and west staff parking lot and bus
Site Circulation		х		loop organization. Site circulation needs to be reviewed.
				Curb cuts are needed at the loading dock. Dumpsters located here. Manual
				dock lift needs to be replaced. District would like to consider 'covered'
Loading Dock/Receiving			х	addition to protect employees and delivery drivers.
				located between road and main visitor entry. Hard to maintain and look
Natural/Wetland Area		х		presentable. Well installed to feed wetland area.
				Dusk to dawn operation of site lighting desired for security and monitoring.
				District request to add additional site lighting around perimeter sidewalks.
				Parking lot lighting upgrades/replacements in progress currently with
Exterior Lighting			х	facilities.
				The district would like gates located at entrance of parking lots removed.
Parking Lot Gates				Replace remaining gates.



ARCHITECTURAL		Bood	fair	comments
Building Shell				
				Combination of metal standing seam roofing and PVC membrane roof. Rubber membrane roof areas recently installed in 2007, 2008, and 2011. Combination of Carlisle/Firestone membranes. Gutters (large barrel style) are sagging and twisted. Low points appear to be in the middle of the run causing
Roofing		x		overflows and inability for water to reach downspouts. District commented on metal roof and aluminum framing finish 'looks faded'.
Exterior Windows	x			Aluminum framed / insulated glass units / interior screens and vents / integral blinds. Products all original to building. Seem to be aging and performing well. All interior and exterior glass received applied/sealed impact resistant film in 2020.
				No major leaks noticed in corridors or classrooms during walk through. Stained ceiling tiles present in areas but not sure if exterior or mechanical
Positive Drainage	x			related.
Defined Entry		x		Main entrance currently on south elevation with dedicated visitor lot. Some confusion noted from people arriving to school between whether building main entrance is south entrance OR east student/athletic entrance.
Accessibility	x			Automatic operators present at east student entrance and south visitor entrance.
				paint). Exterior soffits minimal around perimeter of building. Building maintenance having issues with west elevation courtyard entrances at B- wing. Ice dams/water runoff all described due to large roof area and valleys directing water/snow off roof above these entrances. Downspouts do exist at
Fascia/Soffits		x		these locations. (2) colors of exterior brick (installed on interior too) and limestone accent
				bands and sills. Exterior limestone needs to be cleaned and sealed (mildew growth present in multiple areas). Brick and limestone in good physical and structural condition. (30 years old) Weight room addition on NE corner of building (brick matches used here look good). Efflorescence present in areas
Brick	x			on exterior (greenhouse).
EIFS				N/A
Cast Stone sills		х		Algae or staining present, especially on north side locations
Caulk Joints	х			No failures or adhesion issues noticed on exterior walkthrough.
Water Stains	x			Water staining not noticed on walkthrough, no hard water stains noticed around exterior (no irrigation though).
				Fair to poor condition. Most are original to building construction in 1994. Hardware, hinges and door closer function should be addressed in upcoming bond work. Some parts need to be corrected or replaced. Noticed many doors with visible gaps at thresholds and along vertical door rail (latching side) during walk through. Multiple door locations look damaged due to wind (loose frames/hinges/closers) should be fixed or replaced. Doors on the north side of the building accessing the tennis courts are heavy and hard to
Exterior Doors		x		operate. Present at south visitor entrance, east student entrance, west B wing (2) small vestibules for egress). All perimeter stair towers have emergency egress exterior doors. Did see some 'reinforcement plates' fastened to
Vestibule Entries		x		aluminum framing at exterior door locations (east entrance) - high traffic area/framing should be considered for replacement.
				Good, function, bulb replacements in progress. Noticed some fixture/bulb replacements needed in soffits. District currently working through additional fixture replacements and adding additional parking lot and exterior building
Exterior Light	x			lighting ahead on bond work. Should be revisited with district in the future.



ARCHITECTURAL (CON'T)		800d	fair	pool comments
				Good condition, exterior aluminum framing and insulated glass units. No
				major signs or rust/staining on structure. Exterior brick (efflorescence) and
				limestone (mildew) should be cleaned. Function of automatic ceiling
Green House	х			operated windows needs to be verified. Light fixture should be upgraded.
				(2) exterior dock lifts (manual operation only) need to be replaced. Lifts may
				get replaced prior to bond work. Pavement in bad condition around this area.
				Mechanical units housed adjacent to this lot. Maintenance drive (curb and
Loading Dock		х		pavement) not replaced recently and could be upgraded.
				Multiple areas/rooms have skylights - time to review flashing/sealants
				condition at exterior - does maintenance work need to be addressed with
Skylights	х			upcoming bond. Further inspection should be completed by industry expert.
				No issues reported. We did noticed some interior wall CMU repair needed
Structural	х			(cracks/movement) need in some classrooms. Minimal occurrences.

INTERIORS / FINISHES		BOOD	fair	sool comments
Corridors				
				2x2 fixtures present in suspended ACT ceilings. 2x4 light fixtures present in
				ACT suspended ceilings. Linear hanging fixtures present at 2nd floor
				corridors. Lighting and ceiling upgrades would make a large impact in the
Lights			х	corridors.
				Mixture of terrazzo and carpet. Terrazzo in good condition (some cracking
				was visible and should be repaired. Carpet is worn and ready for
Flooring		х		replacement.
				Combination of gypsum bulkheads. 2x4 ACT suspended ceilings with (2x2 grid
				appearance). Tegular edge ceiling tiles present at all corridors. Ceilings are
				showing their age. Many stained tiles - investigate roof leaks in these
Ceiling/Walls		х		locations. New ceilings and fixtures would be a nice upgrade. walls need
				Original. Function seems ok. Have integrated combination locks. Recessed in
Lockers		х		wall.
				Hollow metal interior door frames (some borrowed sidelights with wired
				glass present). Wood doors with upgrade electronic locking hardware. Door
				closers need to be replaced. Interior wood doors showing age, some metal
				doors (wood look) present in school. Selective door replacement
Doors		х		recommended.
Size of Corridor	х			No issues reported, seems adequate for all corridors.
				No issues with flow - just a large school and locker vs. class location could be
Flow of Corridor	х			a long distance to cover during passing time.
				Present. All major entrances. All perimeter stairwells for both first floor and
Emergency Egress	х			second floor provide emergency egress.
Glass Transoms				N/A
				Present at south visitor entrance, east student entrance, west B wing (2)
				small vestibules for egress). All perimeter stair towers have emergency
				egress exterior doors. Did see some 'reinforcement plates' fastened to
				aluminum framing at exterior door locations (east entrance) - high traffic
Vestibules		х		area/framing should be considered for replacement.



INTERIORS / FINISHES (CON'T)		Bood	fair	peoi comments
Casework		x		Casework appears to be original. Ready for upgrade/update/function analysis.
Casework		^		Note: Lots of floor/wall/ceiling expansion joints present in all major corridors
				and classrooms. Need to be cleaned, no signs of major movement
				(expansion/contraction). Be aware that these are present for coordination
Expansion Joints		x		with future upgrades/redesign.
Drinking Fountains		~	х	Need to be replaced (some original to building)
				2nd floor science wing - acoustics with vaulted ceiling design could be
Acoustics			х	improved - high noise level.
Elevators	x			Keyed use only (3 locations present) no issues reported by facilities.
				Turret style (round) stairwells at the end of each corridor - tile flooring/
				painted steel stairs /wood handrails (could be addressed and updated) / CMU
				walls / Gypsum ceilings. Replace pendant light fixture for ease of bulb
Stairwells		х		replacement (no easy way to access currently).
Interior Signage		x		Modular acrylic signage
Classrooms				
				12x12 VCT present (good condition). Carpet present at other locations
Flooring		x		(worn/replace)
				Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses.
				Hanging linear light fixtures. Exposed MEP services. Walls need new
				look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of
				moisture problem in PE classroom wall to be investigated. Signs of roof leaks
Ceiling/walls	x			in ceiling tiles throughout building.
Windows	x			Windows are operable (integral blinds/windows/screens).
				Original. Functional and in good condition. Upgrade could make a large
Casework		x		impact.
				Some smart boards present - ok condition. Large white boards in other
				science classrooms - ok condition. Need to discuss with teachers on
Marker/Chalkboards	x			replacement/preference.
,				Issues discussed with team for science wings (west end - 1st and 2nd floors) -
				Need to perform test and balancing update / diagnosis. See radiant heat
Heat			х	present in most classrooms - need to verify performance.
				Present - district always expresses issues with controls/function/verification.
Air-Conditioning		х		Buildings could use updated TAB to help with prognosis.
Daylight	х			Good - exterior windows with integral blinds.
, , ,				Good - no issues reported. Some classrooms always seem better
				organized/layout than others. Small group room within does not seem well
Overall Size	x			utilized.
				No issues reported - original frames and doors. Door closers need
				replacement. District upgraded electronic (key fob) access recently to all
Doors		х		building - uniform across district.
				1st floor classrooms 2x4 fixtures that look to be original. Time to upgrade
Lighting			х	fixtures and lighting controls.
Heating				
				District has not mentioned during walkthroughs that power was a constraint
				or issue to be addressed going forward. Redesign/repurposing rooms may
Power Outlets	x			cause for the need to address outlet location/frequency
-				District currently upgrading presenting - space was originally
				technology/photography classrooms. Located on 1st floor (south elevation)
Bergman Suite				
Bergman Suite Desks			x	by 3d art studio and back of house audit stage corridor. Classrooms could use desk and table upgrades/replacements.



INTERIORS / FINISHES (CON'T)		BOOM	fair						
Fixtures Operational	х			Original (sinks/urinals/toilets/partitions), but functional and clean.					
Toilet Partitions	Х			Original but in good shape (minimal damage/abuse) present.					
Walls	x			Cove tile base (off-white) ; 3x3 glazed wall tile on CMU. Clean and in good shape.					
Floors	х			2x2 'teal' unglazed tile.					
Floor Drains	х			No issues reported and present in each bathroom.					
Lighting			Х	1x4 fixtures along wall above toilets/sinks/mirrors location.					
Hand Dryers				NA (usually just manual paper towel dispensers present.					
Ceilings	х			Painted Drywall ceilings. Diffusers, lights, fire suppression present.					
Mirrors		х		Original, framed mirrors could be upgraded.					
ADA Accessible	x			Yes occasionally find missing grab bars. Further review needed of bathrooms.					
Adequate Size	x			Most gang common bathrooms had (3) sinks and 5-6 toilets present at each location.					
	^			Note, Bathrooms are separated by accessible common space (small door					
				always present) in corridor at entrance. Did not walk into one of these spaces					
Janitorial Closet	x			during walkthrough.					
Gymnasium	~								
				Main Gym has wood floor (good condition). Auxiliary gym has new rubber					
Flooring	x			floor.					
Lights	Х			New fixtures in main gym.					
				No A/C presently (district wide). Need to perform TAB/Commissioning					
				update and verify function of all units. District describes moisture/humidity					
HVAC		х		problems during summer use (warm temps)					
Daylight	х			Skylights present (no leaks or issues reported).					
Gym Equipment	Х			Bleachers / hoops / padding - no issues reported.					
				Hollow metal frames and wood doors consistent. Doors need new closers					
				and adjustment. Consider replaced exterior frames. Damaged overhead door					
Doors		х		in Auxiliary Gym to be replaced					
Size	х			No issues/discussion noted.					
Diageborg				Ok - no issues reported in main gym. No bleachers present in Aux Gym or					
Bleachers	X			weight room. No issues noted.					
Egress Locker Rooms	X			Dated finishes but in good condition					
	Х			Padding present. CMU walls with acoustic block. Some damaged acoustical					
				block in the auxiliary gym needs to be replaced. Main gym has large hollow					
				metal frames and glass - with large overhead coiling fire shutters (mounted					
Walls/Ceilings	x			on gym side). Auxiliary Gym walls to be repainted.					
	^			on gym side). Adxindry Gym wais to be repainted.					
				Large space due to 2015 expansion. Equipment is dated. Organization of					
				space should be evaluated. Baseball/softball cage with synthetic turf for					
				pitching area present. Located next to aux gym. Rubber floor with mats. CMU					
				walls with padding. Vaulted ceilings with exposed MEP. Exterior aluminum					
Weight Deem				windows provide natural light. Hollow-metal frames and windows provide .					
Weight Room	X			Existing lights need to be replaced. Locker room and toilets rooms present.					
Training Paam				Small space - finishes/equipment/casework could be upgraded and updated for the school					
Training Room		Х		for the school.					
Cafeteria	v			Torrazza Good condition Maintenance seems good as well					
Flooring	Х			Terrazzo. Good condition. Maintenance seems good as well. Combination of ceiling tiles (drop ceilings) and bulkheads. Bulkheads showing					
Ceilings/Walls				some signs of water damage and/or paint peeling.					
Centrigs/ Walls				some signs of water damage dilu/of pallit peeling.					



INTERIORS / FINISHES (CON'T)		BOOD	fair	
				No issues reported. Additional tables/seating added to the cafeteria for high
				volume of student use (tight ways and access in seating areas designed to
Accessibility	х			accommodate maximum capacity).
				Lighting located in both drop ceilings (ACT) and gypsum bulkheads. Natural
Paketa.				lighting also from multiple skylights in this room. Discussed fixture types and
Lighting			Х	bulb replacement upgrades.
Casting				New tables (attached bench seating). Perimeter tables and chairs. Condition
Seating		х		is good. Quality is ok. Comfort is minimal.
				Capacity currently at 800. Having issues with capacity (2 shifts/lunch times
				currently). Over capacity both in seating and attendance. Exterior courtyard
Cine				(overflow/auxiliary location) discussed as possibility to add/enclose
Size			х	additional cafeteria space in the future.
Daylight	х			Good. Skylights and large hollow/metal perimeter frames/glazing. Hollow-metal frames and wood doors. Doors are starting to approach end of
Doors		v		life-cycle, but are in function/ok condition. Door hardware (closers) at multiple locations need to be adjusted or replaced.
Doors		х		
Faraca				(4-5) main egress locations at each corner of the cafeteria. No issues
Egress Offices	X			reported.
			v	Carpet at all locations (worn and ready for replacement).
Flooring Furniture			X X	Old/possible original - needs to be replaced.
runnture			×	Original grid and tile - time to remove and replace. Acoustic fabric
				wallcovering present at main office (remove and replace). Painted impact
Coilings/Walls		v		gypsum resistant panels present also.
Ceilings/Walls Paging		х	x	Upgrade/ original.
Master Clock			×	Upgrade/ original.
Phone System			×	Upgrade/ original.
Filone System			^	Bulb replacements (retrofits/ballasts) in process. Ceilings and fixtures should
				be replaced from a performance/efficiency/visibility/controls and function
Lighting		x		standpoint.
		^		Size is ok. Original casework. Interior room - no natural daylight. Update and
Copy/Work Room		x		upgrade.
Meeting Rooms		x		Dated. Multiple small rooms with dated finishes. Time to upgrade.
		~		Present (one room at main office). No common break areas in buildings for
				staff/teachers. Seems like rooms available in each wing for this use. Is this a
Coffee Break Area		x		need to be addressed for teachers/staff ??
Health Room w/Toilet		x		Present at main office. Dated.
		~		No issues noted. Most door hardware upgraded to prevent any issues.
				Automatic operators (interior and exterior) doors seem limited both at the
				high school and other building within the district. Do new codes mandate
Accessibility		x		more frequent locations?
				Limited at main office - we noticed this as a common theme at all schools
Visibility			х	(main office lacks visibility/welcoming appearance/no secure vestibules)
Media Center				
Size	х			Nice space (large vaulted ceilings) perimeter overlooks cafeteria.
Flooring	х			Carpet throughout. Ready for replacement.
	· ^			
	^		х	Replace fixtures/update lighting plan.
Lighting	~	x	х	Replace fixtures/update lighting plan. Finishes should be updated.
	~	x x	X	Replace fixtures/update lighting plan. Finishes should be updated. No issues reported. Time for TAB analysis though.



INTERIORS / FINISHES (CON'T)		Bood	tair	so ^{al} comments
				Large translucent panel skylights (inspect exterior condition). Roof deck,
				exposed MEP systems. No other issues reported. Combination of CMU
				(starts off finish floor - above 8 feet at vaulted ceilings seems to be EIFS
Ceilings/Walls	v			which is sound absorbing and clean. Exposed brick and limestone in good shape at structural columns.
	X			
Callery Aux Section Space		~		and news production room. Good space for to add furniture upgrades for students
Gallery - Aux Seating Space		х		News TV production/Film rooms present - space study recommended prior to
Aux Rooms		x		upgrades/redesign.
IT Room		x		Racks / Hot / address with future HVAC upgrades.
				Note - Located roof hatch in Janitor closet at the end of gallery corridor in
Roof Access		х		media center
Egress	х			No issues reported. MC is located on 2nd level - overlooking cafeteria
Auditorium				
				Auditorium is average size, auditorium manager noted the size is adequate
Size		х		for its use
Flooring		х		Carpet should be replaced, stage floor in good condition
Walls / Ceiling	х			Auditorium would benefit from updated finishes
				Appear to be original light fixtures - recommend upgrade to LED. Lighting
				dimming racks are approaching end of life and are no longer supported - will
				need to be replaced with a new/different lighting control system for house
Lighting		х		and stage lights; recommend ETC.
Acoustics		х		The room is not great for music, there is no absorption on the back wall
Control Room				No practicable access to control room outside of the auditorium, no audio
Ventilation		X		booth in open auditorium
Doors	x	х		
Seating	^	х		Functional but dated
Scating		^		Clear com and paging not working, extensive catwalk system provides
				accessibility to A/V from control room and stage, projector needs to be
				upgraded, lighting console could be upgraded soon, audio console is not user-
				friendly, speakers appear to be original and should be upgraded, recommend
AV / stage lighting systems		х		added LED lighting for stage.
				Scene shop is too small, additional storage needed; recessed orchestra pit
Support Spaces			х	does not have access from auditorium (under stage only)
				Barrier free access to stage from mid level. Access from the lower section is
Accessibility		х		difficult - lift not operating properly.
_				Auditorium entrance not visible from Event entrance, recommend
Egress		х		improvements to lobby space and signage
Choir/Band				
Size	Х			lots of room - some instrument storage present
Flooring	v			12x12 VCT in good condition. Better condition in choir room then band room.
FIOUTIN	Х			
				SAB panels present. Exterior windows (aluminum frames and glass) . Exterior
				LARGE/WIDE aluminum doors present in both rooms. Different conditions in
				band and choir rooms. Vaulted ceiling with suspended SAB panels in choir
				rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling
Ceilings/Walls	x			tiles and sound panels - ceiling could be candidate for replacement/upgrade
				Not bad, no issues reported. Music teachers not present for visit. Should be
Acoustics	x			further reviewed and discussed with district.
				Fixtures should be review for upgrades - recommend fixture/bulb/control
Lighting			х	replacements possible
Office Space				N/A
Seating	х			Risers and chairs



INTERIORS / FINISHES (CON'T)		Bood	fair	pool comments
HVAC	Í	x		perimeter radiant heat present in both rooms
				Won Doors operation should be tested at equipment storage areas outside
Fire Separation		х		band and choir rooms.
				Function of Equipment/Instrument storage area near band and orchestra
Instrument Storage		х		rooms to be reconsidered. Consider replacement.
Kitchen				
				1000 daily student meals (2 lunch periods) for high school. Baking area with
				walk-in oven produces 1200 meals daily for distribution to all other schools
				within the district. Add more sanitizing/handwashing stations per COVID
Program				protocols?
				JRA to provide list for selecting new equipment. Large dishwashing area
Equipment		х		present, but new dishwashers preferred. Kitchen has new sink disposals.
Ceilings			х	Replace with wipeable ceiling tiles. Need new diffusers and grills.
				Walk-in cooler and freezer present (30 years old). Clear/glass viewable cooler
				door. Consensus was to consider replacement of both walk-ins. Need more
Cooler/Freezer		х		freezer storage space.
				8x8 quarry tile and base. Drains/sinks/traps/ all need to be cleaned,
Floors	x			maintained, serviced.
				Receiving area attached to north elevation service drive. Dock levelers need
				to be replaced (manual operation and not covered). Receiving area at High
Delivery Space			х	School needs updates and reconfiguration
				Lacking adequate storage space. Storage room too small. Product being
Storage Space			х	stored in service corridor separating kitchen from receiving area.
Kitchen Hood	x		~	Present and large - center of kitchen with 2 sides.
Make-up Air	~			
				Multiple lines available/Compact but enough space available. Need new
				serving equipment/food service casework. JRA would like to reformat traffic
				flow/redesign area and function. Terrazzo flooring here and cafeteria. Need
Serving Line		x		ceiling updates here. New signage and presentation for users.
Electrical		X		No issues noted - such as too few outlets/location/breaker capacity.
		×	v	Upgrade light fixtures.
Lighting Secured	v		х	Yes.
Fire Suppression/FA	X			
	х			Yes, present. Fully sprinkled with fire alarm coverage. This is the 'HUB' for district production and distribution. JRA to recommend
				list of new equipment for consideration, upgrade storage room areas and
				layout. Consider delivery/receiving area, amount of storage space, transition
Overall				to recycle/compost program. Concessions for indoor events at HS utilize cafeteria and kitchen area. Items
Companying				
Concessions			Х	served at ticket booth outside Gym.
Pool				
Size		Х		6 lane 25 meter pool.
F lagaring				Tile in good condition. Upgrades/replacements needed at drinking fountains
Flooring	х			near locker room entrances.
				No signs of major rust/deterioration. Steel trusses and roof deck could be
				repainted. Paint CMU (scored block present). Tile present from floor to 8 AFF
Ceilings/walls		х		(CMU then above). Interior Aluminum frames with glass - in good condition.
				Large skylights. Large elevation of translucent panels (old/yellowed - need to
				be replaced). Ceiling fixtures pointed upward to avoid swimmer conflict.)
Lighting	x			Good overall lighting. Fixtures are new.
Equipment Storage		х		One small storage room present near north west entrance
				Tile floors and ceiling ok condition. toilet room fixtures and lockers should be
Locker Rooms		х		upgraded.
				1 · -



INTERIORS / FINISHES (CON'T)		BOOD	fair	poot comments				
Office Space				Not present.				
Ventilation	х			No issues reported. Time for TAB analysis though.				
				Hollow metal frames in ok condition but are original and approach 30 years				
Doors		х		old.				
				ADA ramps and steps present. Needs to be upgraded. Benches need to be				
				replaced. SST glass railing and handrails need to be replaced. Signs of rust				
Spectator Seating			х	visually present. CMU /concrete present at this location				
Egress	х			Emergency egress to exterior present at East elevation (2 separate locations)				
				Need to verify performance of dehumidification unit - room temperature is				
Dehumidification		х		too warm.				
Drinking Fountains			х	Chlorine damage - need to be replaced				

MECHANICAL		800d	fair	soot comments
Heating Source and				Building is served by (3) PK heating hot water boilers, 3,000 MBH each and
Condition	Х			installed in 2014.
				Building is served by (2) Taco based mounted pumps that are original. Would
Heating Pumps and Piping			Х	like more isolation valves.
				Building is served by a chilled water system. The 289-ton BAC cooling tower
Cooling Source and				was installed around 2014. The Trane chiller is original and does not work.
Condition		Х		System is fully redundant.
				Building is served by (2) Taco pumps that are original. Would like more
Cooling Pumps and Piping			Х	isolation valves.
Terminal Devices			Х	Building is served by VAV boxes with electric reheat and are original.
				Building is served by Trane VAV AHU's and are original. Office is served by a
				Trane 12,000 cfm AHU with DX cooling. Science wing electric reheat does not
				work. (8) 21,000 cfm AHU's, (2) 14,000 cfm AHU , (2) 34,000 cfm AHU, (2)
				11,000 cfm AHU, (1) 30,000 cfm AHU, (1) 8,000 cfm AHU, (1) 6,000 cfm AHU,
AHUs and RTUs		х		and (4) 15,000 cfm AHU's.
				Exhaust fans are original. (12) Science wing exhaust hoods not working. (2)
				1,500 cfm EF's, (6) 1,200 cfm EF's, (1) 600 cfm EF, (1) 200 cfm EF, and (2) 300
Ventilation			Х	cfm EF's.
Building Management				Building is served by Trane DDC BMS that is original. Recommissioning
System/Controls			Х	needed.
Domestic Water Piping		Х		No known issues.
				Building is served by a PK boiler, 2,000 MBH installed in 2007 with 500 gallon
Water Heaters		Х		storage tank.
				Plumbing fixtures are original. Group restrooms do not have auto flush
Plumbing Fixtures		х		valves.
				Building is fully sprinkled with combination wet and dry system and a 30 hp
Fire Protection		х		fire pump.
				Pool is served by 18,000 cfm Poolpak and a 500 MBH boiler. Both are
				original. Controls were redone around 2003. Have control issues. Problems
				with priming pumps once drained. Would like unit that has better service
Pool equipment			Х	availability.
				· ·

ELECTRICAL		800d	fair	comments						
Transformer size	х									
				2 services to school (one back up with auto transfer), Switchgear is burned						
Primary/Secondary Service	х			out,						





ELECTRICAL (CON'T)		Bood	fair	pool comments
Generator				There is no generator on site.
Occupancy Sensors				There are no occupancy sensors.
Lighting Control System			х	Toggle switches. Upgrade lighting system.
Panels	х			
Panel Clearance	х			Need to remove storage items.
				Lighting overall needs to be replaced. Most of the lighting is fluorescent. There is currently no emergency egress fixtures in the building. Lights in exterior soffits to be replaced. Owner would like to replace glass wall sconces
Lighting			Х	- expensive to repair.
				Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping
Fire Alarm Panels				from dust
Panels	х			

TECHNOLOGY Bood tail Bool comments								
				Most rooms are sharing space with electrical, janitorial equipment & mop				
IT Rooms			х	sinks. Rooms are sprinkled. Need AC installed.				
Fiber Optic Cabling								
(between buildings/IT				Older single mode fiber between buildings, multimode between IT rooms,				
rooms)		х		some CAT6 tie lines between racks.				
Data Cabling (within								
buildings)	х			CAT 6 cabling. Switches were upgraded recently.				
Bells/Paging System			х	Need to update paging for the district. Currently Informacast via Cisco IP phone				
				There is no synchronized clock system. Some satellite clocks and digital				
Clock System			х	signage running software to display time.				
Classroom Audio/Video				Standard throw projectors being replaced with 75" interactive displays. Plan				
Systems	х			to replace Lightspeed audio with Audio Enhancement systems.				
Large Space Audio/Video				Audio for gyms needs upgrade, mainly speakers. Rack equipment needs				
Systems			х	relocated closer to space it serves. Need new audio system for cafeteria.				
Security Camera System			Х	Need to update Sony cameras and VMS (currently exacqvision software)				
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt				
Access Control System		х		SMS.				



BUDGET DETAIL

ITEM #:	17				Acres:		9
	Okemos High School - Sitew	vork					
	.					T	otal Cost
Sitework	SITEWORK			1		\$	Juli Cost
	There is a low spot south of the building along sidewalk just outside Auditorium	1	LS	\$	25,000.00	\$	25,0
Dramage	green room and scene shop. Also potential drainage issues on south facade by		20	Ť	23,000.00	Ψ	23,0
	Door I parking lot and access drive - insufficient slope to wetland area.						
Asphalt Parking/ Drives			assume wo	ork not r	equired	\$	
Sidewalks			assume we			\$	
	District would like to have traffic study performed at high school for further		excluded r			\$	
-1	discussion/analysis/use of lots. Staff parking lot was full with overflow parking				0		
	along access drive to loading dock.						
Bus Loop	Located at west entrance/loop around and through west teacher/staff parking lot.			1		\$	
						•	
Playgrounds	N/A - not present on site.		not applica	able		\$	
Student Drop off Area			assume wo		equired	\$	
Landscaping			assume wo			\$	
1 *	N/A - not present onsite.		not applica			\$	
	Drive - curb and pavement up for replacement/redesign per district requests.	2,000	SY	\$	100.00	\$	200
Signage	Facilities Manager requesting upgrades. Poor and needs to be addressed. Exterior	2	EA	\$	35,000.00	\$	70
	signage (directional/entrance/wayfinding) all to be included in upcoming bond						
	work.						
Dumpster Location						\$	
Traffic Directions	District considering performing a traffic study for this location.					\$	
Parking Lot Lighting	District continuing to replace bulbs and exterior pole fixture fixtures prior to	assume by	owner		\$		
	bond updates.						
Retaining Walls						\$	
Site Circulation	Conflict noted between the service drive and west staff parking lot and bus loop					\$	
	organization. Site circulation needs to be reviewed.						
Loading Dock/Receiving	Curb cuts are needed at the loading dock. Dumpsters located here. Manual dock		\$				
	lift needs to be replaced. District would like to consider 'covered' addition to						
	protect employees and delivery drivers.						
<u> </u>	Loading dock curb cuts needed. Dumpsters located here.		EA	\$	10,000.00	\$	20
	Manual docks need replacement.		EA	\$	10,000.00	\$	20
	Loading dock area pavement replacement	2,500	SY	\$	100.00	\$	250
Loading Dock/Receiving	District would like to consider 'covered' addition to protect employees and		SF	1		\$	
	delivery drivers.			L			
Natural/Wetland Area	Designed and included during original building construction. Please revisit/discuss	I	LS	\$	10,000.00	\$	10
	further/make more presentable (overgrown) - located between road and main			1			
	visitor entry. Well installed to feed wetland area.			-			
Exterior Lighting	Dusk to dawn operation of site lighting desired for security and monitoring.	25	EA	\$	3,000.00	\$	75
	District request to add additional site lighting around perimeter sidewalks. Parking						
	lot lighting upgrades/replacements in progress currently with facilities.			1			
				1			
D 11 1 . C			1.0	-	15 000 00	^	
Parking Lot Gates	The district would like gates located at entrance of parking lots removed. Replace	I	LS	\$	15,000.00	\$	15
	remaining gates.		L	1		ļ	
						e de la companya de l	
						\$ \$	

ITEM #:	18			G	iross Area:		320,000							
	Okemos High School - Building Improvements													
Building Shell	BUILDING SHELL					\$	-							
Roofing	Combination of metal standing seam roofing and PVC membrane roof. Rubber	1	sf	\$	150,000.00	\$	150,000							
	membrane roof areas recently installed in 2007, 2008, and 2011. Combination of													
	Carlisle/Firestone membranes. Gutters (large barrel style) are sagging and twisted.													
	Low points appear to be in the middle of the run causing overflows and inability													
	for water to reach downspouts. District commented on metal roof and aluminum													
	framing finish 'looks faded'.													
Exterior Windows	Aluminum framed / insulated glass units / interior screens and vents / integral		assume w	ork not i	\$	-								
	blinds. Products all original to building. Seem to be aging and performing well. All				- 1	Ť								
	interior and exterior glass received applied/sealed impact resistant film in 2020.													



Positive Drainage	No major leaks noticed in corridors or classrooms during walk through. Stained					\$	-
	ceiling tiles present in areas but not sure if exterior or mechanical related.						
Defined Entry	Main entrance currently on south elevation with dedicated visitor lot. Some		excluded r	new entry	/	\$	
	confusion noted from people arriving to school between whether building main						
	entrance is south entrance OR east student/athletic entrance. Team thought new						
	signage and small entrance improvements would help define this.						
Accessibility	Automatic operators present at east student entrance and south visitor entrance.					\$	-
Fascia/Soffits	East student entrance - existing canopy needs attention (clean steel/glass and	1	LS	\$	150,000.00	\$	150,0
	paint). Exterior soffits minimal around perimeter of building. Building maintenance						
	having issues with west elevation courtyard entrances at B-wing. Ice dams/water						
	runoff all described due to large roof area and valleys directing water/snow off						
	roof above these entrances. Downspouts do exist at these locations.						
	i doi above triese entrances. Downspouts do exist at triese locations.						
Maintenance Room Entry						\$	
1	(2) colors of exterior brick (installed on interior too) and limestone accent bands	1	LS	\$	20,000.00	\$	20,0
DITCK			L3	φ	20,000.00	φ	20,0
	and sills. Exterior limestone needs to be cleaned and sealed (mildew growth						
	present in multiple areas). Brick and limestone in good physical and structural						
	condition. (30 years old) Weight room addition on NE corner of building (brick						
	matches used here look good). Efflorescence present in areas on exterior						
	(greenhouse).						
EIFS Fascia/Soffits	N/A					\$	
Cast Stone sills	Algae or staining present, especially on north side locations	1	LS	\$	5,000.00	\$	5,0
Caulk Joints	No failures or adhesion issues noticed on exterior walkthrough.					\$	
Water Stains	Water staining not noticed on walkthrough, no hard water stains noticed around					\$	
	exterior (no irrigation though).						
Exterior Doors	Fair to poor condition. Most are original to building construction in 1994.	60	EA	\$	15,000.00	\$	900,0
	Hardware, hinges and door closer function should be addressed in upcoming bond				-,	·	
	work. Some parts need to be corrected or replaced. Noticed many doors with						
	visible gaps at thresholds and along vertical door rail (latching side) during walk						
	through. Multiple door locations look damaged due to wind (loose						
	frames/hinges/closers) should be fixed or replaced. Doors on the north side of						
	the building accessing the tennis courts are heavy and hard to operate.						
						•	
Vestibule Entries	Present at south visitor entrance, east student entrance, west B wing (2) small		see item a	bove		\$	
	vestibules for egress). All perimeter stair towers have emergency egress exterior						
	doors. Did see some 'reinforcement plates' fastened to aluminum framing at						
	exterior door locations (east entrance) - high traffic area/framing should be						
	considered for replacement.						
Exterior Lighting	Good, function, bulb replacements in progress. Noticed some fixture/bulb					\$	
	replacements needed in soffits. District currently working through additional						
	fixture replacements and adding additional parking lot and exterior building						
	lighting ahead on bond work. Should be revisited with district in the future.						
	ingraning anead on bond work, should be revisited with district in the lattice.						
Green House	Good condition, exterior aluminum framing and insulated glass units. No major					\$	
Green nouse	signs or rust/staining on structure. Exterior brick (efflorescence) and limestone					Ŧ	
	(mildew) should be cleaned. Function of automatic ceiling operated windows						
	needs to be verified. Light fixture should be upgraded.					•	
Loading Dock	(2) exterior dock lifts (manual operation only) need to be replaced. Lifts may get					\$	
	replaced prior to bond work. Pavement in bad condition around this area.						
	Mechanical units housed adjacent to this lot. Maintenance drive (curb and						
	pavement) not replaced recently and could be upgraded.						
Skylights	Multiple areas/rooms have skylights - time to review flashing/sealants condition at	1	ALLOW	\$	50,000.00	\$	50,0
	exterior - does maintenance work need to be addressed with upcoming bond.						
	Further inspection should be completed by industry expert.						
						\$	
Structural	No issues reported. We did noticed some interior wall Came repair needed		1	1			
Structural							
Structural	No issues reported. We did noticed some interior wall Came repair needed (cracks/movement) need in some classrooms. Minimal occurrences.						
Structural						\$	
Structural						\$ \$	
	(cracks/movement) need in some classrooms. Minimal occurrences.	320,000	SF	\$	1.50	-	480,0



Lighting	2x2 fixtures present in suspended ACT ceilings. 2x4 light fixtures present in ACT	48,333	SF	\$	7.50	\$	362,49
	suspended ceilings. Linear hanging fixtures present at 2nd floor corridors. Lighting						
	and ceiling upgrades would make a large impact in the corridors.						
Flooring	Minere of semi-send courses. Toursees is need condition (some smalling course	3,222	cv.	\$	63.54	\$	204,73
FIGORING	Mixture of terrazzo and carpet. Terrazzo in good condition (some cracking was	3,222	51	Э	63.54	Þ	204,73
	visible and should be repaired. Carpet is worn and ready for replacement.						
Coilings/Walls	Combination of gypsum bulkheads. 2x4 ACT suspended ceilings with (2x2 grid	48,333	CE.	\$	12.00	\$	579,99
-		-0,555	31	φ	12.00	φ	577,77
	appearance). Tegular edge ceiling tiles present at all corridors. Ceilings are						
	showing their age. Many stained tiles - investigate roof leaks in these locations.						
	New ceilings and fixtures would be a nice upgrade. walls need new look/updates.						
	5 15 1						
Heating	Add diffuser and grilles with new ceilings	48,333	SE	\$	0.50	\$	24,16
		10,555	51	Ψ	0.50	\$	21,10
Lockers	Original. Function seems ok. Have integrated combination locks. Recessed in wall.					Þ	-
Doors	Hollow metal interior door frames (some borrowed sidelights with wired glass	27	EA	\$	3,500.00	\$	94,50
	present). Wood doors with upgrade electronic locking hardware. Door closers						
	need to be replaced. Interior wood doors showing age, some metal doors (wood						
	look) present in school. Selective door replacement recommended.						
				_			
Size of Corridor	No issues reported, seems adequate for all corridors.					\$	-
Flow of Corridor	No issues with flow - just a large school and locker vs. class location could be a					\$	-
	long distance to cover during passing time.						
F F				+		¢	
	Present. All major entrances. All perimeter stairwells for both first floor and					\$	-
	second floor provide emergency egress.						
Glass Transoms	N/A					\$	-
Vestibule Entries	Present at south visitor entrance, east student entrance, west B wing (2) small					\$	-
	vestibules for egress). All perimeter stair towers have emergency egress exterior						
	doors. Did see some 'reinforcement plates' fastened to aluminum framing at						
	exterior door locations (east entrance) - high traffic area/framing should be						
	considered for replacement.						
Casework	Casework appears to be original. Ready for upgrade/update/function analysis	50	LF	\$	750.00	\$	37,50
				*		-	
	Assume new glass front display cases		1.0	•	25 000 00	•	25.00
Expansion Joints	Note: Lots of floor/wall/ceiling expansion joints present in all major corridors and	1	LS	\$	25,000.00	\$	25,00
	classrooms. Need to be cleaned, no signs of major movement						
	(expansion/contraction). Be aware that these are present for coordination with						
	future upgrades/redesign.						
	Need to be replaced (some original to building)	9	EA	\$	4,000.00	\$	64,00
Drinking rouncains	Need to be replaced (some original to building)	0	L~	φ	4,000.00	φ	04,00
				-		-	
Acoustics	2nd floor science wing - acoustics with vaulted ceiling design could be improved -	2,589	SF	\$	41.00	\$	106,14
	high noise level.						
Flevators	Keyed use only (3 locations present) no issues reported by facilities.					\$	
		500	сг	¢	(0.00	•	20.00
	Turret style (round) stairwells at the end of each corridor - tile flooring/ painted	500	SF	\$	60.00	\$	30,00
	steel stairs /wood handrails (could be addressed and updated) / CMU walls /						
	Gypsum ceilings. Please update/replace pendant light fixture for ease of bulb					1	
	replacement (no easy way to access currently)- per district request.						
	replacement (no easy way to access currently)- per district request.						
		200.00-	67	-		^	
	Modular acrylic signage	320,000	55	\$	0.55	\$	176,0
Building Entrances	No prominent main entrance						
			SF	1		\$	-
Classrooms	Classrooms				63.54	\$	518,9
		8.168	SY	\$		· ·	2.0,7
	12x12 VCT present (good condition). Carpet present at other locations	8,168	SY	\$			
Flooring	12x12 VCT present (good condition). Carpet present at other locations (worn/replace)					¢	2 / 2 2
Flooring Ceilings/Walls	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses.		SY SF	\$	8.00	\$	343,2
Flooring Ceilings/Walls	12x12 VCT present (good condition). Carpet present at other locations (worn/replace)					\$	343,2
Flooring Ceilings/Walls	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates.					\$	343,2
Flooring Ceilings/Walls	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem					\$	343,2
Flooring Ceilings/Walls	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles					\$	343,2
Flooring Ceilings/Walls	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building.						343,2
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Flooring Ceilings/Walls Windows	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building.		SF				343,2
Flooring Ceilings/Walls Windows Casework	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building. Windows are operable (integral blinds/windows/screens). Original. Functional and in good condition. Upgrade could make a large impact.	42,911	SF	\$	8.00	\$	
Flooring Ceilings/Walls Windows Casework	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building. Windows are operable (integral blinds/windows/screens). Original. Functional and in good condition. Upgrade could make a large impact. Allowance for miscellaneous repairs	42,911	SF	\$	8.00	\$	
Flooring Ceilings/Walls Windows Casework Marker/Chalkboards	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building. Windows are operable (integral blinds/windows/screens). Original. Functional and in good condition. Upgrade could make a large impact. Allowance for miscellaneous repairs Some smart boards present - ok condition. Large white boards in other science	42,911	SF	\$	8.00	\$	
Flooring Ceilings/Walls Windows Casework Marker/Chalkboards	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building. Windows are operable (integral blinds/windows/screens). Original. Functional and in good condition. Upgrade could make a large impact. Allowance for miscellaneous repairs	42,911	SF	\$	8.00	\$	
Flooring Ceilings/Walls Windows Casework Marker/Chalkboards	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building. Windows are operable (integral blinds/windows/screens). Original. Functional and in good condition. Upgrade could make a large impact. Allowance for miscellaneous repairs Some smart boards present - ok condition. Large white boards in other science	42,911	SF	\$	8.00	\$	
Flooring Ceilings/Walls Windows Casework Marker/Chalkboards	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building. Windows are operable (integral blinds/windows/screens). Original. Functional and in good condition. Upgrade could make a large impact. Allowance for miscellaneous repairs Some smart boards present - ok condition. Large white boards in other science classrooms - ok condition. Need to discuss with teachers on replacement/preference.	42,911	SF	\$	8.00	\$ \$ \$	
Flooring Ceilings/Walls Windows Casework Marker/Chalkboards Heating	12x12 VCT present (good condition). Carpet present at other locations (worn/replace) Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building. Windows are operable (integral blinds/windows/screens). Original. Functional and in good condition. Upgrade could make a large impact. Allowance for miscellaneous repairs Some smart boards present - ok condition. Large white boards in other science classrooms - ok condition. Need to discuss with teachers on	42,911	SF	\$	8.00	\$	



Air-Conditioning	Present - district always expresses issues with controls/function/verification. Buildings could use updated TAB to help with prognosis.	I	LS	\$ 160,000.00	\$	160,000
	Good - exterior windows with integral blinds.				\$	-
Overall Size	Good - no issues reported. Some classrooms always seem better organized/layout than others. Small group room within does not seem well utilized.				\$	-
Doors	No issues reported - original frames and doors. Door closers need replacement.	65	EA	\$ 1,000.00	\$	65,000
2000	District upgraded electronic (key fob) access recently to all building - uniform			• .,	Ŧ	00,000
l ighting	across district. Ist floor classrooms 2x4 fixtures that look to be original. Time to upgrade	98,016	SE	\$ 7.00	\$	686,112
Lighting	fixtures and lighting controls.	70,010	51	\$ 7.00	-	000,112
Heating					\$	-
Power Outlets	District has not mentioned during walkthroughs that power was a constraint or issue to be addressed going forward. Redesign/repurposing rooms may cause for the need to address outlet location/frequency				\$	-
Bergman Suite	District currently upgrading presenting - space was originally				\$	
	technology/photography classrooms. Located on Ist floor (south elevation) by 3d art studio and back of house audit stage corridor.					
Desks	assrooms could use desk and table upgrades/replacements. with owner FF&E budget %		\$	-		
Toilet Rooms	Toilet Rooms	4,606	SF		\$	
Fixtures Operational	Original (sinks/urinals/toilets/partitions), but functional and clean.				\$	-
Toilet Partitions	Original but in good shape (minimal damage/abuse) present.		assume wo	rk not required	\$	-
Walls	Cove tile base (off-white) ; 3x3 glazed wall tile on CMU. Clean and in good shape.				\$	-
Floors	2x2 'teal' unglazed tile.				\$	-
Floor Drains	No issues reported and present in each bathroom.				\$	-
Lighting	1x4 fixtures along wall above toilets/sinks/mirrors location.	4,606	SF	\$ 8.00	\$	36,848
Hand Dryers	NA (usually just manual paper towel dispensers present.				\$	-
Ceilings	Painted Drywall ceilings. Diffusers, lights, fire suppression present.	4,606		\$ 2.00	- ·	9,212
	Add diffuser and grilles with new ceilings	4,606		\$ 0.50	<u> </u>	2,303
	Original, framed mirrors could be upgraded.		EA	\$ 200.00		9,000
ADA Accessible	Yes occasionally find missing grab bars. Further review needed of bathrooms.	I	LS	\$ 5,000.00	\$	5,000
Adequate Size	Most gang common bathrooms had (3) sinks and 5-6 toilets present at each location.				\$	-
Common Mechanical Space	Note, Bathrooms are separated by accessible common space (small door always present) in corridor at entrance. Did not walk into one of these spaces during walkthrough.				\$	-
Gymnasium	Gymnasium		SF		\$	-
	Main Gym has wood floor (good condition). Auxiliary gym has new rubber floor.				\$	-
Lighting	New fixtures in main gym.				\$	-
	New fixtures in main gym. No A/C presently (district wide). Need to perform TAB/Commissioning update				\$ \$	-
	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems				· ·	-
HVAC	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps)				\$	-
HVAC Daylight	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported).		assume wo	rk not required	· ·	- - - -
HVAC Daylight Gym Equipment	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in	25	assume wo EA	rk not required \$ 1,400.00	\$	- - - - 35,000
HVAC Daylight Gym Equipment Doors	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced		EA	\$ 1,400.00	\$ \$ \$ \$	- 35,000
HVAC Daylight Gym Equipment Doors Doors	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced remove/replace overhead door		1 1		\$ \$ \$ \$ \$	-
HVAC Daylight Gym Equipment Doors Doors Size	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced remove/replace overhead door No issues/discussion noted. Ok - no issues reported in main gym. No bleachers present in Aux Gym or weight		EA	\$ 1,400.00	\$ \$ \$ \$	- 35,000
HVAC Daylight Gym Equipment Doors Doors Size Bleachers	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced remove/replace overhead door No issues/discussion noted. Ok - no issues reported in main gym. No bleachers present in Aux Gym or weight room.		EA	\$ 1,400.00	\$ \$ \$ \$ \$ \$ \$ \$	- 35,000 5,000 -
HVAC Daylight Gym Equipment Doors Doors Size Bleachers	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced remove/replace overhead door No issues/discussion noted. Ok - no issues reported in main gym. No bleachers present in Aux Gym or weight		EA	\$ 1,400.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 35,000 - - -
HVAC Daylight Gym Equipment Doors Doors Size Bleachers Egress Locker Rooms	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced remove/replace overhead door No issues/discussion noted. Ok - no issues reported in main gym. No bleachers present in Aux Gym or weight room.		EA	\$ 1,400.00	\$ \$ \$ \$ \$ \$ \$ \$	- 35,000 - - -
HVAC Daylight Gym Equipment Doors Doors Size Bleachers Egress Locker Rooms	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps) Skylights present (no leaks or issues reported). Bleachers / hoops / padding - no issues reported. Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced remove/replace overhead door No issues/discussion noted. Ok - no issues reported in main gym. No bleachers present in Aux Gym or weight room. No issues noted.		EA EA	\$ 1,400.00 \$ 5,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 35,000 - - - -



	Small space - finishes/equipment/casework could be upgraded and updated for the	550	SE	\$	115.00	\$	63,250
=	school.	550	51	Ŷ	115.00	Ψ	03,230
Cafeteria	Cafeteria	8,365	SF			\$	-
Flooring	Terrazzo. Good condition. Maintenance seems good as well.					\$	-
	Combination of ceiling tiles (drop ceilings) and bulkheads. Bulkheads (Boswaphon? EIFS? Acoustic gyp?) show some signs of water damage and/or paint peeling.	8,365		\$	12.00	\$	100,380
Accessibility	No issues reported. Additional tables/seating added to the cafeteria for high					\$	-
	volume of student use (tight ways walk and access in seating areas designed to accommodate maximum capacity).						
	Lighting located in both drop ceilings (ACT) and gypsum bulkheads. Natural lighting also from multiple skylights in this room. Discussed fixture types and bulb	8,365	SF	\$	8.50	\$	71,103
	replacement upgrades. Add diffuser and grilles with new ceilings	8,365	SF	\$	0.50	\$	4,183
=	New tables (attached bench seating). Perimeter tables and chairs. Condition is good. Quality is ok. Comfort is minimal.					\$	-
Size	Capacity currently at 800. Having issues with capacity (2 shifts/lunch times		new addit	ion exclude	ed.	\$	-
	currently). Over capacity both in seating and attendance. Exterior courtyard (overflow/auxiliary location) discussed as possibility to add/enclose additional						
Air-Conditioning	cafeteria space in the future.					\$	-
Daylight	Good. Skylights and large hollow/metal perimeter frames/glazing.		assume w	ork not req	uired	\$	-
Overall Size			assume w	ork not req	uired	\$	-
	Hollow-metal frames and wood doors. Doors are starting to approach end of life- cycle, but are in function/ok condition. Door hardware (closers) at multiple	8	EA	\$	١,000.00	\$	8,000
	locations need to be adjusted or replaced. (4-5) main egress locations at each corner of the cafeteria. No issues reported.		assume w	ork not req	uired	\$	
Offices	Offices		SF			\$	
	Carpet at all locations (worn and ready for replacement).	1,727	SY SY	\$	63.54	\$	109,719
	Old/possible original - needs to be replaced.	1,727	-	owner FF&E budget %		\$	-
	Original grid and tile - time to remove and replace. Acoustic fabric wallcovering	15,541	SF	\$	12.00	\$	186,492
	present at main office (remove and replace). Painted impact gypsum resistant panels present also.						
Paging	Upgrade/ original.		in elec be	elec below			-
	Upgrade/ original.		in elec be	low		\$	-
	Upgrade/ original.		in elec be			\$	-
	Bulb replacements (retrofits/ballasts) in process. Ceilings and fixtures should be replaced from a performance/efficiency/visibility/controls and function standpoint.	15,541	SF	\$	8.00	\$	124,328
Heating	Add diffuser and grilles with new ceilings	15,541	SF	\$	0.50	\$	7,77
Copy/Work Room	Size is ok. Original casework. Interior room - no natural daylight. Update and upgrade.	500	SF	\$	100.00	\$	50,000
	Dated. Multiple small rooms with dated finishes. Time to upgrade.	1,000	SF	\$	100.00	\$	100,000
	Present (one room at main office). No common break areas in buildings for					\$	-
	staff/teachers. Seems like rooms available in each wing for this use. Is this a need to be addressed for teachers/staff ??						
Health Room with Toilet	Present at main office. Dated.					\$	-
,	No issues noted. Most door hardware upgraded to prevent any issues. Automatic					\$	-
	operators (interior and exterior) doors seem limited both at the high school and other building within the district. Do new codes mandate more frequent						
	locations? Limited at main office - we noticed this as a common theme at all schools (main	1	LS	\$	150,000.00	\$	150,000
	office lacks visibility/welcoming appearance/no secure vestibules)						
Media Center	Media Center	9,464	SF			\$	-
	Nice space (large vaulted ceilings) perimeter overlooks cafeteria.	9,464		\$	4.00	\$	37,856
Flooring	Carpet throughout. Ready for replacement.	1,052	SY	\$	63.54	\$	66,816
	Replace fixtures/update lighting plan.	9,464	SF	\$	11.00	\$	104,104
	Finishes should be updated.					\$	-
Ventilation Doors	No issues reported. Time for TAB analysis though.		25511000	ork not req	wired	\$ \$	5,000
Ceilings/Walls	Large translucent panel skylights (inspect exterior condition). Roof deck, exposed MEP systems. No other issues reported. Combination of CMU (starts off finish floor - above 8 feet at vaulted ceilings seems to be EIFS which is sound absorbing and alean. Expected being and inspected is good above at extreme to the second being					\$	-
	and clean. Exposed brick and limestone in good shape at structural columns.			1			



Aux Room	News TV production/Film rooms present - space study recommended prior to					\$	-
	upgrades/redesign.						
IT Roor	Racks / Hot / address with future HVAC upgrades.					\$	10,000
Roof Acces	Note - Located roof hatch in Janitor closet at the end of gallery corridor in media center		assume wo	ork not r	equired	\$	-
Egres	No issues reported. MC is located on 2nd level - overlooking cafeteria					\$	-
Auditoriun	Auditorium	9,265	SF			\$	-
Siz	Auditorium is average size, auditorium manager noted the size is adequate for its					\$	-
Floorin	Carpet should be replaced, stage floor in good condition	1,029	SY	\$	63.54	\$	65,411
	Auditorium would benefit from updated finishes	9,265	SF	\$	14.00	\$	129,710
Lightin	Appear to be original light fixtures - recommend upgrade to LED. Lighting	9,265	SF	\$	7.50	\$	69,488
	dimming racks are approaching end of life and are no longer supported - will need to be replaced with a new/different lighting control system for house and stage						
	lights; recommend ETC.						
Acoustic	The room is not great for music, there is no absorption on the back wall						
Control Room	No practicable access to control room outside of the auditorium, no audio booth						
	in open auditorium						
Ventilatio						\$	-
Door			assume wo	ork not r	equired	\$	-
Seatin	Functional but dated					\$	-
AV / stage lighting system	Clear com and paging not working, extensive catwalk system provides accessibility to A/V from control room and stage, projector needs to be upgraded, lighting	I	LS	\$	200,000.00	\$	200,000
	console could be upgraded soon, audio console is not user-friendly, speakers						
	appear to be original and should be upgraded, recommend added LED lighting for						
Support Space	stage. Scene shop is too small, additional storage needed; recessed orchestra pit does	1,000	SF	\$	75.00	\$	75,000
A	not have access from auditorium (under stage only)		1.0	•	10.000.00	•	10.000
Accessibilit	Barrier free access to stage from mid level. Access from the lower section is	I	LS	\$	10,000.00	\$	10,000
	difficult - lift not operating properly.		1.0	-	10.000.00	•	10.000
Egres	Auditorium entrance not visible from Event entrance, recommend improvements	I	LS	\$	10,000.00	\$	10,000
Choir/Pan	to lobby space and signage	4 500	CE.			¢	
Choir/Ban	Choir/Band	6,500	SF			\$ \$	-
Siz		6,500	SF			\$ \$ \$	- - -
Siz Floorin	Choir/Band lots of room - some instrument storage present	6,500 6,500		\$	9.00	\$	58,500
Siz Floorin	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room.			\$	9.00	\$	- - - 58,500
Siz Floorin	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior			\$	9.00	\$	- - - 58,500
Siz Floorin	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass). Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in			\$	9.00	\$	- - - 58,500
Siz Floorin	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms -			\$	9.00	\$	- - - 58,500
Siz Floorin Ceilings/Wall	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade			\$	9.00	\$	
Siz Floorin Ceilings/Wall	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be			\$	9.00	\$	- - - 58,500
Siz Floorin Ceilings/Wall Acoustic	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir room. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district.	6,500	SF			\$ \$ \$	-
Siz Floorin Ceilings/Wall Acoustic	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control		SF	\$	9.00	\$	-
Siz Floorin Ceilings/Wall Acoustic Lightin	Choir/Band I ots of room - some instrument storage present I 2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible	6,500	SF SF			\$ \$ \$	52,000
Siz Floorin Ceilings/Wall Acoustic Lightin	Choir/Band I ots of room - some instrument storage present I 2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings	6,500	SF SF	\$	8.00	\$ \$ \$ \$	52,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac	Choir/Band I ots of room - some instrument storage present I 2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings	6,500	SF SF	\$	8.00	\$ \$ \$ \$ \$ \$	52,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible add diffuser and grilles with new ceilings	6,500	SF SF	\$	8.00	\$ \$ \$ \$ \$ \$ \$	52,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAG	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and	6,500	SF SF SF	\$	8.00	\$ \$ \$ \$ \$ \$ \$ \$	52,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms	6,500 6,500 6,500	SF SF SF	\$	8.00	\$ \$ \$ \$ \$ \$ \$ \$ \$	52,000 3,250 - - -
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms.	6,500 6,500 6,500	SF SF SF assume wo	\$ \$ prk not r	8.00 0.50 equired	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	52,000 3,250 - - -
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations	6,500 6,500 6,500 4	SF SF SF assume wo	\$ \$ prk not r	8.00 0.50 equired	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - 140,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and ad on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign.	6,500 6,500 6,500 4 50	SF SF SF EA EA	\$ s ork not r	8.00 0.50 equired 35,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - - 140,000 150,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations	6,500 6,500 6,500 4 50	SF SF SF assume wo	\$ s rk not r	8.00 0.50 equired 35,000.00 3,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - - 140,000 150,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and reconfigured.	6,500 6,500 6,500 4 50	SF SF SF EA EA EA	\$ s rk not r	8.00 0.50 equired 35,000.00 3,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - - 140,000 150,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker Storag	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and reconfigured. Kitchen	6,500 6,500 6,500 4 50 50	SF SF SF EA EA EA	\$ s rk not r	8.00 0.50 equired 35,000.00 3,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - - 140,000 150,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker Storag Kitcher	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms - Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and reconfigured.	6,500 6,500 6,500 4 50 50	SF SF SF EA EA EA	\$ s rk not r	8.00 0.50 equired 35,000.00 3,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - 140,000 150,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker Storag Kitchen Program	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Wo Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and recofingured. 1000 daily student meal	6,500 6,500 6,500 6,500 4 4 50 50 50 3,826	SF SF SF EA EA EA EA SF	\$ \$ prk not r \$ \$ \$	8.00 0.50 equired 35,000.00 3,000.00 3,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - 140,000 150,000 175,000 - -
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker Storag Kitchen Program	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and recofigured. 1000 daily student meal	6,500 6,500 6,500 6,500 4 4 50 50 50 3,826	SF SF SF EA EA EA	\$ s rk not r	8.00 0.50 equired 35,000.00 3,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - 140,000 150,000 175,000 - -
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker Storag Kitchen Prograr	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and reconfigured. Kitchen 1000 daily student meals (2 lunch periods) for high sch	6,500 6,500 6,500 6,500 4 4 50 50 50 3,826	SF SF SF EA EA EA EA EA EA	\$ \$ prk not r \$ \$ \$	8.00 0.50 equired 35,000.00 3,500.00 900,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - - 140,000 150,000 175,000 - - - 900,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAC Functio Fire Separatio Locker Storag Kitchen Prograr	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and recofigured. 1000 daily student meal	6,500 6,500 6,500 6,500 4 4 50 50 50 3,826	SF SF SF EA EA EA EA EA EA	\$ \$ prk not r \$ \$ \$	8.00 0.50 equired 35,000.00 3,000.00 3,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 - - - - 140,000 150,000 175,000 - - - 900,000
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAQ Functio Fire Separatio Locker Storag Kitchen Program Equipmen Ceiling	Choir/Band lots of room - some instrument storage present l2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and reconfigured. Kitchen 1000 daily student meals (2 lunch periods) for high sch	6,500 6,500 6,500 6,500 4 4 50 50 50 3,826	SF SF SF EA EA EA EA EA EA	\$ \$ \$ \$ \$ \$ \$ \$ \$	8.00 0.50 equired 35,000.00 3,500.00 3,500.00 900,000.00 9.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -
Siz Floorin Ceilings/Wall Acoustic Lightin Heatin Office Spac Seatin HVAQ Functio Fire Separatio Locker Storag Kitchen Program Equipmen Ceiling	Choir/Band Iots of room - some instrument storage present I2x12 VCT in good condition. Better condition in choir room then band room. SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district. Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible Add diffuser and grilles with new ceilings N/A bleacher sections and chairs perimeter radiant heat present in both rooms Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms. Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign. Instrument storage needed. Lockers/casework should be replaced and reconfigured. Mitchen	6,500 6,500 6,500 6,500 4 4 50 50 50 3,826	SF SF SF assume wo EA EA EA EA EA SF	\$ \$ \$ \$ \$ \$ \$ \$ \$	8.00 0.50 equired 35,000.00 3,500.00 3,500.00 900,000.00 9.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 52,000 3,250 - -



Floo	8x8 quarry tile and base. Drains/sinks/traps/ all need to be cleaned, maintained,					\$	-
	serviced.					¢	
Delivery Space	e Receiving area attached to north elevation service drive. Dock levelers need to be replaced (manual operation and not covered). Receiving area at High School needs		covered in	site cos	sts	\$	-
	updates and reconfiguration						
Storage Space	e Lacking adequate storage space. Storage room too small. Product being stored in	I	LS	\$	150,000.00	\$	150,000
	service corridor separating kitchen from receiving area.						
Kitchen Hoc	Present and large - center of kitchen with 2 sides.					\$	-
Make-up A						\$	-
Serving Lir	e Multiple lines available/Compact but enough space available. Need new serving	975	SF	\$	20.00	\$	19,500
	equipment/food service casework. JRA would like to reformat traffic flow/redesign						
	area and function. Terrazzo flooring here and cafeteria. Need ceiling updates here.						
	New signage and presentation for users.						
Electric	No issues noted - such as too few outlets/location/breaker capacity.					\$	-
Lightir	g Upgrade light fixtures.	3,826	SF	\$	8.00	\$	30,608
Heatir	g Add diffuser and grilles with new ceilings	3,826	SF	\$	0.50	\$	1,913
Secure	d Yes.					\$	-
	Yes, present. Fully sprinkled with fire alarm coverage.					\$	-
Overa	This is the 'HUB' for district production and distribution. JRA to recommend list					\$	-
	of new equipment for consideration, upgrade storage room areas and layout.						
	Consider delivery/receiving area, amount of storage space, transition to						
Concession	recycle/compost program. Concessions for indoor events at HS utilize cafeteria and kitchen area. Items	1	LS	\$	150,000.00	\$	150,000
Concession	served at ticket booth outside Gym. Need to have further conversations with			Ţ	. 50,000.00	Ŧ	150,000
	boosters regarding redesign/new layout						
Field Hous	2) identical 'kitchens' present at fieldhouse for event concessions. Move kitchens	I	LS	\$	500,000.00	\$	500,000
	out of locker rooms which currently require more storage space. District would						
	like improvement/redesign/face lift/add areas for serving visitors to school events						
	with athletic complex field updates						
Poo			SF			\$	-
	e 6 lane 25 meter pool.	250	6 5	•	50.00	\$	-
Floorir	g Tile in good condition. Upgrades/replacements needed at drinking fountains near	250	SF	\$	50.00	\$	12,500
Ceilings/Wal	locker room entrances. s No signs of major rust/deterioration. Steel trusses and roof deck could be	9,183	SE	\$	4.00	\$	36,732
Centres/ Via	repainted. Paint CMU (scored block present). Tile present from floor to 8 AFF	2,105	51	Ŷ	1.00	¥	50,752
	(CMU then above). Interior Aluminum frames with glass - in good condition.						
Lightir	g Large skylights. Large elevation of translucent panels (old/yellowed - need to be	784	SF	\$	85.00	\$	66,640
	replaced). Ceiling fixtures pointed upward to avoid swimmer conflict.) Good						
	overall lighting. Fixtures are new.						
	One small storage room present near north west entrance	2 221	6 5	<u>^</u>	250.00	\$	-
Locker Koon	s Ready for upgrades. Tile floors and ceiling ok condition. toilet room fixtures and	3,321	21	\$	250.00	\$	830,250
Office Space	lockers should be upgraded. Not present.					\$	
· · · · · · · · · · · · · · · · · · ·	No issues reported. Time for TAB analysis though.					\$	-
	s Same issues as reported in other areas. Doors and closers should be replaced.	7	EA	\$	2,500.00	\$	17,500
	Hollow metal frames in ok condition but are original and approach 30 years old.						
Spectator Seatin	g ADA ramps and steps present. Needs to be upgraded. Benches need to be	1,000	EA	\$	300.00	\$	300,000
	replaced. SST glass railing and handrails need to be replaced. Signs of rust visually						
	present. CMU /concrete present at this location						
Egre	s Emergency egress to exterior present at East elevation (2 separate locations)					\$	-
	Need to verify performance /controls of current installed Dehumidify poolpak					\$	-
Dehumidificatio	unit.					¥	-
Dehumidificatio		1	EA	\$	9,000.00	\$	9,000
							_
	Chlorine damage - need to be replaced MECHANICAL	<u> </u>				\$	-
Drinking Fountair	s Chlorine damage - need to be replaced	1	assume wo	ork not r	required	\$ \$	-
Drinking Fountain Heating Source and Conditic	s Chlorine damage - need to be replaced MECHANICAL Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014.	1	assume wo	ork not r	required	\$	-
Drinking Fountain Heating Source and Conditic	s Chlorine damage - need to be replaced MECHANICAL Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. Building is served by (2) Taco based mounted pumps that are original. Would like		assume wo	ork not r	required	-	55,750
Drinking Fountain Heating Source and Condition Heating Pumps and Pipin	s Chlorine damage - need to be replaced MECHANICAL 1 Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. g Building is served by (2) Taco based mounted pumps that are original. Would like more isolation valves.					\$ \$	
Drinking Fountain Heating Source and Condition Heating Pumps and Pipin	s Chlorine damage - need to be replaced MECHANICAL 1 Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. g Building is served by (2) Taco based mounted pumps that are original. Would like more isolation valves. 1 Building is served by a chilled water system. The 289-ton BAC cooling tower was		assume wo	ork not r	required 200,000.00	\$	55,750
Drinking Fountain Heating Source and Condition Heating Pumps and Pipin	Chlorine damage - need to be replaced MECHANICAL Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. guilding is served by (2) Taco based mounted pumps that are original. Would like more isolation valves. Building is served by a chilled water system. The 289-ton BAC cooling tower was installed around 2014. The Trane chiller is original and does not work. System is					\$ \$	
Drinking Fountain Heating Source and Conditio Heating Pumps and Pipir	s Chlorine damage - need to be replaced MECHANICAL 1 Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. g Building is served by (2) Taco based mounted pumps that are original. Would like more isolation valves. 1 Building is served by a chilled water system. The 289-ton BAC cooling tower was					\$ \$	
Drinking Fountain Heating Source and Condition Heating Pumps and Pipin Cooling Source and Condition	s Chlorine damage - need to be replaced MECHANICAL 1 Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. g Building is served by (2) Taco based mounted pumps that are original. Would like more isolation valves. 1 Building is served by a chilled water system. The 289-ton BAC cooling tower was installed around 2014. The Trane chiller is original and does not work. System is fully redundant.					\$ \$ \$	200,000
Drinking Fountain Heating Source and Condition Heating Pumps and Pipin Cooling Source and Condition	Chlorine damage - need to be replaced MECHANICAL Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. guilding is served by (2) Taco based mounted pumps that are original. Would like more isolation valves. Building is served by a chilled water system. The 289-ton BAC cooling tower was installed around 2014. The Trane chiller is original and does not work. System is					\$ \$	
Drinking Fountain Heating Source and Condition Heating Pumps and Pipir Cooling Source and Condition Cooling Pumps and Pipir	S Chlorine damage - need to be replaced MECHANICAL Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014. Building is served by (2) Taco based mounted pumps that are original. Would like more isolation valves. Building is served by a chilled water system. The 289-ton BAC cooling tower was installed around 2014. The Trane chiller is original and does not work. System is fully redundant. Building is served by (2) Taco pumps that are original. Would like more isolation					\$ \$ \$	200,000



AHUs and RTUs	Building is served by Trane VAV AHU's and are original. Office is served by a Trane 12,000 cfm AHU with DX cooling. Science wing electric reheat does not work. (8) 21,000 cfm AHU's, (2) 14,000 cfm AHU, (2) 34,000 cfm AHU, (2) 11,000 cfm AHU, (1) 30,000 cfm AHU, (1) 8,000 cfm AHU, (1) 6,000 cfm AHU, and (4) 15,000 cfm AHU's.	1	LS	\$ 4,460,000.	00 \$; ,	1,460,000
Ventilation	Exhaust fans are original. (12) Science wing exhaust hoods not working. (2) 1,500 cfm EF's, (6) 1,200 cfm EF's, (1) 600 cfm EF, (1) 200 cfm EF, and (2) 300 cfm EF's.	I	LS	\$ 97,500.	.00 \$	5	97,500
Building Management System/Controls	Building is served by Trane DDC BMS that is original. Recommissioning needed.	I	LS	\$ I,600,000.	.00 \$;	1,600,000
Domestic Water Piping	No known issues.		assume wo	ork not required	\$	5	-
	Building is served by a PK boiler, 2,000 MBH installed in 2007 with 500 gallon storage tank.			ork not required	\$	5	-
Plumbing Fixtures	Plumbing fixtures are original. Group restrooms do not have auto flush valves.		assume wo	ork not required	\$	5	-
Fire Protection	Building is fully sprinkled with combination wet and dry system and a 30 hp fire pump.		assume wo	ork not required	\$	5	-
Pool equipment	Pool is served by 18,000 cfm Poolpak and a 500 MBH boiler. Both are original. Controls were redone around 2003. Have control issues. Problems with priming pumps onced drained. Would like unit that has better service availability.	I	LS	\$ 121,000.			121,000
	ELECTRICAL				\$		-
Transformer size	ELECTRICAL				\$		· ·
	2 services to school (one back up with auto transfer), Switchgear is burned out	I	ALLOW		\$		-
Generator	There is no generator on site.				\$	6	-
Occupancy Sensors	There are no occupancy sensors.				\$	5	-
Lighting Control System	Toggle switches. Upgrade lighting system.	320,000	SF	\$ I.	.50 \$	5	480,000
Panels					\$		-
	Need to remove storage items. Lighting overall needs to be replaced. Most of the lighting is fluorescent. There is currently no emergency egress fixtures in the building. Lights in exterior soffits to be replaced.Owner would like to replace glass wall sconces - expensive to repair.		in areas ab	ove	\$		-
Lighting	Misc. areas unaccounted for	50,000	SF	\$ 7.	.00 \$	5	350,000
Fine All D		320,000	SF	\$ I.	75 4		560,000
	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000					
Panels	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from	-	cr.	¢ -	\$	6	-
Panels Clocks	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000			\$ 25 \$	5	
Panels Clocks Paging	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000 320,000	SF	\$ 0.	\$ 25 \$ 60 \$	6 5 6	192,000
Panels Clocks	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000	SF SF	\$0. \$2.	\$ 25 \$	5 5 5	192,000
Panels Clocks Paging Phone System Branch	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000 320,000 320,000	SF SF	\$0. \$2.	\$ 25 \$ 60 \$ 00 \$ 50 \$	6 6 6 6	- 80,000 192,000 640,000 480,000
Panels Clocks Paging Phone System Branch Technology	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000 320,000 320,000	SF SF SF	\$0. \$2.	\$ 25 \$ 60 \$ 00 \$ 50 \$ 	5 5 5 5	192,000
Panels Clocks Paging Phone System Branch Technology IT Rooms	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust TECHNOLOGY	320,000 320,000 320,000	SF SF SF included in	\$ 0. \$ 2. \$ 1.	\$ 25 \$ 60 \$ 00 \$ 50 \$ 	5 5 5 5 5 5 5	192,000
Panels Clocks Paging Phone System Branch Technology IT Rooms	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust Understand Understand <td>320,000 320,000 320,000</td> <td>SF SF included in</td> <td>\$ 0. \$ 2. \$ 1. "Phone System" abo</td> <td>\$ 25 \$ 60 \$ 00 \$ 50 \$ 50 \$ 50 \$ 50 \$ 50 \$</td> <td>5 5 5 5 5 5 5</td> <td>192,000 640,000 480,000 - - -</td>	320,000 320,000 320,000	SF SF included in	\$ 0. \$ 2. \$ 1. "Phone System" abo	\$ 25 \$ 60 \$ 00 \$ 50 \$ 50 \$ 50 \$ 50 \$ 50 \$	5 5 5 5 5 5 5	192,000 640,000 480,000 - - -
Panels Clocks Paging Phone System Branch IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings)	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust TECHNOLOGY Most rooms are sharing space with electrical, janitorial equipment & mop sinks. Rooms are sprinkled. Need AC installed. Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently.	320,000 320,000 320,000	SF SF SF included in included in included in	\$ 0. \$ 2. \$ 1. "Phone System" abo "Phone System" abo	\$ 25 \$ 60 \$ 00 \$ 50 \$ 00 \$ 00 \$ 00 \$ 00 \$ 00 \$ 0	δ δ δ δ δ δ δ δ	192,000 640,000 480,000 - - -
Panels Clocks Paging Phone System Branch Technology IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Bells/Paging System	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000 320,000 320,000	SF SF SF included in included in included in	\$ 0. \$ 2. \$ 1. "Phone System" abo "Phone System" abo "Phone System" abo "Phone System" abo	\$ 225 \$ 600 \$ 500 \$ 500 \$ \$ vve \$ vve \$ vve \$ \$	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	192,000 640,000 480,000 - - -
Panels Clocks Paging Phone System Branch Technology IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Bells/Paging System Clock System	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000 320,000 320,000	SF SF SF included in included in included in included in	\$ 0. \$ 2. \$ 1. "Phone System" abo "Phone System" abo "Phone System" abo "Phone System" above "Paging" above "Mater Clock" above	\$ 25 \$ 60 \$ 50 \$ 50 \$ 	β δ β	192,000 640,000 480,000 - - -
Panels Clocks Paging Phone System Branch Technology IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Data Cabling (within buildings) Bells/Paging System Clock System	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust TECHNOLOGY Most rooms are sharing space with electrical, janitorial equipment & mop sinks. Rooms are sprinkled. Need AC installed. Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. Currently Informacast via Cisco IP phones. There is no synchronized clock system. Some satellite clocks and digital signage running software to display time. Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.	320,000 320,000 320,000 320,000	SF SF SF included in included in included in included in assume no	\$ 0. \$ 2. \$ 1. "Phone System" abo "Phone System" abo "Phone System" abo "Phone System" abo "Paging" above "Mater Clock" above work required	\$ 25 \$ 60 \$ 50 \$ 	β δ δ δ δ δ δ δ δ δ δ δ δ δ	192,000 640,000 480,000 - - - - - - - - - - - -
Panels Clocks Paging Phone System Branch Technology IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Data Cabling (within buildings) Bells/Paging System Clock System Classroom Audio/Video Systems Large Space Audio/Video	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust TECHNOLOGY Most rooms are sharing space with electrical, janitorial equipment & mop sinks. Rooms are sprinkled. Need AC installed. Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. Currently Informacast via Cisco IP phones. There is no synchronized clock system. Some satellite clocks and digital signage running software to display time. Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems. Audio for gyms needs upgrade, mainly speakers. Rack equipment needs relocated	320,000 320,000 320,000 320,000	SF SF SF included in included in included in included in	\$ 0. \$ 2. \$ 1. "Phone System" abo "Phone System" abo "Phone System" abo "Phone System" above "Paging" above "Mater Clock" above	\$ 25 \$ 60 \$ 50 \$ 	β δ δ δ δ δ δ δ δ δ δ δ δ δ	192,000 640,000 480,000 - - - - - - - - - - - - -
Panels Clocks Paging Phone System Branch Technology IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Data Cabling (within buildings) Data Cabling (within buildings) Clock System Classroom Audio/Video Systems Large Space Audio/Video	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust TECHNOLOGY Most rooms are sharing space with electrical, janitorial equipment & mop sinks. Rooms are sprinkled. Need AC installed. Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. Currently Informacast via Cisco IP phones. There is no synchronized clock system. Some satellite clocks and digital signage running software to display time. Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems. Audio for gyms needs upgrade, mainly speakers. Rack equipment needs relocated closer to space it serves. Need new audio system for cafeteria.	320,000 320,000 320,000 320,000	SF SF SF included in included in included in included in assume no EA	 0. 2. 1. "Phone System" abo "Phone System" abo "Phone System" abo "Phone System" above "Mater Clock" above work required \$25,000. 	\$ 25 \$ 60 \$ 60 \$ 50 \$ vve \$ vve \$ vve \$ vve \$ 8 00 \$ 00	δ δ δ δ δ δ δ δ δ δ δ δ δ δ	192,000 640,000 480,000 - - - - - - - - - - - 75,000
Panels Clocks Paging Phone System Branch Technology IT Rooms Fiber Optic Cabling (between buildings/IT rooms) Data Cabling (within buildings) Data Cabling (within buildings) Data Cabling (within buildings) Clock System Clock System Classroom Audio/Video Systems Large Space Audio/Video Systems	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust TECHNOLOGY Most rooms are sharing space with electrical, janitorial equipment & mop sinks. Rooms are sprinkled. Need AC installed. Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks. CAT 6 cabling. Switches were upgraded recently. Need to update paging for the district. Currently Informacast via Cisco IP phones. There is no synchronized clock system. Some satellite clocks and digital signage running software to display time. Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems. Audio for gyms needs upgrade, mainly speakers. Rack equipment needs relocated	320,000 320,000 320,000 320,000	SF SF SF included in included in included in included in assume no EA SF	 0. 2. 1. "Phone System" abo "Phone System" abo "Phone System" abo "Phone System" above "Mater Clock" above work required \$25,000. 	\$ 25 \$ 60 \$ 50 \$ 	δ δ δ δ δ δ δ δ δ δ δ δ δ δ	192,000 640,000 480,000 - - - - - - -















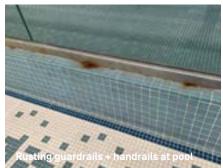






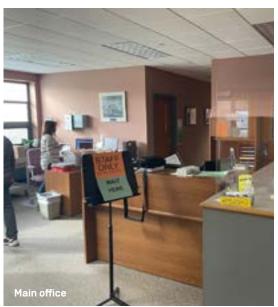




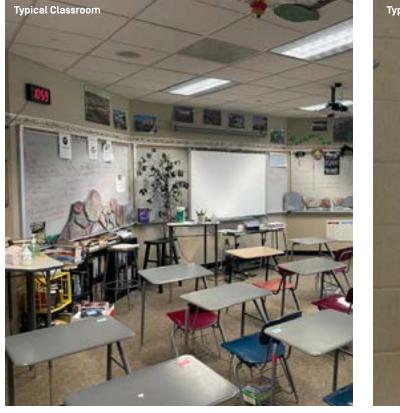




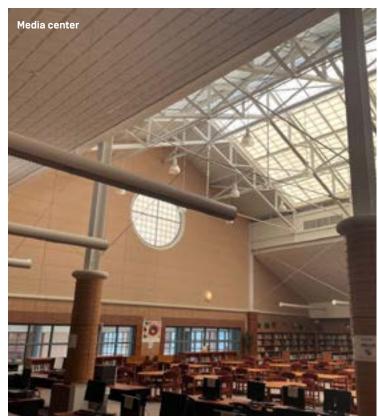






















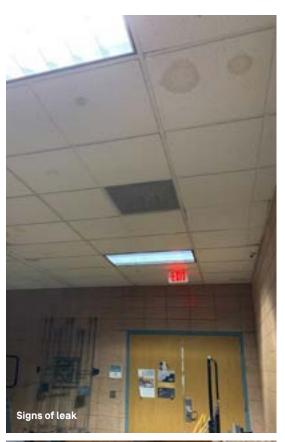


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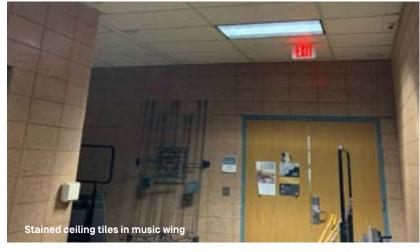
Terrer Pickster





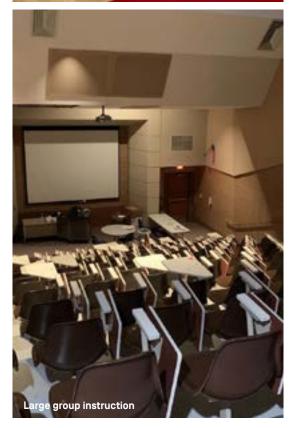




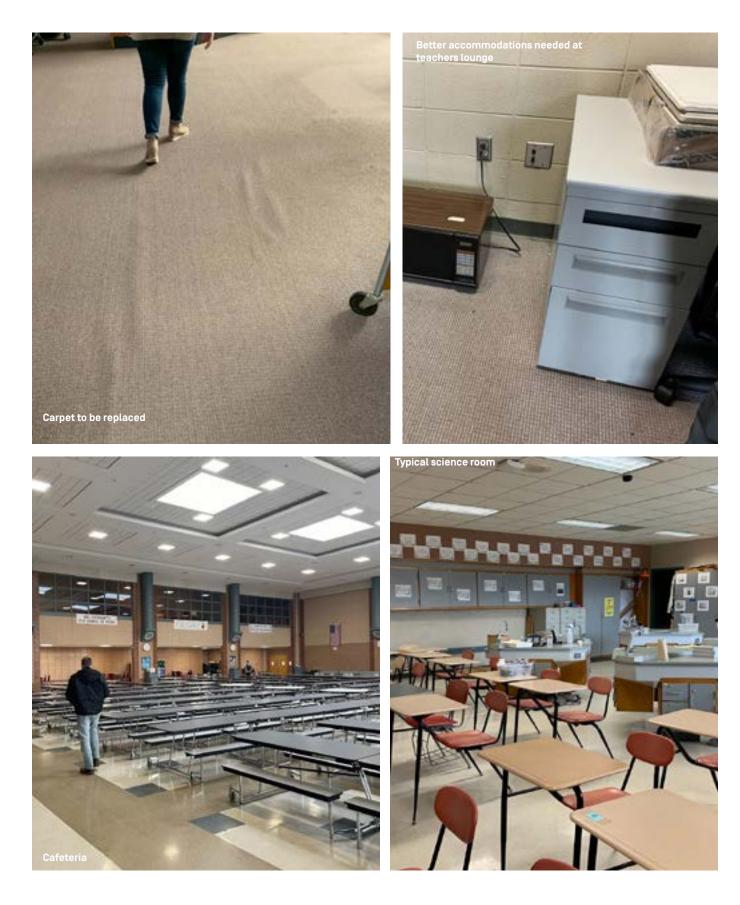








Terres Pickster





Use:	District Athletics
Built:	1995
Additions + Renovations:	N/A
Total Building Area:	9,600 SF
Site Area:	23 Acres
Enrollment:	N/A
Square Footage per Student:	N/A
Renovation Cost:	\$8,950,347
Current Replacement Value (CRV):	N/A
Facility Condition Index (FCI):	N/A









OBSERVATION HIGHLIGHTS

SITE

Issue noted with ADA access/sidewalks from parking lots to fields complex. Long distance from parking lot to BB/SB/ Soccer fields and not currently ADA accessible. ADA safe access does not exist from High School to the Athletic complex. Football field has had recent turf and track updates. Tennis courts and perimeter fencing needs to be replaced. Baseball and Softball fields need new fencing and dugouts.

ARCHITECTURE

The athletic complex has a football field, track, bleachers and press box, tennis courts, varsity soccer field, baseball and softball fields and other fields for team practice. The complex's main building has a ticket booth for entry, two concession areas with small kitchens, team locker rooms, maintenance equipment garages and other storage areas. Asphalt shingles and exterior brick masonry walls are in good condition. Exterior hollow-metal doors and frame are in good condition. Focus for upgrades should be placed on both concession areas, ticket booth size and location, site perimeter fencing, and the overall appearance of exterior structural steel and canopy at the main entrance as you gain access to the complex.

INTERIORS

Interior locker room vinyl tile flooring in all locker rooms could be considered for replacement. Interior ceilings are in decent condition, ceiling pads could be considered for replacements and upgrades. Lockers are in functional and decent condition. Toilet room fixtures, including sinks, partitions, toilets and urinals could be considered for upgrades to new more efficient fixtures. Toilet room ceilings and wall and floor tile all in good condition.environment for staff or students.

MECHANICAL

Add building to BMS.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical system is in fair condition.

TECHNOLOGY

N/A

RECOMMENDATION SUMMARY

The athletic complex certainly has some strengths and some needs for improvement. The level of improvements necessary don't rise to the level of exploring a complete replacement or relocation of the facility. Although some components of the complex will require improvement it is not advisable to substantially change the general location of the individual components of the various athletic courts and fields.



DATA SHEETS

Facility Assessment Building Name

Okemos High School Athletic Complex

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

Athletic Complex	Bood	fair	pool comments
			Athletic complex located on property adjacent (west of Huelett Rd.) to
			Okemos High School. Main parking lot located south of Athletic Complex
			entrance and building. Athletic complex building has (2) separate sides. Each
			side has mechanical space, locker rooms, bathrooms, storage areas for
			equipment and facilities maintenance. West side does have
			commercial/industrial laundry equipment for team uniforms and equipment.
			Athletic complex building has main entrance, gates, ticket booth and
			concessions location in breezeway between buildings. Walking directly
Orientation	Х		through you enter football complex and field.
			(2) concessions locations in the athletic building (similar layout and
			equipment present at both locations). Warming (no cooking) kitchens
			currently. Floors, walls, ceilings, and countertops in good condition.
Concessions	х		Reference food service report prepared by JRA for concessions equipment.
			Located in the middle of main entrance to complex. Octagonal shape building
			with adjacent gates. Building finishes match athletic complex. Brick/coiling
			doors and asphalt shingles to match adjacent buildings. Exterior Sill brick in
			need of repair. Facilities prefers to remove and relocate location of ticket
Ticket Booth		Х	booth.
			Main entrance drive (directly off Huelett Rd.) runs between athletic complex
			building entrance and main visitor parking lot. ADA parking access, safe
			access from parking lot to complex could be improved. Exposed structural
			steel at entrance canopy needs to be cleaned and refinished. Cracked
Entrance	Х		concrete under covered entrance to be addressed
			Located on far west end and far east end of athletic complex buildings. (2)
			closets exist - serve each end of the complex where they are located. Hot
Mechanical Closets	Х		Water Heater replaced in 2021 in west mech closet.
			Plumbing fixtures, tile, toilet partitions, showers, mirrors, countertops are all
Bathroom(s)	х		functional but dated. Consider updates.
			Replace flooring, ceilings, and lighting. Walls and existing lockers in good
			condition. District mentioned they need more storage inside of athletic
Locker Rooms	Х		complex.
			Issue noted with ADA access/sidewalks from parking lots to fields complex.
			Long distance from parking lot to BB/SB/Soccer fields and not currently ADA
			accessible. ADA safe access does not exist from High School to the Athletic
			complex. Football field has recent turf and track updates. Tennis courts and
			perimeter fencing needs to be replaced. Baseball and Softball fields need new
Fields		Х	fencing and dugouts.
			Consider exterior door replacement/rusted frames and doors. Most of the
Exterior Doors & Fencing		Х	fencing (black chain link) needs to be removed and replaced.



Athletic Complex (CON'T)	BOOD	fair	poot comments
			Consider upgrade/cleaning/ to signage and scoreboard at football field.
			Flagpoles located here. Brick piers and cast stone (clean). Scoreboard ok.
			WIFI service just added to the stadium complex in 2021. Scoreboards (small)
Scoreboard/lighting/WIFI		х	do exist at Soccer/BB/SB fields.
			Newer bleachers at Football and Soccer fields. Asphalt pavement at
			bleachers is in poor condition. Bleacher/seating/press box updates needed
Bleachers	х		at BB and SB fields.
			Asphalt pavement heaving around concrete fence pole foundations at the
			football field. Need to address for visitor safety and appearance; Chain-link
Fencing			fence and gate at ticketed entrance needs to be replaced
			Uncertain of latest exterior lighting updates. Exterior lighting does exist at
			football and soccer field. Did not see exterior stadium lighting at BB/SB fields.
Lighting	х		Exterior fixtures need updates or bulb replacements.
			ADA access present to bleachers of football field (once safely inside athletic
			complex). Condition of perimeter sidewalks and ADA access to Soccer/BB/SB
			fields is an issue and needs to be addressed. Replace perimeter asphalt and
			concrete walks. Perimeter asphalt paths around the athletic building need to
Egress		х	be replaced and widened.
			The door to the press box is not aligned with an aisle - difficult to access
			when spectators are present. Needs a facelift or update. Sound equipment
Press Box		х	mounted to press box.
			Present with perimeter fencing at press box. Looks like 2nd floor of press box
			has been taken out of service? Asphalt shingles look in good condition at
Roof Access	х		main athletic complex building.



BUDGET DETAIL

	: 23			G	ross Area:		
	Okemos High School Athletic Co	omplex					
							otal Cost
Orientatic	n Athletic complex located on property adjacent (west of Huelett Rd.) to Okemos					\$ \$	
Orientatio	High School. Main parking lot located south of Athletic Complex entrance and					Ψ	-
	building. Athletic complex building has (2) separate sides. Each side has mechanical						
	space, locker rooms, bathrooms, storage areas for equipment and facilities						
	maintenance. West side does have commercial/industrial laundry equipment for						
	team uniforms and equipment. Athletic complex building has main entrance, gates, ticket booth and concessions location in breeze way between buildings. Walking						
	directly through you enter football complex and field.						
	directly through you enter lootbail complex and neid.						
Athletic field	s No barrier free access from parking lot to the baseball and softball fields. Tennis	2	LOC	\$	100,000.00	\$	200,0
	court pavement is settling, cracking and heaving throughout. Baseball and Softball						
	Dugout structures are in poor condition.						
Athletic field	s Tennis court pavement is settling, cracking and heaving throughout - Assume Full	12	EA	\$	250,000.00	\$	3,000,
	Replacement of 12 courts - Asphalt courts						
Athletic field	s Baseball and Softball Dugout structures are in poor condition Assume new	4	EA	\$	25,000.00	\$	100,
	dugouts						
	g District wants fencing replaced at athletic fields.		with items			\$	
	g Replace Baseball Field Fencing - Includes new backstop	1,500		\$	40.00	\$	60,
	g Replace Football Field Fencing	2,000	LF LS	\$ \$	32.00	\$	64,
Concession	s (2) concessions locations in the athletic building (similar layout and equipment	I.	LS	\$	100,000.00	\$	100,
	present at both locations). Warming (no cooking) kitchens currently. Floors,						
	walls, ceilings, and countertops in good condition. Reference food service report						
	prepared by JRA for concessions equipment.						
Ticket Boo	h Located in the middle of main entrance to complex. Octagonal shape building with	1	LS	\$	25.000.00	\$	25,
	adjacent gates. Building finishes match athletic complex. Brick/coiling doors and	•		Ť	20,000.00	Ŧ	20,
	asphalt shingles to match adjacent buildings. Exterior Sill brick in need of repair.						
	Facilities prefers to remove and relocate location of ticket booth.						
Entranc	e Main entrance drive (directly off Huelett Rd.) runs between athletic complex	I	LS	\$	15,000.00	\$	15,
	building entrance and main visitor parking lot. ADA parking access, safe access						
	from parking lot to complex could be improved. Exposed structural steel at						
	entrance canopy needs to be cleaned and refinished. Cracked concrete under						
	covered entrance to be adressed						
Mechanical Close	s Located on far west end and far east end of athletic complex buildings. (2) closets					\$	
	exists - serve each end of the complex where they are located. Hot Water Heater					•	
	replaced in 2021 in west mech closet.						
Bathroom(Plumbing fixtures, tile, toilet partitions, showers, mirrors, countertops are all 	I	LS	\$	100,000.00	\$	100,
,	functional but dated. Consider updates.						
Locker Boon	s Replace flooring. Replace ceilings. Walls and existing lockers in good condition.		LS	\$	50,000.00	\$	50,
	District mentioned they need more storage inside of athletic complex.			Ŧ	50,000.00	Ŧ	
Field	s Issue noted with ADA access/sidewalks from parking lots to fields complex. Long	I	LS	\$	500,000.00	\$	500,
	distance from parking lot to BB/SB/Soccer fields and not currently ADA						
	accessible. ADA safe access does not exist from High School to the Athletic						
	complex. Football field has recent turf and track updates. Tennis courts and						
	perimeter fencing needs to be replaced. Baseball and Softball fields need new						
	fencing and dugouts.						
Exterior Doors & Fenci	g Consider exterior door replacement/rusted frames and doors. Most of the fencing		with high s	chool co	sts	\$	
Exterior Doors & renci	(black chain link) needs to be removed and replaced.		10	¢	E0 000 00	6	F.0
	I Consider upgrade/cleaning/ to signage and scoreboard at football field. Flagpoles	I	LS	\$	50,000.00	\$	50
Scoreboard/lighting/WI							
	located here. Brick piers and cast stone (clean). Scoreboard ok. WIFI service just					1	
	added to the stadium complex in 2021. Scoreboards (small) do exist at						
Scoreboard/lighting/WI	added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields.		15	¢	100 000 00	\$	100
Scoreboard/lighting/WI	added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields. s Newer bleachers at Football and Soccer fields. Asphalt pavement at bleachers is	1	LS	\$	100,000.00	\$	100
Scoreboard/lighting/WI	added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields.	I	LS	\$	100,000.00	\$	100
Scoreboard/lighting/WI	added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields. s Newer bleachers at Football and Soccer fields. Asphalt pavement at bleachers is	1	LS	\$	100,000.00	\$	100
Scoreboard/lighting/WI Bleache	added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields. s Newer bleachers at Football and Soccer fields. Asphalt pavement at bleachers is in poor condition Bleacher/seating/press box updates needed at BB and SB fields.						
Scoreboard/lighting/WI Bleache	added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields. s Newer bleachers at Football and Soccer fields. Asphalt pavement at bleachers is		LS	\$	50,000.00	\$	100



Lighting	Uncertain of latest exterior lighting updates. Exterior lighting does exist at football					\$ -
	and soccer field. Did not see exterior stadium lighting at BB/SB fields. Exterior					
	fixtures need updates or bulb replacements.					
Egress	ADA access present to bleachers of football field (once safely inside athletic		see item above			\$ -
	complex). Condition of perimeter sidewalks and ADA access to Soccer/BB/SB					
	fields is an issue and needs to be addressed. Replace perimeter asphalt and					
	concrete walks. Perimeter walks used by maintenance and facilities around the					
	complex need to be replaced.					
Press Box	The door to the pressbox is not aligned with an aisle - difficult to access when	I	LS	\$	78,000.00	\$ 78,000
	spectators are present. Needs a facelift or update. Sound equipment mounted to					
	press box.					
Roof Access	Present with perimeter fencing at press box. Looks like 2nd floor of press box has					\$ -
	been taken out of service? Asphalt shingles look in good condition at main athletic					
	complex building.					
						\$ -
						\$ -
	Direct Trade					\$ 4,492,000

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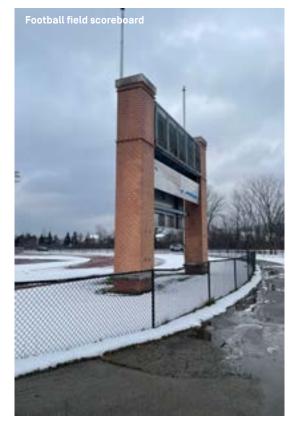






Athletic building aux space - mech and facilities storage













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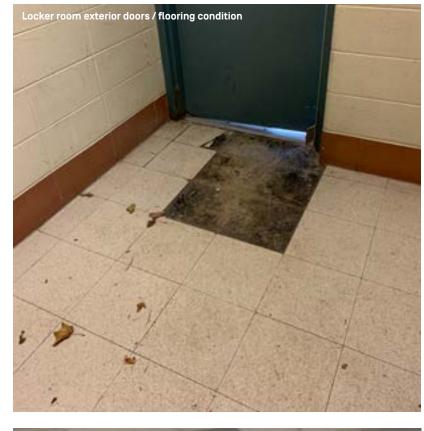


















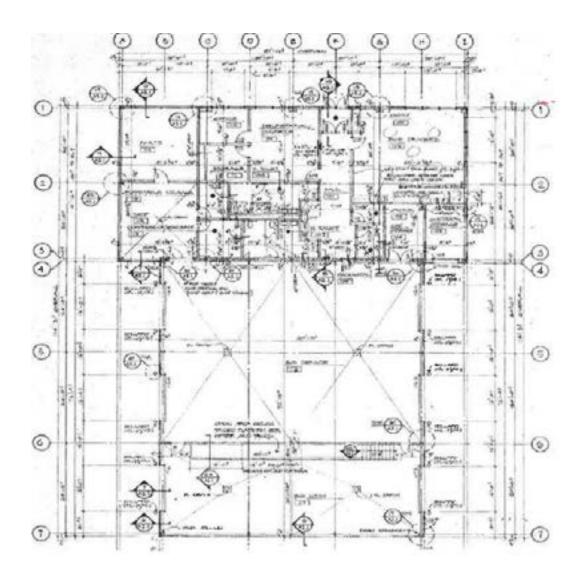
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Use:	Bus Service
	+ Transportation
Built:	1993
Additions + Renovations:	N/A
Total Building Area:	8,000 SF
Site Area:	15 Acres
Enrollment:	N/A
Square Footage per Student:	N/A
Renovation Cost:	\$1,456,711
Current Replacement Value (CRV):	\$2,000,000
Facility Condition Index (FCI):	73%











OBSERVATION HIGHLIGHTS

SITE

Fuel storage should be relocated from underground storage tanks to above grade onsite with a new open canopy for protection.

ARCHITECTURE

The facility is secure and has an enclosed gated perimeter. The bus fleet ranges from 20-30 active buses in use during the school year. The buses sit north of the building in a parking lot, not covered, with site lighting and dedicated electrical power for winter engine requirements. The main garage has [3] bays and corresponding two sided egress totaling [6] garage doors. (2) bays are dedicated for service with the last bay dedicated for washing. District expressed interest in updating the exterior appearance of vertical corrugated siding on the exterior of the building. Some signs of rust and deterioration present at the sill condition around the perimeter of the building. Interest in redesign of exterior north entrance with possibility of adding covered canopy and upgrades to meet current ADA barrier free standards for access of sidewalks. All aluminum exterior doors and frames in good condition at offices, district had not included this facility in recent updates to access control. Hollow metal doors and frames at garage locations need to be removed and replaced due to heavy use, functionality and rust present from winter salt application. Garage doors conditions deteriorating, district interest in new operators for all six door locations.

INTERIORS

The facility has a command center with dispatch area, break rooms and toilet rooms for employees, and a garage for maintenance. Interior flooring, including all carpet and tile, at the main offices, employee break area and toilet rooms all in good condition. Toilet room fixtures in good condition and ADA barrier free compliance also acceptable based on our site visit. District interested in improving current appliances and kitchenette area at employee break area.

MECHANICAL

Replace unit heaters, rooftop unit (4-ton), and make-up air units (3-4,300 cfm, 2-1,100 cfm). All exhaust fans need to be replaced. Upgrade DDC system. Add trench drain to bus service area. Replace water heater and plumbing fixtures.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical panels are in fair condition.

TECHNOLOGY

N/A

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a "good" condition.



DATA SHEETS

Facility Assessment Building Name

Bus Garage

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE		bood .	tair .	comments				
Drainage	х							
				Entrance drive, staff parking lot and facility lot repaved in 2016. Some				
Asphalt Parking/ Drives		x		patchy/cracks present in select areas but overall condition in good shape.				
Sidewalks		х		No ADA access into the building.				
Adequate Parking	х							
Bus Loop	<			Open lot for (22) Bus fleet. Site lighting and pole mounted electrical service currently installed for block heaters. District mentioned desire to add canopy for exterior bus protection and coverage (Ref: Portland Schools example).				
Landscaping	Х		x	Landscaping around the building needs improvement.				
Irrigation Systems			^	N/A - not present				
Fencing	x			Main vehicle egress gate operated by driver remotes.				
Signage	^			Wall vehicle egress gate operated by driver remotes.				
Dumpster Location		х		One dumpster present on exterior (north of fueling tanks).				
Traffic Directions	х							
Parking Lot Lighting				To be replaced with LED fixtures by the district				
Security		v		Exterior wall mounted cameras present. District has discussed system wide upgrades across the district.				
Security		Х		Located on west side of facility in parking lot. Underground fuel (Gas and				
				Diesel) requires monthly environmental inspections and expense. District would prefer to remove underground tanks and relocate above grade onsite				
Fuel Storage			х	with new open canopy for protection.				
			~	Curb/platform mounted units for gas and diesel. Operated by exterior keypad				
				access. Appear to be older, more signs of use on gas unit. Fire extinguisher				
Fuel Stations		x		mounted on site lighting				

ARCHITECTURAL	/.	2000	tait .	pol comments						
Building Shell										
				Built in 1993. Roof replaced over office area in 2014. Additional repair work						
				done on gutters and downspouts in 2014. Office building has flat/PVC						
		membrane roof, garage has sloped insulated metal roof. Some evidence of								
		leaks inside office building. No issues reported or seen in garage under met								
Roofing	x			roof.						
				Good condition at office building. Aluminum framed/insulated glass units						
				with operable vents/integral blinds and interior screens. No exterior windows						
				on main garage area. Window lights for visibility and daylight on garage						
Exterior Windows	x			doors.						

210



ARCHITECTURAL (CON'T)		2000	tair .	por comments						
				No major issues noted around the perimeter of the building. Building could						
				use maintenance strip around office building. Building could use						
Positive Drainage		х		update/removal of existing landscaping.						
				Main Entrance on north elevation - sidewalks are not ADA compliant and the						
				condition of the concrete is beginning to deteriorate.						
				Cracks/heaving/expansion all present. Improvement to sidewalks (approach						
Defined Entry		х		design and ADA requirements) should be updated.						
				Exterior ADA accessibility to complex is not up to current codes.						
				Sidewalks/curbs/doors/automatic operator hardware all need to be						
Accessibility			х	incorporated to meet current guidelines.						
				No soffits/canopies present around the perimeter of the building. Canopies						
Fascia/Soffits	х			desired at fueling location/ bus parking / and main entry to office.						
				Prefabricated metal building structure with vertical corrugated metal siding						
Prefab. Metal Building				(insulated at both office and garage). CMU interior back-up at office only.						
Structure		х		Signs of rust at base of building. Recommend repair and repaint.						
				Present only at exterior door frame locations. Doors and frames (2 locations						
				only) damaged from age/salt/rust at maintenance garage area and should be						
Caulk Joints		х		replaced.						
				Exterior vertical corrugated siding has exposed rust and deterioration around						
				the perimeter of the building. Worst locations located on north elevation at						
				office building. Siding bears on steel angle that is also rust and contributing to						
Water Stains			х	rust on siding.						
				Exterior pair of doors at main entry (aluminum frame) is good condition.						
				Want to add key card electronic hardware access to main entrance doors.						
				Hollow metal doors and frames at maintenance garage exterior should be						
Exterior Doors		х		removed and replaced (rust present at bottom of door and frame).						
				Vestibule pair of doors only at main entrance to office space. These						
				aluminum doors are in good condition but no operators for ADA present. Add						
Vestibule Entries	х			walk off mats at this location.						
				District currently in progress with bulb replacements at all current exterior						
Exterior Light	х			site fixtures. LED replacements.						

INTERIORS / FINISHES		bood	tair .	pool comments				
Corridors								
Lights		х		Update.				
Flooring		х		12x12 VCT to be replaced. Walk off CPT preferred at door.				
Ceiling/Walls		х		gging ceiling tiles to be replaced				
Lockers			х	Small bank of lockers in break area - remove and replace.				
Doors	x			Wood doors (with light kits) - good condition. No electronic locking hardware update at this facility. Hollow metal interior frames in good condition. No issues reported other than ADA updates required. Select areas has fire				
Emergency Egress		х		suppression.				
Toilet Rooms								
Fixtures Operational		х		Original, no issues reported but ready for upgrade.				
Toilet Partitions		х		Original, clean, functional.				
Walls		x		Original wall tile along with painted CMU present above tile to ceiling. Toilet Rooms ready for finishes upgrades.				



		600d 4	iair p	o ^{ot} comments
		Ĩ	ĺ	Original tile (2x2). Floors and walls could be updated along with fixtures.
				Could entertain same finish updates as seen recently at other buildings in the
Floors		х		district.
Floor Drains		х		No issues with floor drains reported.
				Original fixtures, could be replaced for better performance, lighting and
Lighting		х		adding controls.
Ceilings		х		Gypsum ceilings, no issues reported, ready for repair and fresh coat of paint.
Mirrors		х		Original, dated, ready for replacement.
				Grab bars present both mounting heights /locations of toilet paper holders
ADA Accessible			х	not correct. Would need to be corrected.
				Yes, no issues with size. shower currently in Men's restroom, but not one
Adequate Size	х			located in Women's restroom.
Offices				
				Carpet to be replaced in offices. 12x12 VCT throughout corridors, break room
Flooring		х		and storage rooms to be replaced.
Furniture		х		Update.
				Ceiling tiles to be replace(recommend replacing grid with a 2x2 grid). Replace
Walls / Ceilings		х		other light fixtures/diffusers. CMU walls in good condition.
Casework	х			
Marker/Chalkboards	х			
Phone System	х			No issues reported with dispatch operator system.
Lighting		х		Fixture updates preferred.
				Storage closet, Janitorial closet, Break Room, Main office, Director office all
				present on interior of office space. Office has electrical service, gas service
General Note				and large antenna all located along the east elevation of the building.
				Not bad for office space, no issues reported by head of maintenance with
Visibility	х			vehicles entering/exiting the facility.
Accessibility			x	Some concerns noted around accessibility inside/outside building
Shop				
				No issues reported on need for facility expansion. Shop has (2) large interior
Size	х			maintenance bays, (1) additional dedicated bay for washing.
				Exposed concrete slab. Need to install new trench drains and floors drains.
Flooring		х		Issues with slope to drain in main garage/wash bay area/tools room.
Ceilings	х			No issues noted with steel/insulated metal roof panels. Small fans present
				Corrosion at base of HM frames in some locations - Recommend
Doors		х		replacement
Lighting	х			New light fixture upgrades recently completed by district.
				Facility has tire (new/used) storage room on exterior with overhead door.
				Natural gas and fire suppression feed located in this room on east side of
Tire Storage		х		building. Overhead door should be repaired or replaced.
				Multiple Unit Heaters (older) present for heat. Had issues onsite operating
				main exhaust fan in garage. Building need to be recommissioned and further
				investigated with Testing and Balancing contractor. Mentioned issue with
				controls/temperature of warm air being provided to tool and part storage
HVAC/Ventilation		х		room by Rooftop unit mounted above office space.
				(6) Original doors and operators. Having issues operating doors recently.
				Some exposed gasketing/ worn seals/draft areas present. Good candidate for
Garage Doors				new operators and possible new doors as well.
				Sloped metal insulated panel roof, no leaks present or noted. Exterior gutters
Roof		x		and downspouts present.



INTERIORS / FINISHES (CON'T)		Rood	tair	comments				
				Need new waste oil tank (produce 350 gallons of waste oil per year. Tank				
Waste Oil Tank			х	mounted on west elevation outside garage.				
Vehicle Exhaust		х		No issues reported by staff onsite.				
Mechanical Lifts		х		New, mobile hydraulic lifts located in garage				
				Has carbon monoxide monitoring unit wall mounted. Has stairs/platform to				
				assist with washing. Unit Heaters need to be replaced in this bay. Floor drains				
Wash Bay		х		need to be replaced.				
Accessibility		х		mp into Shop - confirm with Barrier Free requirements				
				mmable storage located near tool shop in garage. Room is protected with				
Other	х			ire suppression coverage.				
Break Room								
Seating		х		Update furniture - round tables and chairs present in break room				
				Standard Fridge, sink, cabinets, toaster, cabinets and lockers present in room.				
				Should all be updated - plenty of space available in break room for updates.				
Equipment		х		Employee appreciation opportunity here.				
				Casework in good condition. Additional casework / counter space would be				
Casework		х		beneficial for microwave/refrigerator / coffee maker				
				Ceilings (2x4 tiles and fixtures) in ok condition but office area is ready for				
				ceilings/fixtures update. Interior CMU with aluminum framed windows.				
Ceilings/Walls		х		Good condition. Rubber floor base and paint updates preferred.				
Floors		х		12x12 VCT ok condition but ready for flooring upgrade.				
Lighting		х		Update original fixtures.				

MECHANICAL	Bood .	air	post comments					
Heating Source and			Building is served by gas-fired equipment. Interested in waste oil heat (use					
Condition		Х	around 350 gallons per year).					
Heating Pumps and Piping			N/A.					
Cooling Source and								
Condition		Х	Individual DX cooling.					
Cooling Pumps and Piping			N/A.					
			Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit					
Terminal Devices		Х	heaters. (6) 200 MBH UH's, (1) 2 kW electric UH					
			4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA					
			units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect					
			fired, not working), and Paint (1,100 cfm indirect fired, not working) areas					
AHUs and RTUs		Х	and are at end of life.					
			All exhaust is at end of life. CO alarm system works but at end of life. (2) 500					
			cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1)					
Ventilation		Х	4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF.					
Building Management								
System/Controls		Х	Trane 4-ton RTU is only thing on Trane BMS.					
Domestic Water Piping		Х	No known piping issues. Floor drains in Garage don't collect properly.					
Water Heaters		Х	Building is served by a 50 gallon, 50 MBH water heater and is at end of life.					
Plumbing Fixtures		Х	All plumbing fixtures are at end of life.					
Fire Protection			N/A.					
Pool equipment			N/A.					

ELECTRICAL		Bood	fair	pool comments
Transformer size	х			
Primary/Secondary Service	х			
Generator				There is no generator on site.
Occupancy Sensors				N/A
Lighting Control System			х	Toggle switches. Needs updating.



ELECTRICAL (CON'T)		Bood	fair	post comments			
Panels	х			Majority of panels are in good shape.			
Panel Clearance	х			leed to remove storage items.			
				Upgraded in the last 5 years. Future upgrades could include voice activation			
Fire Alarm	х			(district wide)			
Interior Lighting			х	Fluorescent fixtures throughout need to be replaced.			
Exit Sign			х	Exit signs are very old and letters are dim.			



BUDGET DETAIL

ITEM #:	19				Acres:		15
	Transportation Building - Site	work					
						То	tal Cost
Sitework	SITEWORK					\$	-
Drainage						\$	-
Asphalt Parking/ Drives	Entrance drive, staff parking lot and facility lot repaved in 2016. Some		assume wo	ork not re	quired	\$	-
	patchy/cracks present in select areas but overall condition in good shape.						
Sidewalks	No ADA access into the building.	I	LS	\$	25,000.00	\$	25,00
Adequate Parking						\$	-
Bus Loop	Open lot for (22) Bus fleet. Site lighting and pole mounted electrical service					\$	-
	currently installed for block heaters. District mentioned desire to add canopy for						
	exterior bus protection and coverage (Ref: Portland Schools example).						
Playgrounds						\$	-
Student Drop off Area						\$	-
	Landscaping around the building needs improvement.	I	LS	\$	25,000.00	\$	25,00
Irrigation Systems						\$	-
	N/A - not present					\$	-
	Main vehicle egress gate operated by driver remotes.					\$	-
Service Entrance						\$	-
Signage						\$	-
0 0	One dumpster present on exterior (north of fueling tanks).					\$	-
Traffic Directions						\$	-
Parking Lot Lighting	To be replaced with LED fixtures by the district		assume by	owner		\$	-
Retaining Walls			,			\$	-
•	Exterior wall mounted cameras present. District has discussed system wide					\$	-
,	upgrades across the district.						
Fuel Storage	Located on west side of facility in parking lot. Underground fuel (Gas and Diesel)		excluded				
0	requires monthly environmental inspections and expense. District would prefer to						
	remove underground tanks and relocate above grade onsite with new open						
	canopy for protection.						
Fuel Storage	add canopy for 2 buses		excluded				
-	Curb/platform mounted units for gas and diesel. Operated by exterior keypad					\$	-
	access. Appear to be older, more signs of use on gas unit. Fire extinguisher						
	mounted on site lighting						
						\$	
						\$	-
	Direct Trade	15	acres	\$	3.333.33	\$	50,00



ITEM #:	20			G	ross Area:		8,00
	Transportation Building - Building Im	proveme	nts				
	Description	Quantity	UOM		Unit Cost	то	otal Cost
Building Shell						\$	-
	Built in 1993. Roof replaced over office area in 2014. Additional repair work done		assume wo	ork not re	equired	\$	-
0	on gutters and downspouts in 2014. Office building has flat/PVC membrane roof,				•		
	garage has sloped insulated metal roof. Some evidence of leaks inside office						
	building. No issues reported or seen in garage under metal roof.						
	building. No issues reported of seen in garage under metarroor.						
Exterior Windows	Good condition at office building. Aluminum framed/insulated glass units with		assume wo	ork not re	equired	\$	
	operable vents/integral blinds and interior screens. No exterior windows on main				- 1	•	
	garage area. Window lights for visibility and daylight on garage doors.						
	garage area. Window lights for visionity and daylight of garage doors.						
Positive Drainage	No major issues noted around the perimeter of the building. Building could use					\$	
r ostario Branago	maintenance strip around office building. Building could use update/removal of					Ŧ	
Defined Entry	existing landscaping. Main Entrance on north elevation - sidewalks are not ADA compliant and the					\$	
Defined Entry						Ф	
	condition of the concrete is beginning to deteriorate. Cracks/heaving/expansion all						
	present. Improvement to sidewalks (approach design and ADA requirements)						
A	should be updated.		1.0	•	50 000 00	•	50/
Accessibility	Exterior ADA accessibility to complex is not up to current codes.	I	LS	\$	50,000.00	\$	50,0
	Sidewalks/curbs/doors/automatic operator hardware all need to be incorporated						
	to meet current guidelines.						
Fascia/Soffits	No soffits/canopies present around the perimeter of the building. Canopies					\$	
	desired at fueling location/ bus parking / and main entry to office.						
Maintenance Room Entry						\$	
refab. Metal Building Structure	Prefabricated metal building structure with vertical corrugated metal siding	1,600	SF	\$	105.00	\$	168,0
	(insulated at both office and garage). CMU interior back-up at office only.Signs of						
	rust at base of building. Recommend repair and repaint.						
Brick	No brick/stone present. Interior CMU wall construction at office location.					\$	
EIFS Fascia/Soffits						\$	
	Present only at exterior door frame locations. Doors and frames (2 locations	1	LS	\$	5,000.00	\$	5,
eddin joniu	only) damaged from age/salt/rust at maintenance garage area and should be			Ť	5,000.00	Ŧ	0,
	replaced.						
Water Stains	Exterior vertical corrugated siding has exposed rust and deterioration around the	1	LS	\$	15,000.00	\$	15,
Water Stairs		'	25	Ψ	13,000.00	Ψ	13,
	perimeter of the building. Worst locations located on north elevation at office						
	building. Siding bears on steel angle that is also rust and contributing to rust on						
	siding.		1.0	¢	10,000,00	¢	10.4
Exterior Doors	Exterior pair of doors at main entry (aluminum frame) is good condition. Want to	I	LS	\$	10,000.00	\$	10,
	add keycard electronic hardware access to main entrance doors. Hollow metal						
	doors and frames at maintenance garage exterior should be removed and replaced						
	(rust present at bottom of door and frame).						
Vestibule Entries	Vestibule pair of doors only at main entrance to office space. These aluminum	I		\$	7,500.00	\$	7,
	doors are in good condition but no operators for ADA present. Add walk off						
	mats at this location.						
Exterior Lighting	District currently in progress with bulb replacements at all current exterior site		assume by	owner		\$	
	fixtures. LED replacements.						
General Note						\$	
						\$	
	INTERIORS					\$	
Walls	Paint/refresh entire building	8,000	SF	\$	1.50	\$	12,
Corridors	Corridors	290	SF			\$	
Lighting		290	SF	\$	7.50	\$	2,
	12x12 VCT - ready for upgrade. Walk off mats preferred by district.	32.22		\$	63.54	\$	2,
, end and end a	Sagging ceiling tiles to be replaced		1			\$	_,
	Add diffuser and grilles with new ceilings	290	SF	\$	0.62	\$	
-	Small bank of lockers in break area - remove and replace.		EA	\$	300.00	\$	L,
	Wood doors (with light kits) - good condition. No electronic locking hardware		EA	\$ \$	1,000.00	\$	20,
DOOLS		20	<u>-</u> ~	4	1,000.00	Ψ	20,
	update at this facility. Hollow metal interior frames in good condition.						
.							
Size of Corridor						\$	
Flow of Corridor						\$	
Emergency Egress	No issues reported other than ADA updates required. Select areas has fire					\$	
	suppression.						
Interior Signage	Interior signage	8,000	SF	\$	0.55	\$	4,
		310	SE	I		\$	
Toilet Rooms	Toilet Rooms	310	51			Ψ	

CHRISTMAN

11 TRANSPORTATION BUILDING -

	Original clean functional		0.00110000	rk not -	quirod	¢	
	Original, clean, functional. Original wall tile along with painted CMU present above tile to ceiling. Toilet	310	assume wo SF		quired 4.00	\$ \$	-
vvalls	Original wall tile along with painted CMU present above tile to ceiling. Toilet Rooms ready for finishes upgrades.	310	JF	\$	4.00	φ	1,240
Floors		1	LS	\$	3,500.00	\$	3,500
10013	Original tile (2x2). Floors and walls could be updated along with fixtures. Could	i	L3	φ	5,500.00	φ	3,300
	entertain same finish updates as seen recently at other buildings in the district.						
Floor Drains	No issues with floor drains reported.					\$	
	Original fixtures, could be replaced for better performance, lighting and adding	310	SF	\$	8.00	\$	2,480
Lighting	controls.	510	51	Ŧ	0.00	Ψ	2,100
Heating	Add diffuser and grilles with new ceilings	310	SF	\$	0.50	\$	155
Hand Dryers		0.0	0.	Ŧ	0.00	\$	-
	Gypsum ceilings, no issues reported, ready for repair and fresh coat of paint.		with item a	hove		\$	-
ec			With Real a			Ŧ	
Mirrors	Original, dated, ready for replacement.					\$	
	Grab bars present both mounting heights /locations of toilet paper holders not	I	LS	\$	5,000.00	\$	5,000
	correct. Would need to be corrected.		-		-,	·	
Adequate Size	Yes, no issues with size. shower currently in Men's restroom, but not one located					\$	-
	in Women's restroom.					Ŧ	
Offices	Offices	1,274	SF			\$	
	Carpet - replace is offices. I2x12 VCT throughout corridors, break room and	141.56		\$	63.54	\$	8,994
	storage rooms - ready for replacement (add walk off mats).		-	•		·	
	storage rooms - ready for replacement (and wark on mats).						
Furniture	Update					\$	
	Ceiling tiles to be replace(recommend replacing grid with a 2x2 grid). Replace	1,274	SF	\$	12.00	\$	15,288
i i ano, e cimigo	other light fixtures/diffusers. CMU walls in good condition.	.,_/ .	0.	÷	. 2.00	Ŧ	.0,200
Casework			assume wo	tk not re	auired		
Marker/Chalkboards	N/A		assume we		qui cu		
Walls							
	No issues reported with dispatch operator system.					\$	
	Fixture updates preferred.	1,274	SF	\$	8.00	\$	10,192
	Add diffuser and grilles with new ceilings	1,274		\$	0.42	\$	540
Copy/Work Room	Add dinuser and grines with new centings	1,277	51	Ψ	0.42	\$	
Meeting Rooms						\$	
Coffee Break Area						⊅ \$	
	Stanner slavet knigenist slavet Durch Daam Mais affaa Dinastan affaa all					\$	-
General Note	Storage closet, Janitorial closet, Break Room, Main office, Director office all					Ъ	-
	present on interior of office space. Office has electrical service, gas service and						
	large antenna all located along the east elevation of the building.						
Me data	large antenna all located along the east elevation of the building.						
Visibility	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles					\$	
-	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility.						-
Accessibility	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building					\$	-
Accessibility Shop	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop					\$	-
Accessibility Shop	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior					\$	-
Accessibility Shop Size	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing.					\$ \$ \$	-
Accessibility Shop Size	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues		LS	\$	35,000.00	\$	- - - 35,000
Accessibility Shop Size	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing.		LS	\$	35,000.00	\$ \$ \$	
Accessibility Shop Size Flooring	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room.		LS	\$	35,000.00	\$ \$ \$ \$	- - - 35,000
Accessibility Shop Size Flooring Ceilings	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present					\$ \$ \$ \$	-
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Accessibility Shop Size Flooring Ceilings Doors	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement					\$ \$ \$ \$ \$ \$	-
Accessibility Shop Size Flooring Ceilings Doors Lighting	Iarge antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Some concerns noted around accessibility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district.					\$ \$ \$ \$ \$ \$ \$	-
Accessibility Shop Size Flooring Ceilings Doors Lighting	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural					\$ \$ \$ \$ \$ \$	-
Accessibility Shop Size Flooring Ceilings Doors Lighting	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building.					\$ \$ \$ \$ \$ \$ \$	-
Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced.					\$ \$ \$ \$ \$ \$ \$ \$ \$ \$	25,00
Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building.					\$ \$ \$ \$ \$ \$ \$	25,00
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Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage HVAC/Ventilation	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced. Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Rooftop unit mounted above office space.			\$	25,000.00	\$ \$ \$ \$ \$ \$ \$ \$	- 25,000 - - 6,000
Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage HVAC/Ventilation	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced. Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Rooftop unit mounted above office space. (6) Original doors and operators. Having issues operating doors recently. Some					\$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 25,000 - - 6,000
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Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage HVAC/Ventilation Garage Doors	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced. Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Rooftop unit mounted above office space. (6) Original doors and operators. Having issues operating doors recently. Some exposed gasketing/ worn seals/draft areas present. Good candidate for new			\$	25,000.00	\$ \$ \$ \$ \$ \$ \$ \$	- 25,000 - - 6,000
Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage HVAC/Ventilation Garage Doors	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced. Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Roofcop unit mounted above office space. (6) Original doors and operators. Having issues operating doors recently. Some exposed gasketing/ worn seals/draft areas present. Good candidate for new operators and possible new doors as well.	6	EA assume wo	\$	25,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 25,000 - - 6,000
Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage HVAC/Ventilation Garage Doors Roofing	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Shop No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced. Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Roofcop unit mounted above office space. (6) Original doors and operators. Having issues operating doors recently. Some exposed gasketing/ worn seals/draft areas present. Good candidate for new operators and possible new doors as well. Sloped metal insulated panel roof, no leaks present or noted. Exterior gutters and <td>6</td> <td>EA</td> <td>\$</td> <td>25,000.00</td> <td>\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$</td> <td>- 25,000 - - 6,000 45,000</td>	6	EA	\$	25,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 25,000 - - 6,000 45,000
Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage HVAC/Ventilation Garage Doors Roofing	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building Some concerns noted around accessibility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced. Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Rooftop unit mounted above office space. (6) Original doors and operators. Having issues operating doors recently. Some exposed gasketing/ worn seals/draft areas present. Good candidate for new operators and possible new doors as well. Sloped metal insulated panel roof, no leaks present or noted. Exterior gutters and downspouts present. <td>6</td> <td>EA assume wo</td> <td>\$ \$</td> <td>25,000.00</td> <td>\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$</td> <td>- 25,000 - - 6,000 45,000</td>	6	EA assume wo	\$ \$	25,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 25,000 - - 6,000 45,000
Accessibility Shop Size Flooring Ceilings Doors Lighting Tire Storage HVAC/Ventilation Garage Doors Roofing Waste Oil Tank	large antenna all located along the east elevation of the building. Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility. Some concerns noted around accessibility inside/outside building No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing. Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room. No issues noted with steel/insulated metal roof panels. Small fans present Corrosion at base of HM frames in some locations - Recommend replacement New light fixture upgrades recently completed by district. Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced. Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Rooftop unit mounted above office space. (6) Original doors and operators. Having issues operating doors recently. Some exposed gasketing/ worn seals/draft areas present. Good candidate for new operators and possible new doors as well. Sloped metal insulated panel roof, no leaks present or noted. Exterior gutters and downspouts present. <td>6</td> <td>EA assume wo</td> <td>\$ \$</td> <td>25,000.00</td> <td>\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$</td> <td>- - - 35,000 - 25,000 - - - 6,000 45,000 - 15,000</td>	6	EA assume wo	\$ \$	25,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - 35,000 - 25,000 - - - 6,000 45,000 - 15,000

11 TRANSPORTATION BUILDING

Wash Bay							
	Has carbon monoxide monitoring unit wall mounted. Has stairs/platform to assist					\$	-
	with washing. Unit Heaters need to be replaced in this bay. Floor drains need to						
	be replaced.						
Accessibility	Ramp into Shop - confirm with Barrier Free requirements					\$	-
						\$	
Other	Flammable storage located near tool shop in garage. Room is protected with fire					Þ	-
	suppression coverage.						
Break Room	Break Room		SF			\$	-
Seating	Update furniture - round tables and chairs present in break room					\$	-
Equipment	Standard Fridge, sink, cabinets, toaster, cabinets and lockers present in room.					\$	
Equipment						Ψ	
	Should all be updated - plenty of space available in break room for updates.						
	Employee appreciation opportunity here.						
Casework	Casework in good condition. Additional casework / counter space would be	I	ALLOW	\$	15,000.00	\$	15,00
	beneficial for microwave/refrigerator / coffee maker						
Ceilings/Walls	Ceilings (2x4 tiles and fixtures) in ok condition but office area is ready for	1,874	SF	\$	14.50	\$	27,1
8		.,	-	*		*	,.
	ceilings/fixtures update. Interior CMU with aluminum framed windows. Good						
	condition. Rubber floor base and paint updates preferred.						
Cooler/Freezer						\$	-
Floors	12x12 VCT ok condition but ready for flooring upgrade.					\$	-
						-	
Dalissens						¢	
Delivery Space				 		\$	-
Storage Space						\$	-
Kitchen Hood						\$	-
Make-up Air						\$	-
Serving Line				1		\$	-
,							
Electrica				<u> </u>		\$	-
Lighting	Update original fixtures.	1,874		\$	8.00	\$	14,9
Heating	Add diffuser and grilles with new ceilings	1,874	SF	\$	0.50	\$	9
Secureo						\$	-
Fire Suppression/FA						\$	
						•	-
Overal						\$	-
						\$	-
	MECHANICAL					\$	-
Heating Source and Condition	Building is served by gas-fired equipment. Interested in waste oil heat (use around		covered w	ith other	r item	\$	-
ricating source and condition				iai oaici	licent	¥	
	350 gallons per year).			1		-	
Heating Pumps and Piping	N/A.					\$	-
Cooling Source and Condition	Individual DX cooling.					\$	-
Cooling Pumps and Piping						¢	_
Cooling Pumps and Piping					- 14	\$	-
	N/A. Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit		covered w	ith other	r item	\$ \$	-
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters.			ith other		\$	-
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit		covered w LS	ith other \$	r item 70,000.00		-
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA	I		1		\$	-
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect	1		1		\$	-
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are	I		1		\$	-
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life.		LS	\$	70,000.00	\$	- 70,0
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are			1		\$	- 70,0
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life.		LS	\$	70,000.00	\$	- 70,0
Terminal Device	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm		LS	\$	70,000.00	\$	- 70,0
Terminal Device AHUs and RTUs Ventilation	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF.	-	LS LS	\$	70,000.00	\$ \$ \$	- 70,00
Terminal Device AHUs and RTU Ventilation Building Managemen	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm	-	LS	\$	70,000.00	\$	- 70,00
Terminal Device AHUs and RTU Ventilation Building Managemen System/Control	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS.	-	LS LS	\$	70,000.00	\$ \$ \$	- 70,0
Terminal Device AHUs and RTU Ventilation Building Managemen System/Control	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF.	-	LS LS	\$	70,000.00	\$ \$ \$	- 70,0 15,5
Terminal Device AHUs and RTU Ventilation Building Managemen System/Control	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS.	-	LS LS	\$	70,000.00	\$ \$ \$	- 70,00
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Controls Domestic Water Piping	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS.		LS LS	\$	70,000.00	\$ \$ \$	- 70,0
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Controls Domestic Water Piping	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly.		LS LS EA	\$	70,000.00	\$ \$ \$ \$	- 70,0 15,5 10,0 -
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control Domestic Water Piping Water Heaters	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life.	 	LS LS EA EA	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control: Domestic Water Piping Water Heaters Plumbing Fixtures	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life.	 	LS LS EA	\$	70,000.00	\$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control: Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are <u>at end of life</u> . All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life.	 	LS LS EA EA	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 -
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control: Domestic Water Piping Water Heaters Plumbing Fixtures	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are <u>at end of life</u> . All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life.	 	LS LS EA EA	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control: Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are <u>at end of life</u> . All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life.	 	LS LS EA EA	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0 20,0 -
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control: Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are <u>at end of life</u> . All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. ELECTRICAL	 	LS LS EA EA	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0 20,0 - - -
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generator	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are <u>at end of life</u> . All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. ELECTRICAL There is no generator on site.	 	LS EA EA	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0 20,0 - - - - -
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generator Lighting	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. ELECTRICAL There is no generator on site. Misc. areas unaccounted for	 	LS LS EA EA	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0 - - - - - - - - - - - - -
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generator	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. ELECTRICAL There is no generator on site. Misc. areas unaccounted for		LS EA EA LS SF	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0 20,0 - - -
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control: Domestic Water Piping Water Heaters Plumbing Fixture: Fire Protection Pool equipmen Generator Lighting Occupancy Sensors	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. ELECTRICAL There is no generator on site. Misc. areas unaccounted for	 	LS EA EA LS SF	\$ \$ \$ \$	70,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0 - - - - - - - - - - - - -
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control: Domestic Water Piping Water Heaters Plumbing Fixture: Fire Protection Pool equipmen Generator Lighting Occupancy Sensors Lighting Control System	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. M/A. M/A. Misc. areas unaccounted for N/A Toggle switches. Needs updating.		LS EA EA LS SF	\$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 8,000.00 20,000.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - 8,0 - - - - - - - - - - - - - - - - - - -
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Controls Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generaton Lighting Occupancy Sensors Lighting Control System Panels	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. N/A. Misc. areas unaccounted for N/A Toggle switches. Needs updating. Majority of panels are in good shape.		LS EA EA LS SF	\$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 8,000.00 20,000.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - - - - - - - - - - - - - - - - - -
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Control Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generaton Lighting Occupancy Sensors Lighting Control System Panel	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. N/A. N/A. M/A. M/A. M/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items.		LS EA EA LS SF	\$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 8,000.00 20,000.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - - - - - - - - - - - - - - - - - -
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Control Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generaton Lighting Occupancy Sensors Lighting Control System Panel	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. N/A. Misc. areas unaccounted for N/A Toggle switches. Needs updating. Majority of panels are in good shape.		LS EA EA LS SF	\$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 8,000.00 20,000.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - - - - - - - - - - - - - - - - - -
Terminal Devices AHUs and RTUs Ventilation Building Managemen System/Control Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generaton Lighting Occupancy Sensors Lighting Control System Panel	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. N/A. N/A. M/A. M/A. M/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items.		LS EA EA LS SF	\$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 8,000.00 20,000.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - - - - - - - - - - - - - - - - - -
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generaton Lighting Occupancy Sensors Lighting Control System Panel Panel Clearance Fire Alarm	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. N/A. Toggle switches. Needs updating. Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)		LS EA EA LS SF SF	\$ \$ \$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 8,000.00 20,000.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generaton Lighting Occupancy Sensors Lighting Control System Panel Panel Clearance Fire Alarm Lighting	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. Misc. areas unaccounted for N/A Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced.		LS LS EA EA LS SF SF in areas ab	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 8,000.00 20,000.00 7.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - - - - - - - - - - - - - - - - - -
Terminal Devices AHUs and RTU: Ventilation Building Managemen System/Control Domestic Water Piping Water Heaters Plumbing Fixtures Fire Protection Pool equipmen Generaton Lighting Occupancy Sensors Lighting Control System Panel Panel Clearance Fire Alarm Lighting Exit Signs	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. 4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life. All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF. Trane 4-ton RTU is only thing on Trane BMS. No known piping issues. Floor drains in Garage don't collect properly. Building is served by a 50 gallon, 50 MBH water heater and is at end of life. All plumbing fixtures are at end of life. N/A. N/A. N/A. Misc. areas unaccounted for N/A Majority of panels are in good shape. Need to remove storage items. Upgraded in the last 5 years. Future upgrades could include voice activation (district wide) Fluorescent fixtures throughout need to be replaced. Exit signs are very old and letters are dim.	 	LS EA EA LS SF SF in areas ab in areas ab	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	70,000.00 15,500.00 10,000.00 20,000.00 20,000.00 1.50	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 70,0 15,5 10,0 - - - - - - - - - - - - - - - - - -
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11 TRANSPORTATION BUILDING











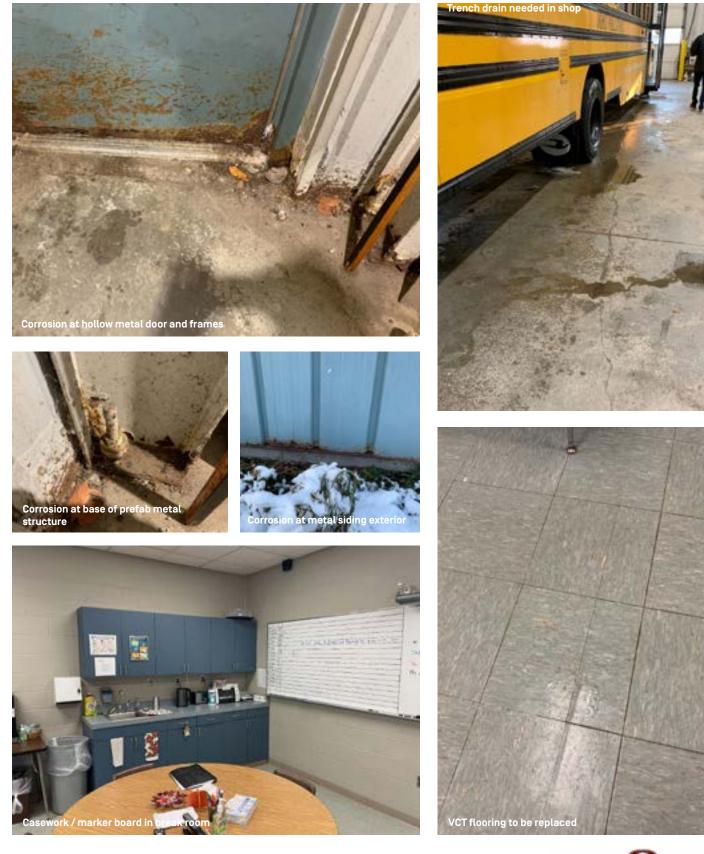








11 TRANSPORTATION BUILDING



Terrer Perkster OKEMOS



Use:

Built: Additions + Renovations: Total Building Area: Site Area:

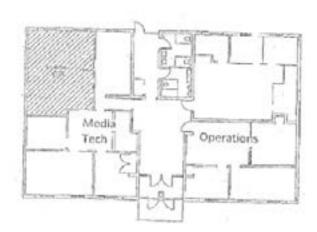
Enrollment: Square Footage per Student: Renovation Cost:

Current Replacement Value [CRV]: \$4,500,000

Facility Condition Index (FCI):

Operations / Technology Maintenance 1975 N/A 6,000 SF / Building East of Administration Building N/A N/A \$5,930,892 \$4,500,000

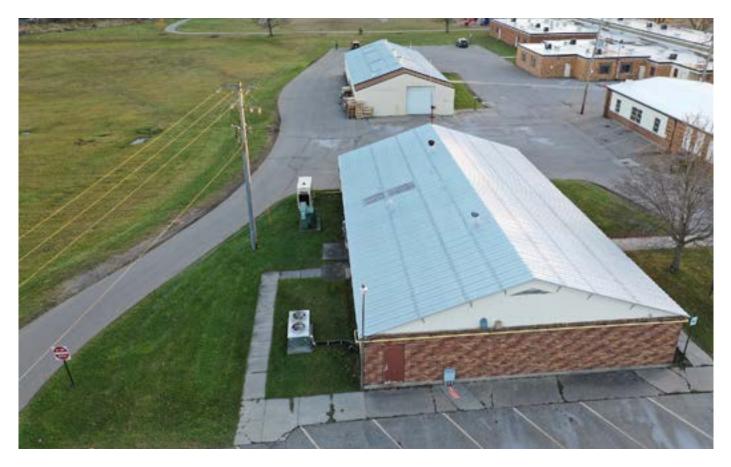














Terres Pickaar OKEMOS



OBSERVATION HIGHLIGHTS

SITE

AM/PM - Parent drop-off loop circles/surrounds these structures. Multiple dumpsters located between technology/ maintenance builds & the central montessori building.

ARCHITECTURE

Located on the Central Admin/Montessori school campus directly off Okemos Road, [3] separated buildings are positioned off the east elevation of the school. Most facilities date back to the 1970's. It was noted that below-grade tunnel access exists for utilities to each of these buildings from the main Administration building mechanical room. The building positioned closest to the school is a dedicated maintenance outpost with vehicle parking, small offices and workshops for small repairs. The next building, positioned furthest to the southeast, was once the print shop for the district. This building is offline with no functional heating/cooling/domestic services. This building also serves as additional maintenance storage for the district. The third and last building houses district mail distribution, offices for the facilities staff (including Director of Operations Mark Fargo), and the main information technology suite for the district. The building has a dedicated generator and liebert cooling unit for the IDF room that houses the main servers for the district. IT has a few offices for their staff used both for troubleshooting repairs and meetings.

INTERIORS

If all of these buildings are salvaged and kept in service for the future, the following list of items should be considered for replacement to keep up with current standards; remove and replace all flooring, casework, furniture, ceilings, perimeter windows and framing, and all exterior doors and frames at the operations location. Similar comments could be made for the grounds building and maintenance storage building which does not have any finished office space but would need the remainder of updates mentioned above including renovations to the current toilet rooms.

MECHANICAL

Replace all exhaust fans, water heaters, and plumbing fixtures.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exterior lighting is minimal and could use more lighting. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical panels are in fair condition.

TECHNOLOGY

Synchronized clock system does not exist. Paging system needs to be upgraded. AV systems needed for conference & huddle room(s). Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

These buildings are not good candidates for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating.



DATA SHEETS

Facility Assessment

Building Name

Operations/Tech/Grounds

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years Fair = item meets current use, showing signs of age and should be replaced in the next 10 years Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE	BOOD	fair	re ^{od} comments
			Okemos road currently has storm drainage issues with large rain events.
			Some overflow dumps into Central Lots. New construction/modifications in
Drainage	х		progress at intersection of Okemos Rd & Mt Hope Rd.
			Cracking present - beyond repairable by sealing. No curb and gutter present
Asphalt Parking/ Drives		х	in these back lots.
Sidewalks	х		ok, but deteriorating condition.
			Most parking to the north of the site is congested and full. More parking
			located south of the Technology and Maintenance buildings. Most visitors
Adequate Parking	х		probably unaware that additional parking is available.
Landscaping		Х	Minimal landscaping present.
Irrigation Systems			Not present.
Fencing			Not present.
			Located off Okemos/Mt Hope intersection. Routed north of Administration
Service Entrance	х		building. Intersection undergoing redesign and construction during 2022.
Signage		Х	
			Multiple dumpsters located between technology/maintenance builds & the
			central Montessori building. Can these all be relocated to one central
Dumpster Location		х	location with enclosure?
Parking Lot Lighting		Х	Minimal around these buildings.
			We were informed that underground service tunnels (not walkable) exist
			from Admin mech room on ground floor to auxiliary technology and
Tunnels		х	maintenance buildings
Building 1			Dumpsters, power poles and parking surround building
			South elevation has exterior elevated Air Conditioning unit and dumpster.
			East elevation has exterior Liebert units (serve data room), electrical
			transformer service and Kohler generator. West elevation has main entrance
Building 2			and gas service/meter.
			Parking on west elevation, Overhead door entrance on north elevation, east
			elevation serving an empty pallet storage and south elevation has existing
Building 3			propane tank (in service?) and small air conditioning condenser.

ARCHITECTURAL	Bood	fair	poot comments
Building Shell			
			Corrugated metal roofing installed on all (3) buildings -
			Grounds/Tech/Maintenance. Roofing recommended for replacement during
			2018 bond cycle and facility assessment. Downspouts to grade. Stained
Roofing		х	translucent panels on the Garage Building should be replaced.
Exterior Windows		Х	Original - recommended for replacement during 2018 bond cycle





ARCHITECTURAL (CON'T)	Bood	fair	30 ^{ot} comments
			Drainage around buildings not terrible, but pavement (asphalt and concrete)
Positive Drainage	х		in need of repair/removal.
Defined Entry	х		Yes to both the technology and maintenance building.
Accessibility	х	х	Not ADA compliant.
			Original, old brick and CMU is in ok shape. Has not been cleaned recently-
Brick	х		mildew/dirt present.
EIFS	х		Buildings do have.
Aluminum siding	х		Vertical aluminum siding at window infill at Shop building
Caulk Joints			NA
			Buildings appearance is dated/old/dirty/not presentable or representative of
Water Stains		х	the future upgrades.
Exterior Doors		Х	All exterior entrances and doors should be replaced.
			Present at technology/facilities building - need to be replaced. No vestibule
Vestibule Entries		х	at mail room.
			Minimal poles in parking lot, no exterior wall mounted light fixtures present
Exterior Light		х	on these buildings.
			Camera's present on buildings for monitoring (security system and
Security		х	installation performed by Okemos School district).

INTERIORS / FINISHES	Bood	tair	pool comments
Shop Building			
Flooring	х		Wood floor in shop, exposed concrete in garage
			gyp. board lid on bottom side of structure, ACT in office, exposed deck in
Ceiling	х		garage
Windows		х	Original single pane windows should be replaced
Casework			N.A
Walls	х		Exposed brick walls on interior
Doors		х	Replace doors, Overhead garage door appears to be in good condition.
Lighting		х	Replace
Toilet Rooms			
			Only the toilets at the ground and technology facilities are operational and in
Fixtures Operational		х	use. But even those bathrooms are dated and should be replaced.
Toilet Partitions	х		Remove and replace
Walls		х	Remove and replace
Floors		х	Remove and replace
Floor Drains	х		No issues reported
Lighting		х	Remove and replace
Hand Dryers		х	
Ceilings		х	Remove and replace
Mirrors		х	Remove and replace
ADA Accessible		х	No
Adequate Size		х	NO
Operations & Technology			
Offices			
Flooring		х	Remove and replace
Furniture		х	Remove and replace
Ceilings / Walls		х	Remove and replace ceiling. Repaint walls.
Doors		х	painted wood doors should be removed and replaced
Lighting		х	Poor
Copy/Work Room		х	Not a designated space currently.
Meeting Rooms		х	Minimal common meeting spaces available for collaboration.
Coffee Break Area		х	Casework to be replaced
Bathroom(s)		х	Bathrooms to be updated, do not meet barrier free requirements

Terres Freikszer OKEMOS



INTERIORS / FINISHES (CON'T)	Bood	tair	soot comments
			Poor - minimal exterior windows and natural daylight - these buildings do not
Visibility		х	present conditions that promote
Accessibility		х	Poor
			District mailroom/receiving currently located on the south end of the
Mail Room		х	facilities/technology building. Compact space, does not function well.
			The district is in favor of demolishing the technology/facilities/maintenance
			buildings. Relocating the items that need to be salvaged (data server room
			equipment) and possibility building a new larger combined better performing
Other			and functioning facility onsite.
Garage Building			
Flooring	х		exposed concrete floors, minimal cracking, carpet to be replaced
			Painted exposed structure and insulation. Insulation fabric is damaged, 2x4
Ceiling		х	ceiling and grid to be replaced
Lighting		х	Should be replaced
Walls	х		Prefabricated metal building with CMU infill
Windows		х	Windows should be replaced
Doors		х	Need to be replaced
Ceilings	х		
Data Server Room			
Flooring	х		12x12 VCT - ok condition
			ok condition but should be replaced - roof leaks present and showing up on
Ceiling		х	ceiling tiles
			Exterior Liebert Units mounted on east elevation of building for room
Air-Conditioning	х		cooling.
Daylight			None
Overall Size		Х	Small/compact for data server room for entire district
Doors		Х	
Lighting	Х		2x4 suspended ceiling fixtures - fair condition

MECHANICAL	BOOD	fair	pool comments
Heating Source and			
Condition	Х		Gas-fired furnaces, rooftop unit, and unit heater equipment.
Heating Pumps and Piping			N/A.
Cooling Source and			
Condition	Х		Individual DX cooling.
Cooling Pumps and Piping			N/A.
Terminal Devices	Х		North building server room served by Liebert cooling unit.
			West building served by (2) horizontal gas-fired furnaces installed within last 10 years. South building is served by a gas-fired furnace and is at its end of
			life. North building is served by gas-fired/ dx RTU installed within the last 5
AHUs and RTUs	Х		years.
Ventilation		Х	All exhaust is at end of life. (6) 100 cfm ceiling EF's.
Building Management			
System/Controls			N/A.
Domestic Water Piping	Х		No known issues.
			Each building has a small 6 gallon tank type electric water heater that is at
Water Heaters	Х		end of life.
Plumbing Fixtures		Х	All fixtures are at end of life.
Fire Protection			N/A.
Pool equipment			N/A.



ELECTRICAL		BOOD	tair	pool comments
Transformer size	х			
Primary/Secondary Service	х			
Generator	х			
Occupancy Sensors				N/A
Lighting Control System			Х	Toggle switches. Needs updating.
Panels	х			Majority of panels are in good shape.
Panel Clearance	х			Need to remove storage items.
UPS	х			
				Upgraded in the last 5 years. Future upgrades could include voice activation
Fire Alarm	х			(district wide)
Interior Lighting			Х	Fluorescent fixtures throughout need to be replaced.
Exit Signs			Х	Exit signs are very old and letters are dim.

TECHNOLOGY		Bood	fair	pe ^{ot} comments
				Dedicated space with AC and battery backup. Old equipment needs to be
IT Rooms		х		removed.
Fiber Optic Cabling				
(between buildings/IT				
rooms)		х		Older single mode fiber between buildings. Primary and backup fiber service.
Data Cabling (within				
buildings)	х			CAT 6 cabling. Switches were upgraded recently. Redundant firewall.
				There is no synchronized clock system. Some satellite clocks and digital
Clock System			х	signage running software to display time.
Conference Audio/Video				
Systems			х	Need videoconferencing upgrade for conference room and huddle space.
Security Camera System			Х	Need to update Sony cameras and VMS (currently exacqvision software)
				Axis intercom at main entrance. Card readers at priority doors. Vanderbilt
Access Control System		х		SMS.



BUDGET DETAIL

these back lots. I,100 LF \$ 35.00 \$ 3	ITEM #:	21				Acres:		-
Sitework STEWORK \$ Drange Okemos read currently has storm drinage issues with large rain events. Some overflow dumps into Central Lot. New ConstructionModifications in progress at intersection of Okemos R& Mt Hoge Rd. \$ Asphak Parking Drives Cracking present beyond repairable by soling, No curb and gutter present in these back loss. 1.000 IF \$ 35.000 \$ 2 Concrete Curbs Curb and gutter I.000 IF \$ 35.000 \$ 2 Sidewalls ok, but deteriorating condition. I.834 SF \$ 12.000 \$ 2 Adequate Parking Most parking to the north of the site is congested and full. More parking located south of the Technology and Maintenance buildings. Most visitors probably unavare that additional parking is available. \$ \$ \$ Useden Droo of Na Assume present at this fieldity - parent drop of forly. Not applicable \$ \$ Variable Site fields S \$ \$ \$ \$ Jonet copies S \$ \$ \$ \$ Solework NA Source Torus Area AMPRP - Jarnet drop-off loog circle/surrounds these structures.		Operations/Tech/Grounds Buildings	- Sitewor	k				
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Asphalt Parking/Drives Cacking present - beyond repairable by sealing. No curb and gutter present in these back lots. 2.566 TON \$ 150.00 \$ 38 Concrete Curbs Curb and gutter 11.100 LF \$ 35.00 \$ 33 Sidewalks ok, but deteriorating condition. 11.834 SF \$ 12.00 \$ 22.66 Adequate Parking Most parking to the north of the site is congested and full. More parking located south of the Technology and Maintenance buildings. Most visitors probably unaware that additional parking is available. Image: Construct Constru	Drainage	overflow dumps into Central Lots. New construction/modifications in progress at					\$	
Concrete CurbsCurb and gutter1,100LF\$35.00\$3Sidewalkok, but deteriorating condition.1,834SF\$12.00\$2Adequate ParkingMost parking to the north of the site is congested and full. More parking located south of the Technology and Maintenance buildings. Most visitors probably unaware that additional parking is available.\$\$But LoopNo Bussing present at this facility - parent drop off only.0\$\$PhygroundsNA00\$Student Drop off AresMPPH - Parent drop-off loop circles/surrounds these structures.0\$LindscapingPresent.\$\$Structer Entrance\$\$Service Entrance\$\$Dumpster Location\$\$Multiple dumpsters located behind (vest of) Central buildings.\$\$Service Entrance\$\$Dumpster Location\$\$Multiple dumpsters located between technology/maintenance builds & the central location with enclosure?\$More score Wall\$\$Parking Loc LightingMinimal around these buildings.\$Taffic Direction\$\$Building.\$\$Parking Loc LightingMinimal around these buildings.\$Taffic Direction\$\$Building.\$\$Building.\$\$Building.\$\$Building.\$\$Building.\$\$	Asphalt Parking/ Drives	Cracking present - beyond repairable by sealing. No curb and gutter present in	2,566	TON	\$	150.00	\$	384
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Bus Loop No Bussing present at this facility - parent drop off only. not applicable \$ Phygrounds NA not applicable \$ Student Drop off Area AM/PM - Parent drop-off loop circles/surrounds these structures. Image: Comparison of Area \$ Landscaping Minimal landscaping present. \$ \$ Athletic fields Fields located behind (west of) Central buildings. \$ \$ Fercing Not present. \$ \$ Service Entrance Located off Okemos/Mt Hope intersection. Routed north of Administration building. Intersection undergoing redesign and construction during 2022. \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure? \$ \$ Traffic Directoris assume by owner \$ \$ Parking Lo Lighting Minimal around these buildings. assume by owner \$ Retaining Walls Immediate and the control subliding surround building \$ \$ Building 1 Dumpsters. power poles and parking surround building \$ \$ \$ Building 3 South elevation has exerior leevated Air Cond	Adequate Parking	south of the Technology and Maintenance buildings. Most visitors probably					\$	
Playgrounds NA not applicable \$ Student Drop off Area AM/PM - Parent drop-off loop circles/surrounds these structures. \$ \$ Landacaping Minimal landscaping present. \$ \$ Irrigation Systems Not present. \$ Athletic fields located behind (west of) Central buildings. \$ \$ Fencing Not present. \$ \$ Service Entrance Located off Okemos/Mt Hope intersection. Routed north of Administration building. Intersection undergoing redesign and construction during 2022. \$ Signage \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ \$ Parking Lot Lighting Minimal around these buildings. \$ Retaining Walls \$ \$ Building 1 Dumpsters, power poles and parking surround building \$ Building 1 Dumpsters, power poles and parking surround building \$ Building 1 Building 1 S \$ Building 1 Dumpsters, power poles and parking surround building surround building \$ </td <td>Bus Lood</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>\$</td> <td></td>	Bus Lood						\$	
Student Drop off Area AM/PM - Parent drop-off loop circles/surrounds these structures. 1 \$ Landscaping Minimal landscaping present. \$ \$ Irrigation Systems Not present. \$ Athletic fields Fields located behind (west of) Central buildings. \$ \$ Fencing Not present. \$ \$ Service Entrance \$ \$ Signage \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ \$ Parking Lot Lighting Minimal around these buildings. \$ \$ Retaining Walls \$ \$ \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ \$ Building I Dumpsters, power poles and parking surround building \$ \$ Building I Dumpsters, power poles and parking surround building \$ \$ Building I Dumpsters, power poles and parking surround building \$ \$ Bui				not applica	ble			
Landscaping Minimal landscaping present. \$ Irrigation Systems Not present. \$ Athletic fields Fields located behind (west of) Central buildings. \$ Fencing Not present. \$ Service Entrance Located off Okemos/Mt Hope intersection. Routed north of Administration building. Intersection undergoing redesign and construction during 2022. \$ Signage \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ \$ Parking Lot Lighting Minimal around these buildings. assume by owner \$ Retaining Walls \$ \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ Building 1 Dumpsters, power poles and parking surround building \$ \$ Building 2 Surd elevation has exterior leevated Air Conditioning unit and dumpster. East elevation has exterior leevated Air Conditioning unit and dumpster. East elevation has exterior leevated Air Conditioning unit and sesting propone tank (in service?) and small air conditioning condenser. \$							· ·	
Irrigation Systems Not present. \$ Athletic fields fields located behind (west of) Central buildings. \$ Fencing Not present. \$ Service Entrance Caceted off Okemos/Mt Hope intersection. Routed north of Administration \$ building. Intersection undergoing redesign and construction during 2022. \$ Signage \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ \$ Parking Lot Lighting Minimal around these buildings. \$ Retaining Walls \$ \$ Tunels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ Building 1 Dumpsters Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 2 Building 3 Building 1 ar conditioning condenser. \$ Building 3 Parking on west elevation. Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existring propone tank (in service?) and small a								
Athletic fields Fields located behind (west of) Central buildings. \$ Fencing Not present. \$ Service Entrance Located off Okemos/Mt Hope intersection. Routed north of Administration building. Intersection undergoing redesign and construction during 2022. \$ Signage \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ \$ Parking Lot Lighting Minimal around these buildings. assume by owner \$ Retaining Walls \$ \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ Building 1 S \$ Building 2 South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$ Building 3 Parking on west elevation condenser. \$ </td <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>· ·</td> <td></td>							· ·	
Fencing Not present. \$ Service Entrance Located off Okemos/Mt Hope intersection. Routed north of Administration building. Intersection undergoing redesign and construction during 2022. \$ Signage \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ \$ Parking Lot Lighting Minimal around these buildings. assume by owner \$ Retaining Walls \$ \$ \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ \$ Building 1 Dumpsters, power poles and parking surround building \$ \$ Building 2 South elevation has exterior levated Air Conditioning unit and dumpster. East elevation has exterior levet elevation has exterior and south elevation, east elevation service? \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation service? \$ Building 3 Parking on west elevation down entrance on north elevation poopone tank (in service?) and small air conditioning condenser. \$ Building 3							•	
Service Entrance Located off Okemos/Mt Hope intersection. Routed north of Administration \$ Signage building. Intersection undergoing redesign and construction during 2022. \$ Signage \$ \$ Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ \$ Parking Loc Lighting Minimal around these buildings. assume by owner Retaining Walls \$ \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ Building 1 Dumpsters, power poles and parking surround building \$ Building 2 South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$								
Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central \$ Montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ Parking Lot Lighting Minimal around these buildings. \$ Retaining Walls \$ \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ Building I Dumpsters, power poles and parking surround building \$ Building 2 South elevation has exterior levated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$	°	Located off Okemos/Mt Hope intersection. Routed north of Administration						
Dumpster Location Multiple dumpsters located between technology/maintenance builds & the central \$ Montessori building. Can these all be relocated to one central location with enclosure? \$ Traffic Directions \$ Parking Lot Lighting Minimal around these buildings. assume by owner \$ Retaining Walls \$ \$ \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ \$ Building I Dumpsters, power poles and parking surround building \$ \$ Building 2 South elevation has exterior levated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$	Signage						\$	
Parking Lot Lighting Minimal around these buildings. assume by owner \$ Retaining Walls \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ \$ Building 1 Dumpsters, power poles and parking surround building \$ \$ Building 2 South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$	° °	Montessori building. Can these all be relocated to one central location with					· ·	
Retaining Walls \$ Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ Building 1 Dumpsters, power poles and parking surround building \$ Building 2 South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$	Traffic Directions						\$	
Tunnels We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings \$ Building 1 Dumpsters, power poles and parking surround building \$ Building 2 South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$	Parking Lot Lighting	Minimal around these buildings.		assume by	owner		\$	
Admin mech room on ground floor to auxiliary technology and maintenance buildings Image: Construct and constru	Retaining Walls							
Building 2 South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. \$ Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. \$ Service \$ \$	Tunnels	Admin mech room on ground floor to auxiliary technology and maintenance					\$	
elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter. Building 3 Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone tank (in service?) and small air conditioning condenser. Service	Building I	Dumpsters, power poles and parking surround building					\$	
Building 3 Parking on west elevation, Overhead door entrance on north elevation, east \$ elevation serving an empty pallet storage and south elevation has existing propone \$ tank (in service?) and small air conditioning condenser. \$ Service \$ Service \$	Building 2	elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas					\$	
	Building 3	Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propone					•	
							· ·	
							\$	



ITEM #:	22			Gro	ss Area:		18,000
	Operations/Tech/Grounds Buildings - Build	ing Impro	vements				
				1		_	Total Cost
Desfau	BUILDING SHELL Corrugated metal roofing installed on all (3) buildings -	27,000	C.C.	¢	40.00	\$	-
Rooting		27,000	5F	\$	40.00	\$	1,080,000
	Grounds/Tech/Maintenance. Roofing recommended for replacement during 2018 bond cycle and facility assessment. Downspouts to grade. Stained translucent						
	panels on the Garage Building should be replaced.						
Exterior Windows	Original - recommended for replacement during 2018 bond cycle	1	LS	\$	75,000.00	\$	75,000
	Drainage around buildings not terrible, but pavement (asphalt and concrete) in				·	\$	-
-	need of repair/removal.						
Defined Entry	Yes to both the technology and maintenance building.					\$	-
Accessibility	Ok, but not ADA compliant.	1	LS	\$	25,000.00	\$	25,000
Fascia/Soffits	NA					\$	-
Maintenance Room Entry						\$	-
Brick	Original, old brick and CMU is in ok shape. Has not been cleaned recently-	I	LS	\$	10,000.00	\$	10,000
	mildew/dirt present.					-	
	Buildings do have.					\$	-
	Vertical aluminum siding at window infill at Shop building					¢	
Caulk Joints			1.0	¢	10.000.00	\$	-
vvater Stains	Buildings appearance is dated/old/dirty/not presentable or representative of the	1	LS	\$	10,000.00	\$	10,000
Exterior Deer	future upgrades. All exterior entrances and doors should be replaced.		EA	\$	8,000.00	\$	
	Present at technology/facilities building - need to be replaced. No vestibule at mail	1	LS	۰ ۶	50,000.00	₽ \$	50,000
vestibule Entries		1	LJ	φ	50,000.00	φ	50,000
Extorior Lighting	room. Minimal poles in parking lot, no exterior wall mounted light fixtures present on	1	LS	\$	15,000.00	\$	15,000
Exterior Lighting	these buildings.	1	LJ	φ	15,000.00	φ	15,000
Security	Camera's present on buildings for monitoring (security system and installation					\$	-
Security	performed by Okemos School district).					Ψ	
						\$	-
	INTERIORS					\$	-
Walls	Paint/refresh entire building	18,000	SF	\$	1.50	\$	27,000
Corridors	Corridors	.,	SF			\$	-
Lighting			in elec belo	w		\$	-
Flooring						\$	-
Ceilings/Walls						\$	-
Lockers						\$	-
Doors						\$	-
Size of Corridor						\$	-
Flow of Corridor						\$	-
Emergency Egress						\$	-
Shop Building	Shop Building		SF			\$	-
-	Wood floor in shop, exposed concrete in garage					\$	-
Ceilings	gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage					\$	-
				-		-	
	Original single pane windows should be replaced		LS	\$	50,000.00	\$	50,000
Casework			not applica	ble		\$	-
	Exposed brick walls on interior					\$	-
Air-Conditioning			F A	¢	2 500 00	\$	-
	Replace doors, Overhead garage door appears to be in good condition.	5	EA	\$	3,500.00	\$ \$	17,500
	Replace		in elec belo	w		⊅ \$	-
Heating						Դ \$	-
Conoral Noto I							
General Note I		18 000	SE	\$	0.55		
Interior Signage	Interior signage	18,000		\$	0.55	\$	9,900
Interior Signage Toilet Rooms	Interior signage Toilet Rooms		SF			\$ \$	-
Interior Signage Toilet Rooms	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use.			\$	0.55 200,000.00	\$	
Interior Signage Toilet Rooms Fixtures Operational	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced.		SF LS	\$	200,000.00	\$ \$	-
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace		SF LS		200,000.00	\$ \$	- 200,000
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace		SF LS	\$	200,000.00	\$ \$ \$	- 200,000 -
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace		SF LS	\$	200,000.00	\$ \$ \$ \$	- 200,000 - -
Interior Signage Toilet Rooms Fixtures Operationa Toilet Partitions Walls Floors Floor Drains	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace Remove and replace		SF LS	\$ room renov	200,000.00	\$ \$ \$ \$ \$	- 200,000 - -
Interior Signage Toilet Rooms Fixtures Operationa Toilet Partitions Walls Floors Floor Drains	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace Remove and replace No issues reported		SF LS with toilet	\$ room renov	200,000.00	\$ \$ \$ \$ \$ \$	_ 200,000 _ _ _ _ _ _ _
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace Remove and replace No issues reported		SF LS with toilet	\$ room renov	200,000.00	\$ \$ \$ \$ \$ \$ \$	200,000
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace No issues reported Remove and replace		SF LS with toilet	\$ room renov	200,000.00	\$ \$ \$ \$ \$ \$ \$ \$	200,000
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace		SF LS with toilet	\$ room renov	200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 200,000 - - - - - - - -
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace No issues reported Remove and replace Remove and replace Remove and replace No output		SF LS with toilet	\$ room renov	200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 200,000 - - - - - - - - - - -
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilinge Mirrors ADA Accessible	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace No issues reported Remove and replace Remove and replace Remove and replace No No No		SF LS with toilet in elec belc	\$ room renov	200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 200,000 - - - - - - - - - - - -
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Ops. & Tech. Offices	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace No issues reported Remove and replace Remove and replace Remove and replace No No No		SF LS with toilet in elec belc SF	\$ room renov	200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- 200,000 - - - - - - - - - - - - -
Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Ops. & Tech. Offices Flooring	Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace No issues reported Remove and replace No No Operations & Technology Offices	18,000	SF LS with toilet in elec belc SF	\$ room renov	200,000.00 vation	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	200,000



ITEM #:					Gross Area:		18,000				
Operations/Tech/Grounds Buildings - Building Improvements											
		-				¢	Total Cost				
Poofing	BUILDING SHELL Corrugated metal roofing installed on all (3) buildings -	27,000	SF	\$	40.00	\$ \$	- I,080,00				
Kooiing	Grounds/Tech/Maintenance. Roofing recommended for replacement during 2018	27,000	эг	φ	40.00	æ	1,080,00				
	· · ·										
	bond cycle and facility assessment. Downspouts to grade. Stained translucent										
Exterior Windows	panels on the Garage Building should be replaced. Original - recommended for replacement during 2018 bond cycle	1	LS	\$	75,000.00	\$	75,00				
	Drainage around buildings not terrible, but pavement (asphalt and concrete) in		L3	φ	75,000.00	.⊅ \$	75,00				
i Ositive Drainage	need of repair/removal.					φ	-				
Defined Entry	Yes to both the technology and maintenance building.					\$					
•	Ok, but not ADA compliant.	1	LS	\$	25,000.00	\$	25,00				
Fascia/Soffits			20	Ŧ	25,000.00	\$					
Maintenance Room Entry						\$	-				
,	Original, old brick and CMU is in ok shape. Has not been cleaned recently-	1	LS	\$	10,000.00	\$	10,00				
	mildew/dirt present.		-		.,	•					
EIFS Fascia/Soffits	Buildings do have.					\$	-				
	Vertical aluminum siding at window infill at Shop building										
Caulk Joints						\$	-				
· · · · · ·	Buildings appearance is dated/old/dirty/not presentable or representative of the	I	LS	\$	10,000.00	\$	10,00				
	future upgrades.										
Exterior Doors	All exterior entrances and doors should be replaced.		EA	\$	8,000.00	\$	-				
	Present at technology/facilities building - need to be replaced. No vestibule at mail	1	LS	\$	50,000.00	\$	50,00				
	room.										
Exterior Lighting	Minimal poles in parking lot, no exterior wall mounted light fixtures present on	1	LS	\$	15,000.00	\$	15,00				
	these buildings.										
Security						\$	-				
,	performed by Okemos School district).										
						\$	-				
	INTERIORS					\$	-				
Walls	Paint/refresh entire building	18,000	SF	\$	1.50	\$	27,00				
Corridors	Corridors		SF			\$	-				
Lighting			in elec bel	ow		\$	-				
Flooring						\$	-				
Ceilings/Walls						\$	-				
Lockers						\$	-				
Doors						\$	-				
Size of Corridor						\$	-				
Flow of Corridor						\$	-				
Emergency Egress						\$	-				
Shop Building	Shop Building		SF				-				
						\$	-				
Flooring			-			\$ \$	-				
			-								
	Wood floor in shop, exposed concrete in garage		-			\$					
Ceilings	Wood floor in shop, exposed concrete in garage		LS	\$	50,000.00	\$	-				
Ceilings	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced	1			50,000.00	\$	-				
Ceilings Windows Casework	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced		LS		50,000.00	\$ \$ \$					
Ceilings Windows Casework	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior	1	LS		50,000.00	\$ \$ \$ \$	- - 50,00 -				
Ceiling Windows Casework Walls Air-Conditioning	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior		LS		50,000.00 3,500.00	\$ \$ \$ \$ \$	- - 50,00 -				
Ceilings Windows Casework Walls Air-Conditioning Doors	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior		LS not applica	able \$		\$ \$ \$ \$ \$	- - - - - - 17,5				
Ceilings Windows Casework Walls Air-Conditioning Doors	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace		LS not applica EA	able \$		\$ \$ \$ \$ \$ \$	- - 50,0 - - -				
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace		LS not applica EA	able \$		\$ \$ \$ \$ \$ \$ \$ \$	- - 50,0 - - - 17,5 - - - - -				
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace		LS not applica EA in elec bel	able \$		\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -				
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage	5	LS not applica EA in elec bel	sow	3,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -				
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage	5	LS not applica EA in elec bel-	sow	3,500.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms	5	LS not applica EA in elec bel SF SF	able \$ ow \$	3,500.00 0.55	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use.	5	LS not applica EA in elec bel SF SF	states and the second s	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced.	5	LS not applica EA in elec bel SF SF LS	states and the second s	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Doily the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced.	5	LS not applica EA in elec bel SF SF LS	states and the second s	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace	5	LS not applica EA in elec bel SF SF LS	states and the second s	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace	5	LS not applica EA in elec bel SF SF LS	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace No issues reported Remove and replace	5	LS not applica EA in elec bel SF SF LS with toilet	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace Remove and replace No issues reported Remove and replace	5	LS not applica EA in elec bel SF SF LS with toilet	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace No issues reported Remove and replace	5	LS not applica EA in elec bel SF SF LS with toilet	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	50,0 50,0 17,5 9,9 200,0 - - - - - - - - - - - - - - - - - -				
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace	5	LS not applica EA in elec bel SF SF LS with toilet	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting General Note I Interior Signage Toilet Rooms Fixtures Operational Fixtures Operational Toilet Partitions Floors Floor Drains Lighting Hand Dryers Ceilings	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace No issues reported Remove and replace	5	LS not applica EA in elec bel SF SF LS with toilet	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting General Note I Interior Signage Toilet Rooms Fixtures Operational Fixtures Operational Toilet Partitions Valls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace No issues reported Remove and replace No	5	LS not applica EA in elec bel SF SF LS with toilet	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Ops. & Tech. Offices	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace No No	18,000	LS not applica EA in elec bel SF SF LS with toilet in elec bel SF	s s room i	3,500.00 0.55 200,000.00	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$					
Ceilings Windows Casework Walls Air-Conditioning Doors Lighting Heating General Note I Interior Signage Toilet Rooms Fixtures Operational Fixtures Operational Toilet Partitions Walls Floors Floor Drains Lighting Hand Dryers Ceilings Mirrors ADA Accessible Adequate Size Ops. & Tech. Offices	Wood floor in shop, exposed concrete in garage gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage Original single pane windows should be replaced N.A Exposed brick walls on interior Replace doors, Overhead garage door appears to be in good condition. Replace Interior signage Toilet Rooms Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced. Remove and replace No issues reported Remove and replace No	5 18,000 1 1 18,000	LS not applica EA in elec bel SF SF LS with toilet in elec bel SF	s s s s s s s s s s	3,500.00 0.55 200,000.00 renovation	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	- - - - - - - - - - - - - - - - - - -				



Doors	painted wood doors should be removed and replaced	10	EA	\$	3,500.00	\$	35,000
Master Clock						\$	-
Phone System						\$	-
Lighting	Poor		in elec below		\$	-	
Heating	Add diffuser and grilles with new ceilings	18,000	SF	\$	0.50	\$	9,000
Copy/Work Room	Not a designated space currently.					\$	-
Meeting Rooms	Minimal common meeting spaces available for collaboration.					\$	-
Coffee Break Area	Casework to be replaced	8	LF	\$	400.00	\$	3,200
Bathroom(s)	Bathrooms to be updated, do not meet barrier free requirements	200	SF	\$	275.00	\$	55,000
Visibility	Poor - minimal exterior windows and natural daylight - these buildings do not	I	LS	\$	75,000.00	\$	75,000
	present conditions that promote						
Accessibility	Poor					\$	-
Mail Room	District mailroom/receiving currently located on the south end of the					\$	-
	facilities/technology building. Compact space, does not function well.						
Other	The district is in favor of demolishing the technology/facilities/maintenance					\$	-
	buildings. Relocating the items that need to be salvaged (data server room						
	equipment) and possibility building a new larger combined better performing and						
	functioning facility onsite.						
Garage Building	Garage Building		SF				
Flooring	exposed concrete floors, minimal cracking, carpet to be replaced	200	SY	\$	63.54	\$	12,708
Ceilings	Painted exposed structure and insulation. Insulation fabric is damaged, 2x4 ceiling	5,000	SF	\$	9.00	\$	45,000
	and grid to be replaced						
Lighting	Should be replaced		in elec below		\$	-	
Walls	Prefabricated metal building with CMU infill					\$	-
Windows	Windows should be replaced	I	LS	\$	50,000.00	\$	50,000
Doors	Need to be replaced	10	EA	\$	3,500.00	\$	35,000
Ceilings						\$	-
Data Server Room	Data Server Room		SF			\$	-
				1		\$	
Flooring	12x12 VCT - ok condition					φ	-







































