

FEBRUARY 21, 2022 // FACILITIES ASSESSMENT

OKEMOS PUBLIC SCHOOLS



TowerPinkster
ARCHITECTURE • ENGINEERING • INTERIOR



CHRISTMAN
BUILDING SINCE 1894





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EXECUTIVE SUMMARY

PROCESS

This Facilities Assessment Study, developed through a combination of personnel interviews, Owner documents, facility walk-throughs and building system analysis, was performed to accomplish the following objectives:

- Provide an inventory of the District's facilities in an clear and concise format, which can be easily updated and maintained by Okemos Public Schools personnel and allow for quick access to facilities information.
- Determine the general condition of the District facilities and provide the data in a concise format, allowing quick determination of the current replacement value and condition of each facility.
- Determine opinion of probable cost for each assessed building, campus site and an aggregate for all facilities in the District.

This report represents a "snapshot in time" in the life of the facilities. The district is engaged in on-going maintenance projects that could render some of the items listed in this report as obsolete in the near future.

Generally, the buildings were compared to similar buildings in other districts. Given the likely direction for the school district to pursue a bond to implement major improvements, only the highest priority items were included in this report.

It is our goal to provide this information as a "springboard" for further discussions as to the best approach for incorporating improvements to school district facilities.

The following individuals met on [7] different days between November 2, 2021 and January 28, 2022 to tour and discuss the current conditions of all buildings within the district. Attendees included:

Mark Fargo	Director of Operations, OPS	Jeremy Borten	The Christman Co.
Christine Parkhurst	Food Service Director, OPS	Courtney Payne	JRA Food Service Design
Ron Curtis	District Maintenance, OPS	Edward Talaga	TowerPinkster
John Curtis	District Maintenance, OPS	Brandon List	TowerPinkster
Scott Cockrell	Theatre Technician, OPS	Brian Johnson	TowerPinkster
Tom Isom	Director of Media and Technology, OPS	Meghan Boyer	TowerPinkster
Rob Crowe	The Christman Co.	Lyal Ward	TowerPinkster
Diane Major	The Christman Co.	Lentz Becraft	TowerPinkster
Sean Jagels	The Christman Co.	Chris Bennett	TowerPinkster
Ian O'Brien	The Christman Co.		

The building site visits (in order of appearance) included Bennett Woods Elementary, Chippewa 7-8 School, Kinawa 5-6 School, Hiawatha Elementary, Edgewood Early Childhood Center, Cornell Elementary, Okemos High School, Bus Transportation, Wardcliff Elementary, Central Montessori Elementary, Administration Building, the District Operations/Technology/Grounds, and the Athletic Complex.

RATINGS

While no attempt was made to assess program improvements, some deferred maintenance improvements could be considered program improvements. The intent is to first determine the physical condition of the facilities as currently used before exploring program improvements with a separate study. Our approach was to prioritize the list with the following categories:

- **Poor** - item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years.
Examples: Replace flooring to improve maintenance. Upgrade mechanical/electrical systems for energy efficiency
- **Fair** - Item meets current use, showing signs of age and should be replaced in the next 10 years.
Examples: Lighting is LED, but contains retrofit bulbs in existing light fixtures
- **Good** - Item meets current and future needs, no recommendation for improvement for the next 10 years.
Examples: Terrazzo flooring has limited or no cracking and has been maintained.

EXECUTIVE SUMMARY

GLOSSARY

Deferred Maintenance Backlog (DMB)

Deferred Maintenance is defined as maintenance work that has been deferred on a planned or unplanned basis to a future budget cycle or postponed until funds are available.

Facility Statistics

Basic building information- building use types (classroom, library, and administration), year built, building area in square feet, and number of floors.

Observation Highlights

This is a summary of field observations, highlighting major repair/replacement items supported by images. For a more complete list of field observations, see the individual building data sheets in the appendix.

Renovation Costs

a cost estimation to perform renovations that would bring the facility up to an overall "good" rating but do not include any enhancements or expansions to the facilities.

Current Replacement Value (CRV)

The CRV is the cost to construct a typical replacement building in today's dollars. However, for the purpose of this report, we have escalated the value to 2025 dollars. The figure is based on the square footage of the current structure and the estimated current construction cost for that type of structure. By the nature of the calculations and square foot construction costs, the current replacement value has a $\pm 20\%$ margin of error and will increase annually due to inflation.

Facilities Condition Index (FCI)

The estimated renovation cost divided by the estimated replacement cost and shown as a percent value.

Useful Life

The estimated duration of utility placed on a variety of assets including building, grounds, equipment, technology, and furniture.



EXECUTIVE SUMMARY

DISTRICT INFORMATION

The suburban K-12 Okemos Public Schools is situated in the south-central portion of Michigan's Lower Peninsula near Lansing, the state capital and shares a common border with Michigan State University. The area holds significant community strengths such as economic and cultural diversity and many leaders in the fields of education, government, law, medicine, and the sciences. These individuals and other community residents expect excellence in education and collaborate to accomplish this goal. Okemos is well known for a tradition of educational excellence with strong parent and community support.

The district currently serves over 4,500 students who attend three K-4 elementary schools, a public Montessori school (Pre-primary – 4th grade), a 5-6th grade building, a 7-8th grade building which both feature Montessori programs, and one high school. The district has grown over 500 students since 2012 and is nearing full capacity.

In addition to the student occupied buildings, district facilities include: an Early Childhood Center which delivers diverse offerings for preschool aged children; Central Administration building; Operations and Media and Technology building; Transportation facilities; athletic facilities, one currently closed elementary school, and a vacant property on Powell Road. Total square footage of the 12 buildings is approximately 1,000,000 square feet with over 400 acres of property maintained by the district.

Niche.com produces annual graded report cards for each school and district, ranking nearly 100,000 schools and districts across the country based on analysis of academic and student life data from the U.S. Department of Education along with test scores, and college data. Niche consistently ranks Okemos in the top ten of all public school systems in Michigan. In 2019 it noted Okemos as the best place to teach in the Lansing area and ranked Okemos as the #1 place to live in the State of Michigan.

In addition to excellent educational programs, the district has an active community education program which delivers diverse offerings for preschool aged children through senior citizens. A critical part of community education services is a broad-based childcare program. The childcare staff members provide a range of preschool programs and before and after school programs for elementary and middle school students.

A remarkable dimension of the district continues to be a deeply embedded culture of collaboration among educators, parents, and community stakeholders. The final recommendation honors the ideas brought forward by these stakeholders through surveys, student forums, community forums, listening sessions and committees which included board members, administrators, parents/guardians, teachers, staff, and community members.

We welcome you to be a part of our continued excellence and growth.

DISTRICT SUMMARY

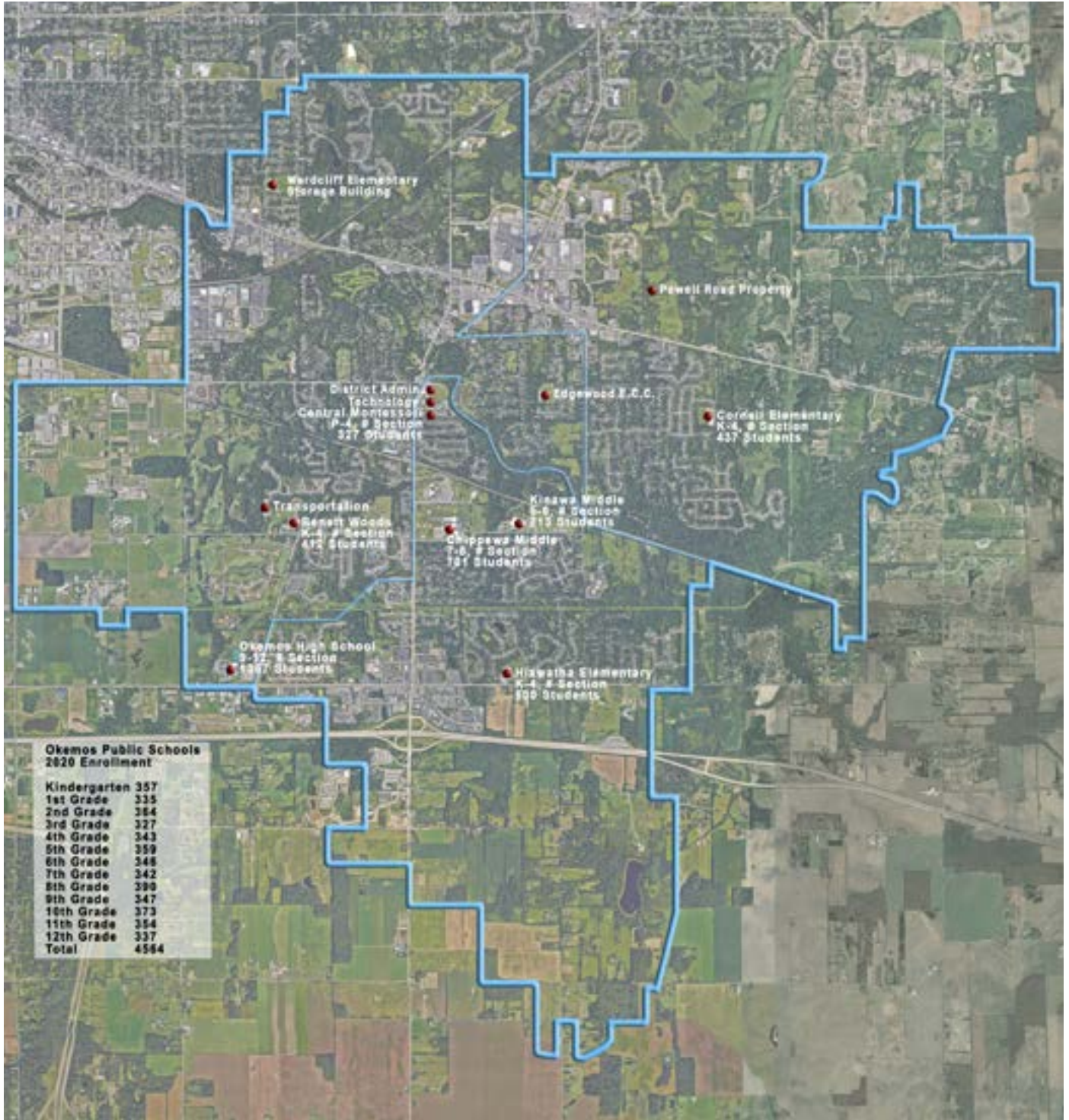
SITE	EDGEWOOD	CORNELL	BENNETT WOODS	HIAWATHA	WARDCLIFF	CENTRAL / DISTRICT ADMIN	KINAWA 5-6	CHIPPEWA 7-8	HIGH SCHOOL	ATHLETICS	BUS GARAGE	OPERATIONS
USE	Childcare / Pre-School	K-4	K-4	K-4	Closed / Community Functions	PK-4	5-6	7-8	9-12	District Athletics	Bus Service / Transportation	Operations / Technology / Maintenance
BUILT YEAR	1963	1955	1993	1988	1955	1948	1965	1958	1994	1995	1993	1975
ADD / RENOS YEAR	1966 / 1978 / 1988	1958 / 1977 / 1988	2019	N/A	1967 / 1987 / 2012	1963 / 1988	1967 / 1994 / 1996 / 2006	1963 / 1966 / 1977 / 1995	2015	N/A	N/A	N/A
BUILDING SF	33,000	43,000	60,800	62,000	33,000	68,400	154,000	196,000	320,000	9,600	8,000	3 buildings at 6,000 each
SITE AREA	12 Acres	10 Acres	45 Acres	19 Acres	20 Acres	28 Acres	72 Acres	78 Acres	96 Acres	23 Acres	15 Acres	
ENROLLMENT	65	437	469	471	N/A	345	644	712	1457	N/A	N/A	N/A
SF / STUDENT	507.69	98.40	129.64	131.63	N/A	145.09*	239.13	275.28	219.63	N/A	N/A	N/A
RECOMMENDED SF / STUDENT	200	200	200	200	200	200	230	230	260	N/A	N/A	N/A

*Calculation based on school building's square footage only.

EXECUTIVE SUMMARY



DISTRICT MAP



EXECUTIVE SUMMARY

COST SUMMARY

The cost modeling component of this assessment is summarized in the table below. There are essentially three main components of the table. Each facility is listed individually and includes a cost estimation to perform renovations that would bring the facility up to an overall “good” rating but do not include any enhancements or expansions to the facilities, a cost estimation to replace the facility with a comparable sized new facility, and a few comparisons of the previous two cost data points. All costs were modeled at an escalated rate for performance during the year 2025. This escalation assumption accounts for the fact that if any capital improvements are performed as a result of pending decisions, the work will occur at some time in the future that is yet to be determined.

A comparison can be made between the estimated renovation costs and the estimated replacement costs in two ways. The first way is to compare the estimated costs over the anticipated extension of the useful life of the facility. For example, if an existing facility was renovated it is assumed that the useful life is extended approximately 15 years and if a facility is replaced it is assumed that the new useful life is approximately 50 years. The estimated cost of the renovations applied over the 15-year period and the estimated cost of the replacement applied over the 50-year period can be compared with the respective “cost per year” values.

Another method of comparison between the estimated renovation costs and the estimated replacement costs is known as a Facility Condition Index (FCI) which is essentially the estimated renovation cost divided by the estimated replacement cost and shown as a percent value. For this comparison metric as it relates to this specific facility assessment, it is generally accepted that facilities with an FCI of over 65% are not the best candidates for significant capital investment and should be considered for retirement from the active inventory. Facilities with a lower FCI [often relatively younger facilities] are better candidates for capital investments like renovations.

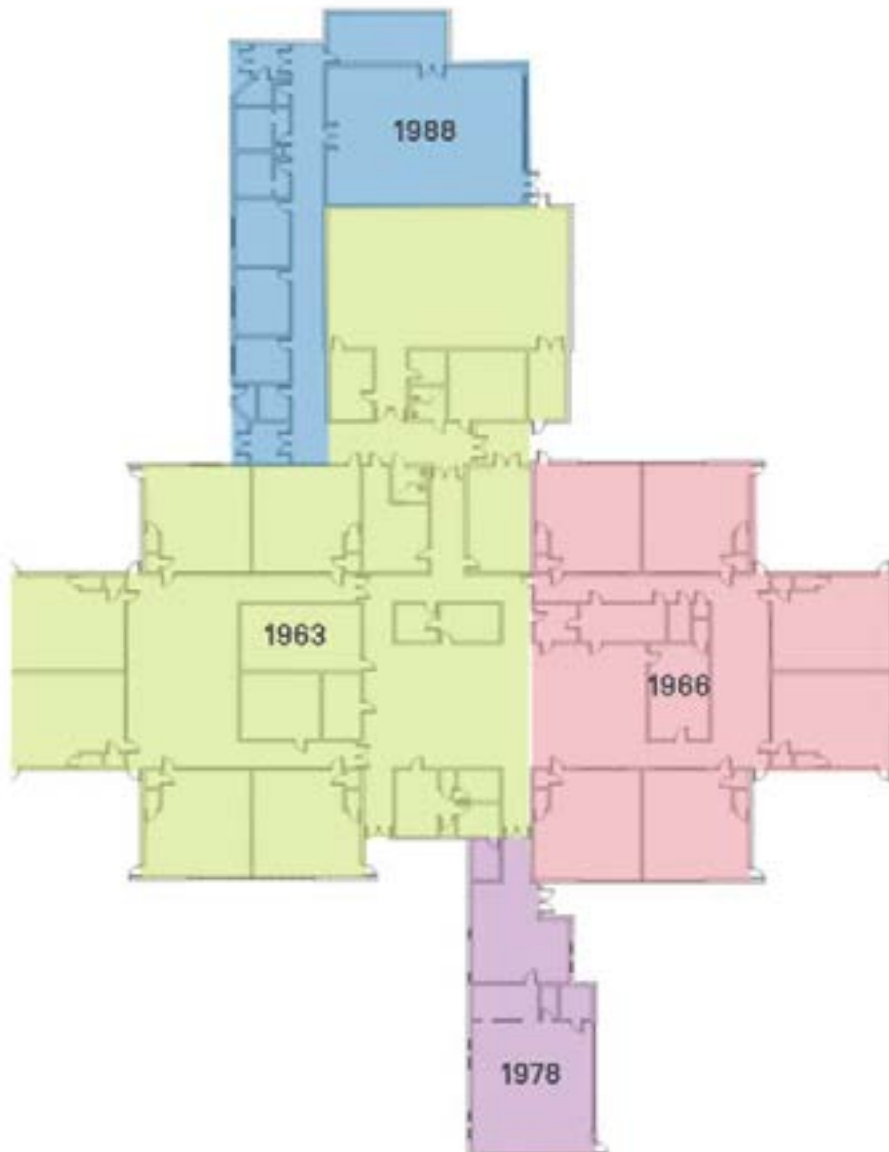
Facility	Existing Building Area (GSF)	Renovation Cost	Cost/GSF	# Items	Useful Life (yrs)	Cost per Year	Current Replacement Value (CRV)	Cost/GSF	Useful Life (yrs)	Cost per Year	Facility Condition Index (FCI)	FCI (\$ Reno. / \$ Replace)
Edgewood ECC	33,000	\$ 9,760,517	\$ 296	68	15	\$ 650,701	\$ 10,560,000	\$ 320	50	\$ 211,200	92%	Above 85%
Cornell Elementary	43,000	\$ 14,322,352	\$ 333	80	15	\$ 954,823	\$ 13,760,000	\$ 320	50	\$ 275,200	104%	65% - 85%
Bennett Woods Elementary	60,800	\$ 10,404,391	\$ 171	71	15	\$ 693,626	\$ 19,456,000	\$ 320	50	\$ 389,120	53%	Below 65%
Hiawatha Elementary	62,000	\$ 11,685,587	\$ 188	75	15	\$ 779,039	\$ 19,840,000	\$ 320	50	\$ 396,800	59%	
Wardcliff Elementary	33,000	\$ 12,672,912	\$ 384	65	15	\$ 844,861	\$ 10,560,000	\$ 320	50	\$ 211,200	120%	
Central Montessori/District Admin.	68,400	\$ 18,257,287	\$ 267	59	15	\$ 1,217,152	\$ 21,888,000	\$ 320	50	\$ 437,760	83%	
Kinawa Middle School (5-6)	154,000	\$ 41,242,872	\$ 268	110	15	\$ 2,749,525	\$ 50,050,000	\$ 325	50	\$ 1,001,000	82%	
Chippewa Middle School (7-8)	196,000	\$ 58,909,697	\$ 301	123	15	\$ 3,927,313	\$ 63,700,000	\$ 325	50	\$ 1,274,000	92%	
Okemos High School	320,000	\$ 44,299,036	\$ 138	107	15	\$ 2,953,269	\$ 107,200,000	\$ 335	50	\$ 2,144,000	41%	
Okemos High School Athletic Complex		\$ 8,950,347	N/A	15	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
Transportation Building	8,000	\$ 1,456,711	\$ 182	35	15	\$ 97,114	\$ 2,000,000	\$ 250	50	\$ 40,000	73%	
Operations/Tech/Grounds Buildings	18,000	\$ 5,930,892	\$ 329	33	15	\$ 395,393	\$ 4,500,000	\$ 250	50	\$ 90,000	132%	
Total		\$ 228,132,085					\$ 308,454,000					

01

**EDGEWOOD
EARLY CHILDHOOD
CENTER**

01 EDGEWOOD ECC

Use:	Childcare / Pre-School
Built:	1963
Additions + Renovations:	1966 / 1978 / 1988
Total Building Area:	33,000 SF
Site Area:	18 Acres
Enrollment:	65 students
Square Footage per Student:	508 sf/student
Renovation Cost:	\$9,760,517
Current Replacement Value [CRV]:	\$10,560,000
Facility Condition Index [FCI]:	92%



01 EDGEWOOD ECC



01 EDGEWOOD ECC

OBSERVATION HIGHLIGHTS

SITE

Sidewalks in poor condition throughout. Disconnected roof drains at building corners are causing ice issues in the winter. Playground equipment needs to be replaced. Visibility of the site isn't ideal for the ECC program.

ARCHITECTURE

Edgewood, once an elementary school, has transitioned to focusing on daycare, pre-school, pre-kindergarten, and child care. The center houses the Okemos Kids Club. Exterior asphalt ramps and wood stoops constructed currently at all perimeter doors need to be removed and replaced for function and ADA compatibility.

Exterior perimeter aluminum framing, windows, and glass should be updated with more thermally efficient products. Exterior perimeter metal fascia and roof gravel stop should be considered for replacement and updating. Roof leaks reported by maintenance staff at various locations throughout the building. Mold and mildew present on exterior brick at both the exterior building which is where building gas service is located and also the 'addition' created off the north end of the cafeteria as cold storage. No interior fire suppression present at this facility.

Interior hollow-metal frames and wire glass should be considered for removal and replacement. Interior door hardware not ADA compliant. The teachers still use most of the perimeter classrooms, with a dedicated wing for infants and toddlers. In addition to classrooms, the school has a gym and cafeteria.

INTERIORS

In its current condition, the building is not conducive as a child care/early learning center. There is no secure vestibule. Upon arrival you are greeted by a dimly lit, unwelcoming open space whose purpose is unclear. Classrooms lack natural light and a view to the exterior. Instead views are provided to an interior commons which can be distracting within a classroom.

Flooring throughout the building needs to be replaced. There are many areas where carpet is puddling, creating significant trip hazards. Overall the carpet shows signs of age, wear and staining. Original vinyl asbestos floor tile will need to be abated and replaced with new flooring. Areas of vinyl composition tile (VCT) should be replaced. The cafeteria and kitchen flooring is in disrepair and should be replaced.

Ceilings are in poor condition. They are 24" x 48" acoustic panels showing significant warping and even cracking in some cases. They also appear to have a low NRC (noise reduction coefficient). Casework in classrooms appears to be original to the building and is in need of replacement. Some casework is newer in open commons areas and is in good condition.

Interior doors are primarily hollow metal in need of painting. The few wood doors in the building are in decent condition, but are not cohesive for color or wood species. Interior signs are lacking with rooms primarily identified by a room number applied on or above the door. These are not ADA compliant.

Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated. Windows include integral blinds, many of which appear to be damaged. Screens should be removed for emergency egress and such window locations should be marked as "emergency egress".

Furniture throughout the building is dated and of poor quality, not conducive to a flexible or comfortable learning environment for staff or students.

01 EDGEWOOD ECC

MECHANICAL

The three stand-alone rooftop units (5-ton, 10-ton, and 3-ton) should be replaced and tied into the BMS. All exhaust fans should be replaced. And the pneumatics should be replaced with new DDC with the balance of the DDC controls for the building being upgraded. Combining the domestic hot water is desirable. Replace original flush valves and faucets in group restrooms with new automatic flush valves and faucets.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape. Panel F has open buses and needs to be replaced as this is an extreme hazard to maintenance personnel.

TECHNOLOGY

Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. The site is large and presents many opportunities for placement of a new structure.

01 EDGEWOOD ECC

DATA SHEETS

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	Good	Fair	Poor	
Drainage			x	Roof drains at overhangs are cracked and disconnected, causing issues with freezing in the winter.
Asphalt Parking/ Drives	x			
Sidewalks			x	Poor condition throughout.
Adequate Parking	x			
Bus Loop		x		
Playgrounds			x	Aged equipment (20+ years old), asphalt pavement at basketball courts needs to be replaced.
Student Drop off Area		x		
Landscaping		x		Trees near front entrance too close to the building, overhanging
Irrigation Systems				No Irrigation.
Athletic fields		x		Soccer goals are in poor condition.
Fencing		x		Fencing around ECC playground is new / in good condition.
Service Entrance		x	x	Temporary ramps and timber steps at building & classroom entrances need to be improved.
Signage		x		
Dumpster Location			x	No enclosure or concrete pad for dumpster.
Traffic Directions	x			Drop-off is orderly with parents and a few small buses.
Parking Lot Lighting		x		Has new retrofit LED bulbs
Gas House			x	Small exterior structure houses building gas meter and incoming service. Small storage shed attached. Remove and replace.
Exterior Lighting			x	Poor. Need to include with bond work. Site poles and building mounted fixtures desired. Coordinate with Security camera locations. Parking lot lighting did receive new LED bulbs. Consult with Mark F as the district is currently performing some of this work.

ARCHITECTURAL				comments
	Good	Fair	Poor	
Building Shell				
Roofing			x	Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line.
Exterior Windows			x	certain locations. Single pane units present. Integral blinds damaged in some locations.
Positive Drainage	x			No issues with building drainage (just roof drains at exterior corner "overhangs")
Defined Entry		x		Southeast corner of the building (no signage).
Accessibility			x	Asphalt ramps to main entrance. Wood platforms at all classrooms exterior egress doors. Need to replace and upgrade.

01 EDGEWOOD ECC

ARCHITECTURAL (CON'T)				comments
	good	fair	poor	
Fascia/Soffits			x	Exterior perimeter upper porcelain fascia panels and soffits need to be replaced. Paint peeling, presence of moisture/water/mildew present at certain locations.
Transite Panels		x		
Brick	x			Needs to be cleaned/washed.
EIFS				N/A
Caulk Joints		x		Need to be replaced at certain locations
Water Stains		x		Present. Causing for further investigation. Staining on brick around existing louver openings, splices in window flashings
Exterior Doors			x	Need to be replaced. Original. Single pane wire glass present.
Building Entrance			x	No prominent main entrance. No secure vestibule. No card access upgrades present at this building. Should be updated to match work already completed on interior and exterior doors within the district.
Exterior Lighting		x		Minimal. The district is retrofitting to LED and prefers to leave exterior fixtures on all night for security purposes.
Secondary Entrances			x	dated but functional. Need to address barrier free access (wood ramps) at classroom doors and building entrances.
Structure		x		Cafeteria storage room (add-on) not an interior conditioned space. Exterior has potential for mildew/mold growth due to temperature differential. Recommend demolishing this small addition. Similar conditions at the outbuilding at the northeast side of the building.
Exterior Walls		x		Brick is ok. Exterior clad-on 'porcelain' panel fascia needs to be replaced.

INTERIORS / FINISHES				comments
	good	fair	poor	
Corridors				
Lights		x		Some upgrades to fixture bulbs (LED). Most fixtures and ceiling should be replaced/ New fixtures installed in the select bathrooms that were
Flooring			x	Need to replace and upgrade through-out building. Possible (9x9) tile below carpet. Carpet predominant in each classroom. Some classrooms with VCT (12x12) / Rubber flooring.
Ceiling/Walls			x	Need to replace and upgrade throughout the building. Ceiling currently has fiberglass lay-in tiles. Repaint throughout.
Lockers		x		
Doors		x		Replace - HM currently. Rust/Old/Worn/Tired. Replace door knobs with barrier free levers.
Lighting		x		Replace with new fixtures (efficient and better lighting)
Size of Corridor	x			Lots of space, wide corridors, maybe room to expand classrooms footprint.
Flow of Corridor	x			Large spaces. Fire extinguishers cabinets and coat hooks present in exterior corridors. Newer drinking fountains at some locations.
Emergency Egress	x			Present. Corridors/Rooms clean and egress paths present. Some individual rooms have exterior doors for egress as well.
Vestibules		x		Old HM painted frames with wire glass. Replace. Upgrade.
Cabinets at Building Entrances			x	Poor condition. Replace. Renovate.
Drinking Fountains		x		(2) remodeled. Remainder need to be replaced.
Interior Signage			x	Needed. Almost non-existent. What is provided is not ADA compliant.
Classrooms				
Flooring		x		Replace. Carpet predominant in each classroom. We did find classrooms with VCT (12x12) / Rubber flooring.
Ceiling		x		Replace. 2x4 ceiling grid and pads present.
Egress Windows			x	Not functional - existing storefront aluminum with operable windows/screens. Classrooms have exterior egress doors.

01 EDGEWOOD ECC

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Casework			x	Replace. Classrooms have small individual closets next to bathrooms. Can be removed.
Marker/Chalkboards	x			Functional
Heat	x			
Air-Conditioning	x			Classroom have individual units.
Daylight		x		Minimal exterior natural light
Overall Size	x			Good size rooms (approx. 25x25)
Doors			x	Replace - Hollow-metal. Not thermal efficient. Building did not receive interior or exterior electronic card access hardware upgrades with recent bond package.
Lighting			x	Recent bulb replacement. Not well done.
Air-Conditioning	x			Classrooms received new unit vents with previous bond cycle.
Power Outlets	x			Present. Seem to be enough based on classroom use
Function		x		This building is a daycare center (transformed from originally an elementary school). A few additions to the building were noticeable. There is a infant/toddler wing to the south end of the building. Parents drop kids off, limited bus use to and from the facility, parents return for pick-up.
Walls		x		CMU/Paint. Existing painted hollow-metal frames with wire glass divide corridors from classrooms. Need to be repainted.
Furniture		x		
Toilet Rooms				
Fixtures Operational			x	Classroom locations not ADA (small and tight space - no good for anyone helping the child use the bathroom). Finishes and fixtures should be replaced. Corridor locations in good condition,
Toilet Partitions		x		Not present at classroom locations. Staff and corridor bathrooms were upgraded and replaced with previous bond cycle.
Walls		x		
Floors		x		
Floor Drains		x		No issues reported.
Lighting		x		Need new fixtures and ceilings.
Hand Dryers		x		At corridor restrooms
Ceilings	x			
Mirrors	x			
ADA Accessible		x		Corridor locations ok. Classroom location not ok or up to date.
Adequate Size	x			Classroom toilet rooms are small/compact/not ADA compliant.
Gymnasium				
Flooring		x		Rubber (sheet good) floor. Recently replaced. Not aging well.... bubbles/welds/wear present.
Lights		x		Bulb replacements recent. Can upgrade fixtures with future renovations
HVAC		x		Consider adding Rooftop unit. Fire-alarm devices present
Daylight			x	No exterior natural lighting. No AC.
Gym Equipment		x		No wall padding present.
Doors		x		Replace - interior and exterior locations
Size	x			Ok. Seems small but probably usable for the age-group
Bleachers				Not present
Egress	x			Present (egress interior to cafeteria). One exterior door present.
Walls/Ceilings	x			CMU/Painted/acoustical panels present. Walls needs to be repainted.
Cafeteria				
Flooring		x		Rubber sheet good. Functional/Newer install.
Ceilings/Walls		x		2x4 grid and tiles. Should update.
Accessibility	x			
Lighting		x		Should upgrade.
Seating	x			Older tables. Should upgrade.

01 EDGEWOOD ECC

INTERIORS / FINISHES (CON'T)				comments
	Good	Fair	Poor	
size	x			Nice size room. Exterior natural light (looking east) present. Add on area - exterior brick present on walls
Air-Conditioning				N/A
Daylight	x			Good. But existing storefront (exterior) should be replaced. (integral blinds present)
Overall Size	x			Nice size room. No comments from district about limited space/function.
Doors		x		Aluminum exterior pair of doors (functional). Interior hollow-metal frames and wood doors could be replaced (update hardware)
Egress		x		Ok. Exterior egress present
Offices				
Flooring			x	Carpet needs to be replaced. Update.
Furniture			x	Small space/ Need to expand and update based on building tenant needs.
Ceilings		x		2x4 ceilings throughout. Item should be considered for replacement.
Paging			x	Update
Master Clock			x	Update
Phone System			x	Update
Lighting			x	Should upgrade.
Copy/Work Room		x		
Meeting Rooms			x	Not present within office. Recycling room being used next to office space.
Coffee Break Area			x	Not present within office.
Bathroom(s)			x	Not present within office.
Health Room with Toilet			x	
Visibility			x	"closed space" - not open to surrounding areas exterior or interior.
Media Center				
Size				N/A - no dedicated room currently in use for the media center based on childcare function.
Flooring				
Lighting				
Office Space				
Ventilation				
Doors				
Ceilings				
Kitchen				
Program				Building is used as a childcare center- not elementary school. Existing kitchen and cafeteria present on north end of building.
Equipment		x		JRA to provide list for selecting new equipment. Large 3 compartment sink, no ovens, (3) free standing coolers, washer & dryer retrofit
Ceilings			x	ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling tiles/diffusers/grilles all need to be replaced.
Cooler/Freezer				Walk-in units not present.
Floors			x	Replace- currently newer rubber sheet vinyl in kitchen and cafeteria. Floor drains and sinks need to be serviced and cleaned.
Delivery Space			x	Receiving area at far NW corner of building. Staff parking lot has large semi turnaround ability. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.
Storage Space			x	No storage space. Auxiliary 'cold storage' added to north end of cafeteria. Room needs to be removed and replaced.
Kitchen Hood			x	Hood present. Remove and replace.
Serving Line				No serving line.
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity
Lighting		x		Upgrade light fixtures
Fire Suppression/FA			x	No fire suppression present. Fire alarm present.
Overall				ECC center. Some small food prep, dishwashing, receive small deliveries from HS.

01 EDGEWOOD ECC

MECHANICAL				comments
	good	fair	poor	
Heating Source and Condition		X		Building is served by (2) Thermal Solutions Boilers, 1,000 MBH installed in 2003.
Heating Pumps and Piping		X		Building is served by (3) Taco inline zone pumps installed in 2003. (2) 25 gpm, 20' HD, (1) 60 gpm @ 41' HD
Cooling Source and Condition	X			Building is served by individual DX cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices	X			(18) Classrooms served by unit vents with remote condensing units on roof.
AHUs and RTUs		X		There are (4) RTU's. One 5-ton RTU is newer with cooling. The other (3) RTU's are stand-alone. (1) 5-ton RTU, (1) 10-ton RTU, (1) 3-ton RTU
Ventilation			X	All exhaust fans are original with the exception of the exhaust fans serving the remodeled group restrooms. (1) 600 cfm EF, (4) 150 cfm EF's, (1) 250 cfm EF, (1) 300 cfm EF, (1) 1,400 cfm EF
Building Management System/Controls			X	Building served by Trane Trace with partial pneumatics. Would like to upgrade graphics
Domestic Water Piping			X	Storm has leaks. Can't get access.
Water Heaters		X		Building is served by (2) water heaters. One 75 gallon, 350 MBH is at the end of life. The other was installed in 2013.
Plumbing Fixtures		X		Group restrooms remodeled in 2019. Electric water coolers with bottle fillers are new. All others are original.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL				comments
	good	fair	poor	
Transformer size	x			
Primary/Secondary Service	x			
Generator				There is no generator on site.
Occupancy Sensors				N/A
Lighting Control System		x		Toggle switches. Needs updating.
Panels	x			Majority of panels are in good shape. Panel F has open busses and needs to be replaced.
Panel Clearance	x			Need to remove storage items.
Interior Lighting			x	Fluorescent fixtures throughout need to be replaced.
Exit Signs			x	Exit signs are very old and letters are dim.
Fire Alarm		x		Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)

TECHNOLOGY				comments
	good	fair	poor	
IT Rooms		x		MDF needs AC. Old equipment needs to be removed.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district.
Clock System			x	There is no synchronized clock system. Using atomic clocks.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Gym and cafeteria have no AV.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

01 EDGEWOOD ECC

BUDGET DETAIL

ITEM #: 11		Acres:		12	
Edgewood ECC - Sitework					
Sitework	Description	Quantity	UOM	Unit Cost	Total Cost
SITWORK					
Drainage	Roof drains at overhangs are cracked and disconnected, causing issues with freezing in the winter.		1 LS	\$ 50,000.00	\$ 50,000
Asphalt Parking/ Drives				assume work not required	\$ -
Sidewalks	Poor condition throughout.	1,739	SF	\$ 11.50	\$ 19,999
Adequate Parking					\$ -
Bus Loop					\$ -
Playgrounds	Aged equipment (20+ years old), asphalt pavement at basketball courts needs to be replaced.	1	LS	\$ 300,000.00	\$ 300,000
Student Drop off Area					\$ -
Landscaping	Trees near front entrance too close to the building, overhanging				\$ -
Irrigation Systems	No Irrigation.				\$ -
Athletic fields	Soccer goals are in poor condition.				\$ -
Fencing	Fencing around ECC playground is new / in good condition.				\$ -
Service Entrance	Temporary ramps and timber steps at building & classroom entrances need to be improved.				\$ -
Signage					\$ -
Dumpster Location	No enclosure or concrete pad for dumpster.				\$ -
Traffic Directions	Drop-off is orderly with parents and a few small buses.				\$ -
Parking Lot Lighting	Has new retrofit LED bulbs			assume by owner	\$ -
Gas House	Small exterior structure houses building gas meter and incoming service. Small storage shed attached. Remove and replace.				\$ -
Exterior Lighting	Poor. Need to include with bond work. Site poles and building mounted fixtures desired. Coordinate with Security camera locations. Parking lot lighting did receive new LED bulbs. Consult with Mark F as the district is currently performing some of this work.	10	EA	\$ 3,750.00	\$ 37,500
					\$ -
					\$ -
					\$ -
Direct Trade		12 acres		\$ 33,958.21	\$ 407,499

ITEM #: 12		Gross Area:		33,000	
Edgewood ECC - Building Improvements					
Building Shell	Description	Quantity	UOM	Unit Cost	Total Cost
BUILDING SHELL					
Roofing	Roof install dates divided into (3) areas - reference roof report. 2006-2008 Firestone membrane. Roof drains at exterior corner "porches" leak and drain to grade. No exterior storm or sanitary connection. Leaks present at Kitchen location. New brown gravel stop/fascia at roof line.	33,000	SF	\$ 28.00	\$ 924,000
Exterior Windows	Need to be replaced. Original. Not thermally efficient or operational in certain locations. Single pane units present. Integral blinds damaged in some locations.	1	LS	\$ 100,000.00	\$ 100,000
Positive Drainage	No issues with building drainage (just roof drains at exterior corner "overhangs")				\$ -
Defined Entry	Southeast corner of the building (no signage).	1	LS	\$ 10,000.00	\$ 10,000
Accessibility	Asphalt ramps to main entrance. Wood platforms at all classrooms exterior egress doors. Need to replace and upgrade.	24	EA	\$ 7,500.00	\$ 180,000
Fascia/Soffits	Exterior perimeter upper porcelain fascia panels and soffits need to be replaced. Paint peeling, presence of moisture/water/mildew present at certain locations.	1	LS	\$ 75,000.00	\$ 75,000
Transite Panels				assume work not required	\$ -
Brick	Needs to be cleaned/washed.			see item above	\$ -
EIFS Fascia/Soffits	N/A			not applicable	\$ -
Caulk Joints	Need to be replaced at certain locations	1	LS	\$ 5,000.00	\$ 5,000
Water Stains	Present. Causing for further investigation. Staining on brick around existing louver openings, splices in window flashings				\$ -
Exterior Doors	Need to be replaced. Original. Single pane wire glass present.	24	EA	\$ 8,000.00	\$ 192,000
Building Entrance	No prominent main entrance. No secure vestibule. No card access upgrades present at this building. Should be updated to match work already completed on interior and exterior doors within the district.	1	LS	\$ 50,000.00	\$ 50,000

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Exterior Lighting	Minimal. Mark F changing bulbs to LED. Mark like to leave exterior fixtures on all night for security purposes. Coordinate further with Mark.	1	LS	\$	15,000.00	\$	15,000
Secondary Entrances	dated but functional. Need to address barrier free access (wood ramps) at classroom doors and building entrances.					\$	-
Structure	Cafeteria storage room (add-on) not an interior conditioned space. Exterior has potential for mildew/mold growth due to temperature differential. Recommend demolishing this small addition. Similar conditions at the outbuilding at the northeast side of the building.	1	LS	\$	50,000.00	\$	50,000
Exterior Walls	Brick is ok. Exterior clad-on 'porcelain' panel fascia needs to be replaced.					\$	-
						\$	-
INTERIORS							
Walls	Paint/refresh entire building	33,000	SF	\$	1.50	\$	49,500
Corridors	Corridors	7,661	SF			\$	-
Lighting	Some upgrades to fixture bulbs (LED). Most fixtures and ceiling should be replaced/ New fixtures installed in the select bathrooms that were renovated.	7,661	SF	\$	7.50	\$	57,458
Flooring	Need to replace and upgrade through-out building. Possible (9x9) tile below carpet. Carpet predominant in each classroom. Some classrooms with VCT (12x12) / Rubber flooring.	851.22	SY	\$	63.54	\$	54,087
Ceilings/Walls	Need to replace and upgrade throughout the building. Ceiling currently has fiberglass lay-in tiles. Repaint throughout.	7,661	SF	\$	12.00	\$	91,932
Lockers	Some corridors have lockers (should be removed and upgraded). No lockers presented in any of the classrooms	250	EA	\$	350.00	\$	87,500
Doors	Replace - HM currently. Rust/Old/Worn/Tired. Replace door knobs with barrier free levers.	10	EA	\$	3,500.00	\$	35,000
Lighting	Replace with new fixtures (efficient and better lighting)					\$	-
Heating	Add diffuser and grilles with new ceilings	7,661	SF	\$	0.50	\$	3,831
Size of Corridor	Lots of space, wide corridors, maybe room to expand classrooms footprint.					\$	-
Floor of Corridor	Large spaces. Fire extinguishers cabinets and coat hooks present in exterior corridors. Newer drinking fountains at some locations.					\$	-
Emergency Egress	Present. Corridors/Rooms clean and egress paths present. Some individual rooms have exterior doors for egress as well.					\$	-
Glass Transoms						\$	-
Vestibule Entries	Old HM painted frames with wire glass. Replace. Upgrade.	1	LS	\$	50,000.00	\$	50,000
Cabinets at Building Entrances	Poor condition. Replace. Renovate.	35	LF	\$	750.00	\$	26,250
Drinking Fountains	(2) remodeled. Remainder need to be replaced.	2	EA	\$	12,000.00	\$	24,000
Interior Signage	Needed. Almost non-existent. What is provided is not ADA compliant. Include fro entrie school	33,000	SF	\$	0.55	\$	18,150
Classrooms	Classrooms	13,009	SF			\$	-
Flooring	Replace. Carpet predominant in each classroom. We did find classrooms with VCT (12x12) / Rubber flooring.	1,445.44	SY	\$	63.54	\$	91,844
Ceilings	Replace. 2x4 ceiling grid and pads present.	13,009	SF	\$	9.00	\$	117,081
Egress Windows	Not functional - existing storefront aluminum with operable windows/screens. Classrooms have exterior egress doors.					\$	-
Casework	Replace. Classrooms have small individual closets next to bathrooms. Can be removed.	272	LF	\$	450.00	\$	122,400
Marker/Chalkboards	MBS - functional					\$	-
Heating	Add diffuser and grilles with new ceilings	13,009	SF	\$	0.50	\$	6,505
Air-Conditioning	Classroom have individual units.					\$	-
Daylight	Minimal exterior natural light					\$	-
Overall Size	Good size rooms (approx. 25x25)					\$	-
Doors	Replace - Hollow-metal. Not thermal efficient. Building did not receive interior or exterior electronic card access hardware upgrades with recent bond package.	17		\$	3,500.00	\$	59,500
Lighting	Recent bulb replacement. Not well done.	13,009	SF	\$	7.00	\$	91,063
Air-Conditioning	Classrooms received new unit vents with previous bond cycle.					\$	-
Power Outlets	Present. Seem to be enough based on classroom use					\$	-
Function	This building is a daycare center (transformed from originally an elementary school). A few additions to the building were noticeable. There is a infant/toddler wing to the south end of the building. Parents drop kids off, limited bus use to and from the facility, parents return for pick-up.					\$	-
Walls	CMU/Paint. Existing painted hollow-metal frames with wire glass divide corridors from classrooms. Need to be repainted.	13,009	SF	\$	3.00	\$	39,027
Furniture						\$	-

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Toilet Rooms		Toilet Rooms		918	SF		\$	-
Toilet Room Upgrade	Classroom locations not ADA (small and tight space - no good for anyone helping the child use the bathroom). Finishes and fixtures should be replaced. Corridor locations in good condition.	918	SF			\$ 275.00	\$	252,450
Toilet Partitions	Not present at classroom locations. Staff and corridor bathrooms were upgraded and replaced with previous bond cycle.					assume work not required	\$	-
Walls						see item above	\$	-
Floors						see item above	\$	-
Floor Drains	No issues reported.					see item above	\$	-
Lighting	Need new fixtures and ceilings.	918	SF			\$ 8.00	\$	7,344
Hand Dryers	At corridor restrooms					see item above	\$	-
Ceilings						see item above	\$	-
Mirrors						see item above	\$	-
ADA Accessible	Corridor locations ok. Classroom location not ok or up to date.					see item above	\$	-
Adequate Size	Classroom toilet rooms are small/compact/not ADA compliant.					see item above	\$	-
Gymnasium		Gymnasium		2,662	SF		\$	-
Flooring	Rubber (sheet good) floor. Recently replaced. Not aging well.... bubbles/welds/wear present.	2,662	SF			\$ 14.00	\$	37,268
Lighting	Bulb replacements recent. Can upgrade fixtures with future renovations	2,662	SF			\$ 11.00	\$	29,282
HVAC	Consider adding Rooftop unit. Fire-alarm devices present	1	LS			\$ 50,000.00	\$	50,000
Daylight	No exterior natural lighting. No AC.	2,662	SF			\$ 50.00	\$	133,100
Gym Equipment	No wall padding present.	250	SF			\$ 15.00	\$	3,750
Doors	Replace - interior and exterior locations	24	EA			\$ 5,750.00	\$	138,000
Size	Ok. Seems small but probably usable for the age-group						\$	-
Bleachers	Not present						\$	-
Egress	Present (egress interior to cafeteria). One exterior door present.						\$	-
Walls/Ceilings	CMU/Painted/acoustical panels present. Walls needs to be repainted.	2,662	SF			\$ 4.00	\$	10,648
Cafeteria		Cafeteria		2,042	SF		\$	-
Flooring	Rubber sheet good. Functional/Newer install.						\$	-
Ceilings/Walls	2x4 grid and tiles. Should update.	2,042	SF			\$ 12.00	\$	24,504
Accessibility							\$	-
Lighting	Should upgrade.	2,042				\$ 8.50	\$	17,357
Heating	Add diffuser and grilles with new ceilings	2,042	SF			\$ 0.50	\$	1,021
Seating	Older tables. Should upgrade.						\$	-
size	Nice size room. Exterior natural light (looking east) present. Add on area - exterior brick present on walls						\$	-
Air-Conditioning	N/A						\$	-
Daylight	Good. But existing storefront (exterior) should be replaced. (integral blinds present)						\$	-
Overall Size	Nice size room. No comments from district about limited space/function.						\$	-
Doors	Aluminum exterior pair of doors (functional). Interior hollow-metal frames and wood doors could be replaced (update hardware)	6	EA			\$ 3,500.00	\$	21,000
Egress	Ok. Exterior egress present						\$	-
Offices		Offices		2,649	SF		\$	-
Flooring	Carpet needs to be replaced. Update.	294.33	SY			\$ 63.54	\$	18,702
Furniture	Small space/ Need to expand and update based on building tenant needs.						\$	-
Ceilings	2x4 ceilings through-out. Item should be considered for replacement.	2,649	SF			\$ 12.00	\$	31,788
Paging	Update					in elec below	\$	-
Master Clock	Update					in elec below	\$	-
Phone System	Update					in elec below	\$	-
Lighting	Should upgrade.	2,649	SF			\$ 8.00	\$	21,192
Heating	Add diffuser and grilles with new ceilings	2,649	SF			\$ 0.50	\$	1,325
Copy/Work Room							\$	-
Meeting Rooms	Not present within office. Recycling room being used next to office space.						\$	-
Coffee Break Area	Not present within office.						\$	-
Bathroom(s)	Not present within office.					assume work not required	\$	-
Health Room with Toilet							\$	-
Visibility	"closed space" - not open to surrounding areas exterior or interior.						\$	-
Media Center		Media Center		1,859	SF		\$	-
Size	N/A - no dedicated room currently in use for the media center based on childcare function.						\$	-
Flooring							\$	-
Lighting							\$	-
Office Space							\$	-
Ventilation							\$	-
Doors							\$	-
Ceilings							\$	-
Auxiliary Spaces		Auxiliary Spaces					\$	-
General Note							\$	-
General Note							\$	-
General Note							\$	-

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Kitchen		Kitchen		696	SF		\$	-
Program	Building is childcare center- not elementary school. Existing kitchen and cafeteria present on north end of building.						\$	-
Equipment	JRA to provide list for selecting new equipment. Large 3 compartment sink, no ovens, (3) free standing coolers, washer & dryer retrofit						\$	265,500
Ceilings	ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling tiles/diffusers/grilles all need to be replaced.	696				\$	12.00	\$ 8,752
Cooler/Freezer	Walk-in units not present.						\$	-
Floors	Replace- currently newer rubber sheet vinyl in kitchen and cafeteria. Floor drains and sinks need to be serviced and cleaned.	696				\$	14.00	\$ 9,744
Delivery Space	Receiving area at far NW corner of building. Staff parking lot has large semi turnaround ability. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.						\$	-
Storage Space	No storage space. Auxiliary 'cold storage' added to north end of cafeteria. Room needs to be removed and replaced.	300	SF			\$	275.00	\$ 82,500
Kitchen Hood	Hood present. Remove and replace.						\$	-
Make-up Air							\$	-
Serving Line	No serving line.						\$	-
Electrical	No issues noted - such as too few outlets/location/breaker capacity						\$	-
Lighting	Upgrade light fixtures	696	SF			\$	8.00	\$ 5,568
Heating	Add diffuser and grilles with new ceilings	696	SF			\$	0.50	\$ 348
Secured							\$	-
Fire Suppression/FA	No fire suppression present. Fire alarm present.						\$	-
Overall	ECC center. Some small food prep, dishwashing, receive small deliveries from HS.						\$	-
							\$	-
MECHANICAL							\$	-
Heating Source and Condition	Building is served by (2) Thermal Solutions Boilers, 1,000 MBH installed in 2003.						assume work not required	\$ -
Heating Pumps and Piping	Building is served by (3) Taco inline zone pumps installed in 2003. (2) 25 gpm, 20' HD, (1) 60 gpm @ 41' HD						assume work not required	\$ -
Cooling Source and Condition	Building is served by individual DX cooling.						assume work not required	\$ -
Cooling Pumps and Piping	N/A.						\$	-
Terminal Devices	(18) Classrooms served by unit vents with remote condensing units on roof.						assume work not required	\$ -
AHUs and RTUs	There are (4) RTU's. One is newer with cooling. The other (3) RTU's are stand-alone.				see below			
AHUs and RTUs	replacing (1) 5-ton RTU, (1) 10-ton RTU, (1) 3-ton RTU		I	LS		\$	50,000.00	\$ 50,000
Ventilation	All exhaust fans are original with the exception of the exhaust fans serving the remodeled group restrooms. (1) 600 cfm EF, (4) 150 cfm EF's, (1) 250 cfm EF, (1) 300 cfm EF, (1) 1,400 cfm EF		I			\$	8,500.00	\$ 7,000
Building Management System/Controls	Building served by Trane Trace with partial pneumatics. Would like to upgrade graphics	33,000	SF			\$	5.00	\$ 165,000
Domestic Water Piping	Storm has leaks. Can't get access.	33,000	SF			\$	3.50	\$ 115,500
Water Heaters	Building is served by (2) water heaters. One 75 gallon, 350 MBH is at the end of life. The other was installed in 2013.		I	EA		\$	8,200.00	\$ 8,000
Plumbing Fixtures	Group restrooms remodeled in 2019. Electric water coolers with bottle fillers are new. All others are original.						assume work not required	\$ -
Fire Protection	N/A.						\$	-
Pool equipment	N/A.						\$	-
							\$	-
ELECTRICAL							\$	-
Transformer size							\$	-
Primary/Secondary Service							\$	-
Generator	There is no generator on site.						\$	-
Lighting	Misc. areas unaccounted for	3,363	SF			\$	7.00	\$ 23,541
Occupancy Sensors	N/A						\$	-
Lighting Control System	Toggle switches. Needs updating.	33,000	SF			\$	1.50	\$ 49,500
Panels	Majority of panels are in good shape. Panel F has open busses and needs to be replaced.		I	EA		\$	7,500.00	\$ 7,500
Panel Clearance	Need to remove storage items.						\$	-
Lighting	Fluorescent fixtures throughout need to be replaced.				in areas above		\$	-
Exit Signs	Exit signs are very old and letters are dim.				in areas above		\$	-
Fire Alarm	Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)	33,000	SF			\$	0.75	\$ 24,750
Master Clock		33,000	SF			\$	0.25	\$ 8,250
Paging		33,000	SF			\$	0.60	\$ 19,800
Phone System		33,000	SF			\$	2.00	\$ 66,000
Branch		33,000	SF			\$	2.00	\$ 66,000

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TECHNOLOGY						\$	-
IT Rooms	MDF needs AC. Old equipment needs to be removed.				included in "Phone System" above	\$	-
Fiber Optic Cabling (between buildings/IT rooms)	Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.				included in "Phone System" above	\$	-
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.				included in "Phone System" above	\$	-
Bells/Paging System	Need to update paging for the district.				included in "Paging" above	\$	-
Clock System	There is no synchronized clock system. Using atomic clocks.				included in "Mater Clock" above	\$	-
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.				assume no work required	\$	-
Large Space Audio/Video Systems	Gym and cafeteria have no AV.	2	EA	\$	25,000.00	\$	50,000
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)	33,000	SF	\$	1.00	\$	33,000
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.				assume no work required	\$	-
						\$	-
						\$	-
Direct Trade		33,000	sf	\$	136.09	\$	4,491,109

01 EDGEWOOD ECC



Main Entrance



Playground + Field



Building Entrance



North Classroom Entrances



Windows + Fascia to be replaced



Water damage at porch soffits



Mold/Mildew at outbuilding



Mold/Mildew at storage room addition

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Gym



Classroom doors to be replaced, barrier free access



Cafeteria



Single occupant toilet room



Typical Classroom

01 EDGEWOOD ECC



Typical Classroom



Typical Corridor



Casework in Poor Condition



Typical Interior door not barrier free



Typical Classroom porch condition



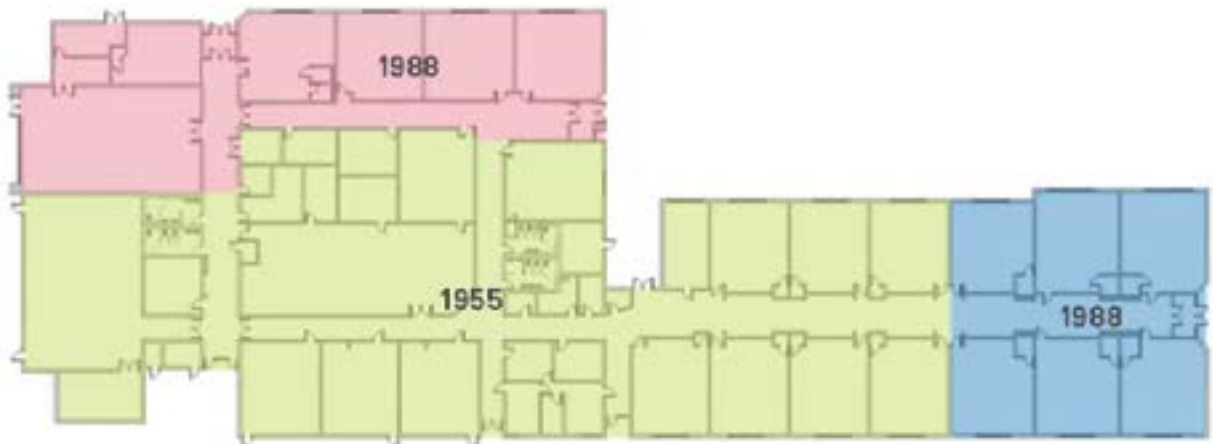
Damaged floor in corridor

02

**CORNELL
ELEMENTARY**

02 CORNELL ELEMENTARY

Use:	K-4
Built:	1955
Additions + Renovations:	1958 / 1977 / 1988
Total Building Area:	43,000 SF
Site Area:	11.87 Acres
Enrollment:	437 students
Square Footage per Student:	98.4 sf/student
Renovation Cost:	\$14,322,352
Current Replacement Value [CRV]:	\$13,760,000
Facility Condition Index [FCI]:	104%



02 CORNELL ELEMENTARY



02 CORNELL ELEMENTARY

OBSERVATION HIGHLIGHTS

SITE

Concrete sidewalks and asphalt pavement in poor condition throughout. Conflict between bus loop at main entrance and parent drop-off in parking lot to the north. Parents back up onto Cornell Road.

ARCHITECTURE

The building lacks a clearly defined main entry. Many confuse the entry to the North as the main point of entry. Entrance currently located at south parking lot not compatible with ADA based on steps only for access. No secure vestibule. Main entrance metal fascia above windows and doors should be removed and replaced. Each wing has different masonry and window framing products based on the time of construction. Building exterior walls are not uniform in look and performance. Window replacements should be considered. Exterior EIFS, surrounding finished insulated wall condition, need repair or replacement based on bird and tree damage to the product. Exterior limestone sills and masonry block infills around window openings need to be cleaned, sealed and maintained to increase lifespan and performance of all products. Deterioration of masonry mortar seen at some locations around the exterior. In addition to classrooms, the school has a media center, gym, kitchen, cafeteria and dedicated rooms for art and music. No fire suppression service reported at this facility. Some interior wood doors and hollow metal frames should be upgraded. Traditional double-loaded corridor design does not offer space conducive to learning communities or collaborative areas outside of the classroom.

INTERIORS

Classrooms are crowded. Many ancillary spaces have been taken over to accommodate needs for small group spaces or storage. There are no spaces for staff needs such as a work room, or itinerant instructional/office space.

The carpet throughout is in need of replacement. It dates back to the mid-nineties and is worn and/or stained. Corridor walls are in good condition, comprised of brick/glazed brick with painted CMU above. Corridor lockers are in decent condition. Ceilings are in good to fair condition. However, they are 24" x 48" panels which are more susceptible to warping and damage. They also appear to have a low NRC [noise reduction coefficient].

Classroom casework is damaged in many cases. Tall 48" wide storage cabinets are bowing due to rubber totes placed on top for storage and weight on shelves. Wood doors are in good to fair condition.

Interior signs are present, but are not consistent or cohesive throughout the building. Wayfinding signage is lacking as evidenced by directional paper signs hung on walls. Windows include integral blinds and appear to be in good to fair condition. There are screens placed on operable windows. These screens should be removed for emergency egress and such window locations should be marked as "emergency egress".

The sheet flooring in the Cafeteria is in disrepair and in need of replacement. The resilient sheet flooring in the Gymnasium is in good condition, with a few areas in need of repair along a seam.

Four of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated.

Furniture throughout the building is dated and of poor quality, not conducive to a flexible or comfortable learning environment for staff or students.

02 CORNELL ELEMENTARY

MECHANICAL

Replace four original rooftop units (1,000 cfm, 3,800 cfm, 2,000 cfm and 2,000 cfm). All exhaust fans in the single toilets should be replaced and tunnel exhaust should be added. And the pneumatics should be replaced with new DDC with the balance of the DDC controls for the building being upgraded.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. The building exterior needs wall packs added for better lighting. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape and do not need to be replaced.

TECHNOLOGY

The MDF is a shared space with storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. There are known issues with the current vehicle drop-off and pick-up layout and parking areas. Solutions to these issues should be considered.

02 CORNELL ELEMENTARY

DATA SHEETS

Facility Assessment

Building Name Cornell Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE	Good	Fair	Poor	comments
Drainage	x			
Asphalt Parking/ Drives			x	Pavement at entrance way is in poor condition. South parking lot is in fair/poor condition.
Sidewalks		x		Sidewalks in fair condition throughout, flush curb at drop off - recommend a raised curb for safety.
Adequate Parking		x		
Bus Loop			x	Conflict between bus loop at main entrance and parent drop-off in parking lot to the north.
Playgrounds			x	Aged equipment (20+ years old)
Student Drop off Area			x	Conflict between bus loop at main entrance and parent drop-off in parking lot to the north.
Landscaping		x		
Irrigation Systems				No Irrigation.
Athletic fields		x		Soccer Goals are in poor condition.
Fencing	x			
Service Entrance		x		Indirect service access on west side of building with no direct drive lane.
Signage			x	Main sign is in poor condition.
Dumpster Location			x	No enclosure or concrete pad for dumpster.
Traffic Directions			x	Parent drop-off double ques in parking lot, can back up onto Cornell Road
Parking Lot Lighting		x		Needs to be upgraded. Overhead electrical lines to building are hung too low.

ARCHITECTURAL	Good	Fair	Poor	comments
Building Shell				
Roofing		x		District reports leaks/ponding around roof drains due to new roofing being installed directly over existing with no consideration for drain height adjustments. Most recent roofing installations date back to 2003 and 2004, Firestone and Cooley membranes installed.
Exterior Windows		x		Some updates in the early 90's - aluminum (dark bronze) thermally broken, but some locations seem older (clear anodized) and should be replaced. All units nearing end of life cycle. Integral blinds.
Positive Drainage	x			No issues reported
Defined Entry		x		Entrance is off of east drive lane. Compact. Not sure how well it performs at high traffic flow timeframes. Older aluminum storefront entrance (single door). Card access present. Minimal site signage - consistent across district.
Accessibility		x		Present
Fascia/Soffits			x	Birds picking at EIFS fascia - maintenance issue for district. Currently repairing with spray-foam to fill holes.

02 CORNELL ELEMENTARY

ARCHITECTURAL (CON'T)	Good	Fair	Poor	Comments
Masonry	x			Mixture of brick/stone/block on exterior. CMU/stone sills need to be cleaned. There is signs of structural support through the brick wall on the south wall (gym). This may be for the side basketball hoop. - needs to be patched properly. There are signs of water intrusion on the south side of the building (entrance bump outs) - further investigation needed. Brick needs to be patched and tuckpointed, especially on lower portions of the building near sidewalks. Investigate sill flashing at windows - signs of water intrusion.
Building Structure		x		Cracks in wall at north classroom wing to be investigated
Caulk Joints			x	Due to original construction date of school, all joint sealants should be inspected and replaced based on condition.
Water Stains		x		Building has some trees in close proximity of the building along east elevation - need to be removed or limbed up.
Exterior Doors		x		Card access present. Building currently receiving some replacements. Aluminum entrances. Some entrances still need to be replaced. Review access (exterior only) to furnace room - now used for storage. Need to replace overhead door at exterior storage on the west side of the building. No barrier free access to the north doors.
Vestibule Entries			x	No secure vestibule within main entrance. Could be easily added.
Exterior Light		x		Present in parking lots (bulb replacement recent). Minimal lighting mounted to exterior of the building. District wants to improve on exterior lighting for presentation and security.
Main Entrance			x	No prominent main entrance - hard to find, not inviting and too small. Large pair of entrance doors and step noted to the north of the building where the north parking lot is located.
Exterior Appearance		x		Different 'wings' of the building have different exterior finishes - not uniform around the building.

INTERIORS / FINISHES	Good	Fair	Poor	Comments
Corridors				
Lights		x		2x4 light fixtures. Ready for upgrade. Fluorescent fixtures, need upgrade.
Flooring		x		Functional. Carpet / 12x12 VCT tile/ Runners and Rugs being used for walk off mats
Ceiling/Walls		x		Minimal staining and curling of ceiling tiles, 2 x 4 grid, older vinyl tiles to be replaced
Lockers		x		Older. Could upgrade at all corridors
Doors		x		Need to upgrade interior hollow-metal and wood doors. Electronic card access hardware present (recently installed on existing doors). Replace door knobs with barrier free levers.
Size of Corridor		x		12-14 feet wide of usable passage space. Some pinch points/tight spaces present at entrances to different 'wings'.
Flow of Corridor	x			Ok
Emergency Egress	x			Present. Door hardware/automatic operators should be considered in future work.
Glass Transoms				N/A
Vestibules				N/A
Cabinets				N/A Only Located in Classrooms
Interior Signage			x	Needed. Non-existent.
Classrooms				
Flooring		x		Carpet is functional but nearly end of service life.
Ceiling			x	Replace. Projectors present in most classrooms.

02 CORNELL ELEMENTARY

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Windows		x	x	Integral blinds present in newer units. Snags, damage, function an issue and hard to fix. Different age units in each of the different wings based on time of construction.
Casework			x	Replace. Update. Upgrade based on new mobile units.
Marker/Chalkboards		x		Markerboards (white) present and in decent condition.
Heat	x			Units to be considered for replacement. Nearing end of service life.
Air-Conditioning	x			New unit vents installed as recent bond work.
Daylight			x	Minimal natural lighting (windows small)
Overall Size		x		No comments from district on classroom size being limited/constricting.
Doors			x	Hollow-metal frames (replace). Wood doors with window lites (could be replaced). New locking hardware (access control) just installed with last bond issue. No door closers on classroom doors.
Toilet		x		Classroom toilets dated, consider updates with new finishes and fixtures
Lighting			x	Upgrade fixtures. New LED bulb replacement just completed (retrofit)
Heating			x	
Power Outlets		x		No issues to report
Furniture		x	x	
Toilet Rooms				
Fixtures Operational	x			Recent upgrades to most corridor common bathrooms. (2) corridor locations present throughout the building.
Toilet Partitions	x			
Walls	x			New tile installed (floor to ceiling elevation)
Floors	x			Epoxy poured in place product used for bathroom upgrades at all schools. Integral base.
Floor Drains	x			No issues reported with existing drains.
Lighting	x			New fixtures, ceiling mounted.
Hand Dryers				NA. Paper towel dispensers.
Ceilings	x			Seemed to be in good shape with recent bond updates. Fire alarm devices present.
Mirrors	x			New- present.
ADA Accessible	x			Yes, for bathrooms that were renovated with recent bond cycle (2-3 years old)
Adequate Size	x			Bathrooms typically had 2-3 stalls with partitions and 2-3 sinks present.
Gymnasium				
Flooring		x		Newer rubber flooring. Couple of locations where welding is failing. Bigger concern moisture maybe present underneath new floor.
Lights	x			New fixtures and bulbs
HVAC		x		No A/C currently. Ready for new units and new ductwork/diffusers update. Owner would like to add A/C to gym as it is used for camps in the summer.
Daylight			x	None - no windows or natural lighting.
Gym Equipment			x	Minimal - padding needs to be upgrading
Doors		x		Upgrade interior hollow-metal doors and frames.
Size of Corridor		x		Small - but no comment from district on limited space.
Bleachers				not present.
Egress	x			interior and exterior options available and functioning.
Cafeteria				
Flooring		x		Should be considered for replacement - high traffic/multi-use space. Currently sheet vinyl or rubber flooring. Multi-use space for afterschool
Ceilings/Walls		x		2x4 drop ceiling with grid and ceiling tile
Accessibility		x		Ok
Lighting		x		Fluorescent fixtures, need upgrade.
Seating		x		Present
size	x			Nice size room

02 CORNELL ELEMENTARY

INTERIORS / FINISHES (CON'T)	Good	Fair	Poor	comments
Daylight		x		Aluminum framing on the north elevation wall within the room.
Overall Size		x		Good. No issues reported by the district.
Doors			x	Exterior doors currently being replaced by the district.
Egress	x			No issues other than making sure tables are not located to prevent emergency egress.
Offices				
Flooring			x	Carpet - replace
Furniture			x	Needs to be updated
Ceilings			x	2x4 grid/ceiling tiles and light fixtures. Ready for upgrade.
Paging			x	District wants to replace existing system.
Master Clock			x	District wants to replace existing system.
Phone System			x	District wants to replace existing system.
Lighting			x	Needs to be updated
Copy/Work Room			x	Present - but part of a multi-use space
Meeting Rooms			x	Upgrade space/finishes/function.
Coffee Break Area			x	Upgrade
Bathroom(s)			x	Upgrade
Health Room with Toilet				N/A
Accessibility		x		Functional/compact/area needs upgrade.
Visibility			x	N/A
Media Center				
Size		x		compact/seems smaller in comparison to other elementary schools in the district
Flooring		x		carpet - ok condition. Ready for replacement within next bond cycle
Lighting		x		ceilings and fixtures can be considered for replacement
Office Space		x		
Doors		x		functional but should be considered for replacement within next bond cycle - new electronic secure locking hardware installed.
Ceilings		x		
Furniture/Shelving		x		
Kitchen				
Program				300 daily student meals served (all delivered from HS). Rotating pizza (Little Caesars) delivery day for all elementary schools. Cornell has south staff parking lot (approx. 24 spaces) but no room for shipping/receiving deliveries. No dock area. Back in full size semi trailer. This location needs redesign/reformat this area for multiple reasons. Long ramp and no double door access currently.
Equipment			x	JRA to provide list for selecting new equipment. Space currently has serving equipment, gas range and oven, warming ovens, large cooler, sinks for dishwashing, waste disposal.
Ceilings			x	ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling tiles/diffusers/grilles all need to be replaced.
Cooler/Freezer				Not present
Floors			x	Replace - currently rubber sheet vinyl in kitchen and cafeteria
Delivery Space			x	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.
Storage Space			x	No storage space
Kitchen Hood			x	Hood present above ovens. Small retrofit. Should replace.
Serving Line		x		Compact, one serving line, need to redesign/reformat. Space closed off from Cafeteria (open up).

02 CORNELL ELEMENTARY

INTERIORS / FINISHES (CON'T)	good	fair	poor	comments
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity
Lighting		x		Upgrade light fixtures
Secured	x			Yes
Fire Suppression/FA				Not present in kitchen.
				Elementary school - not fully function licensed kitchen. Compact kitchen and serving space. No kitchen office space. School does not have adequate room to handle deliveries/receiving/storage. If walk-in units were added they would need to be exterior additions due to limited usable space.
Overall			x	

MECHANICAL	good	fair	poor	comments
Heating Source and Condition		X		Building is served by (2) Thermal Solutions, 2,000 MBH, heating hot water boilers installed in 2003.
Heating Pumps and Piping		X		Building is served by (2) B&G base mounted pumps, 92 gpm @ 60' HD installed in 2003. No known issues with piping.
Cooling Source and Condition	X			Individual DX cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices	X			(21) Classrooms served by horizontal unit vents with remote condensing units installed in 2019.
AHUs and RTUs		X		Cafeteria AHU (4,500 cfm) installed around 2019. Kitchen (1,000 cfm), Media Center (3,800 cfm), and Gym (two @ 2,000 cfm each) AHU's installed in 1988. Office (1,900 cfm) and Computer Classroom RTUs installed around 2003.
Ventilation		X		Group restroom exhaust installed in 2019. Classroom toilet rooms exhaust is original. (8) 100 cfm EF's, (1) 600 cfm EF, (1) 200 cfm EF No tunnel exhaust.
Building Management System/Controls			X	Building served by Trane BMS with partial pneumatics.
Domestic Water Piping		X		No known issues.
Water Heaters		X		Building served by Lochinvar 40 gallon, 40 MBH water heater installed in 2013. Kitchen served by Lochinvar 98 gallon, 200 MBH water heater installed around 2003. Would like to combine.
Plumbing Fixtures		X		Group restrooms remodeled in 2019. All single toilets are original.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL	good	fair	poor	comments
Transformer size	x			
Primary/Secondary Service	x			Owner would like to relocate overhead power feed to building underground
Generator				There is no generator on site, owner would like hook up for a portable (temporary) generator when needed.
Occupancy Sensors				N/A
Lighting Control System			x	Toggle switches. Needs updating.
Panels	x			Majority of panels are in good shape.
Panel Clearance	x			Need to remove storage items.
Fire Alarm	x			Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)
Interior Lighting			x	Fluorescent fixtures throughout need to be replaced.
Exit Signs			x	Exit signs are very old and letters are dim.
Site Lighting			x	Owner would like to add wall packs on building and upgrade existing lights

02 CORNELL ELEMENTARY

TECHNOLOGY				comments
	good	fair	poor	
IT Rooms			x	MDF is in a shared space used for teaching and storage. Needs dedicated AC. Old equipment needs removed.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district.
Clock System			x	There is no synchronized clock system. Using atomic clocks.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Gym needs installed video/projection and new audio with better speaker distribution.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

02 CORNELL ELEMENTARY

BUDGET DETAIL

ITEM #: 7		Acres:			10
Cornell Elementary - Sitework					Elementary
Description	Quantity	UOM	Unit Cost	Total Cost	
Sitework	SITWORK				\$ -
Drainage			assume work not required	\$ -	
Asphalt Parking/ Drives	Pavement at entrance way is in poor condition. South parking lot is in fair/poor condition.		see items below	\$ -	
Asphalt Parking/ Drives	Entry/drop-off drive asphalt	12,400	SF \$ 6.39	\$ 79,222	
Asphalt Parking/ Drives	South parking lot	9,600	SF \$ 6.39	\$ 61,333	
Asphalt Parking/ Drives	North parking lot		not included	\$ -	
Asphalt Parking/ Drives	Striping and signage	22,000	SF \$ 0.14	\$ 3,069	
Concrete Curbs	Curbs at entry	950	LF \$ 35.00	\$ 33,250	
Concrete Curbs	Curbs at south lot	355	LF \$ 35.00	\$ 12,425	
Concrete Curbs	Curbs at north lot		not included	\$ -	
Bus Loop	Adjust storm structures	8	EA \$ 800.00	\$ 6,400	
Asphalt Parking/ Drives	Site restoration/landscaping	1	LS \$ 5,000.00	\$ 5,000	
Sidewalks	Sidewalks in fair condition throughout, flush curb at drop off - recommend a raised curb for safety.	9,300	SF \$ 11.50	\$ 106,950	
Adequate Parking			assume work not required	\$ -	
Bus Loop	Conflict between bus loop at main entrance and parent drop-off in parking lot to the north.	1	ALLOW \$ 175,000.00	\$ 175,000	
Playgrounds	Aged equipment (20+ years old)	1	ALLOW \$ 500,000.00	\$ 500,000	
Student Drop off Area	Conflict between bus loop at main entrance and parent drop-off in parking lot to the north.		see bus loop above	\$ -	
Landscaping			assume work not required	\$ -	
Irrigation Systems	No Irrigation.		assume work not required	\$ -	
Athletic fields	Soccer Goals are in poor condition.	2	EA \$ 3,500.00	\$ 7,000	
Fencing			assume work not required	\$ -	
Service Entrance	Indirect service access on west side of building with no direct drive lane.	1	ALLOW \$ 175,000.00	\$ 175,000	
Signage	Main sign is in poor condition.	1	EA \$ 35,000.00	\$ 35,000	
Dumpster Location	No enclosure or concrete pad for dumpster.		not included	\$ -	
Traffic Directions	Parent drop-off double ques in parking lot, can back up onto Cornell Road - ASSUME EXPAND NORTH PARKING LOT	1	ALLOW \$ 125,000.00	\$ 125,000	
Parking Lot Lighting	Needs to be upgraded. Overhead electrical lines are hung too low.		assume by owner	\$ -	
Electrical (General Note)	Exterior power line located on north side of site as it enters building. District would like to relocate underground.	500	LF \$ 65.00	\$ 32,500	
Electrical - Site Restoration	Concrete/asphalt/landscape restoration from new primary conduits	500	LF \$ 10.00	\$ 5,000	
				\$ -	
Direct Trade		10 acres	\$ 136,214.97	\$ 1,362,150	

ITEM #: 8		Gross Area:			43,000
Cornell Elementary - Building Improvements					Elementary
Description	Quantity	UOM	Unit Cost	Total Cost	
Building Shell	BUILDING SHELL				\$ -
Roofing	District reports leaks/ponding around roof drains due to new roofing being installed directly over existing with no consideration for drain height adjustments. Most recent roofing installations date back to 2003 and 2004, work completed by Royal West with Firestone and Cooley membranes installed.	43,000	SF \$ 28.00	\$ 1,204,000	
Exterior Windows	Some updates in the early 90's - aluminum (dark bronze) thermally broken, but some locations seem older (clear anodized) and should be replaced. All units nearing end of life cycle. Different 'wings' of the building have different exterior finishes - not uniform around the building. Integral blinds.	2,758	SF \$ 95.00	\$ 262,010	
Positive Drainage	No issues reported		assume work not required	\$ -	
Defined Entry	Entrance is defined - Off of east drive lane. Compact. Not sure how well it performs at high traffic flow timeframes. Older aluminum storefront entrance (single door). Card access present. Minimal site signage - consistent across district.	1	ALLOW \$ 25,000.00	\$ 25,000	
Defined Entry	Site sign	1	ALLOW \$ 35,000.00	\$ 35,000	
Accessibility	Present		assume work not required	\$ -	
EIFS Fascia/Soffits	Birds picking at EIFS fascia - maintenance issue for district. Currently repairing with spray-foam to fill holes - assume metal studs backup/metal panels/new coping	5,108	SF \$ 70.00	\$ 357,560	

02 CORNELL ELEMENTARY

Masonry	Mixture of brick/stone/block on exterior. CMU/stone sills need to be cleaned. There is signs of structural support through the brick wall on the south wall (gym). This may be for the side basketball hoop. - needs to be patched properly. There are signs of water intrusion on the south side of the building (entrance bump outs) - further investigation needed. Brick needs to be patched and tuckpointed, especially on lower portions of the building near sidewalks. Investigate sill flashing at windows - signs of water intrusion.	17,878	SF	\$ 2.00	\$ 35,756
Building Structure	Cracks in wall at north classroom wing to be investigated	1	allow	\$ 10,000.00	\$ 10,000
Caulk Joints	Due to original construction date of school, all joint sealants should be inspected and replaced based on condition.	17,878	SF	\$ 0.50	\$ 8,939
Water Stains	Building has some trees in close proximity of the building along east elevation - need to be removed or limbed up.	1	ALLOW	\$ 5,000.00	\$ 5,000
Exterior Doors	Card access present. Building currently receiving some replacements. Aluminum entrances. Some entrances still need to be replaced. Review access (exterior only) to furnace room - now used for storage. Need to replace overhead door at exterior storage on the west side of the building. No barrier free access to the north doors.		see item below		\$ -
Doors	Remove/replace HM doors - exterior & interior	19	EA	\$ 8,000.00	\$ 152,000
Doors	Remove/replace HM sidelites	360	SF	\$ 75.00	\$ 27,000
Vestibule Entries	No secure vestibule within main entrance. Could be easily added.	1	ALLOW	\$ 50,000.00	\$ 50,000
Exterior Lighting	Present in parking lots (bulb replacement recent). Minimal lighting mounted to exterior of the building. District wants to improve on exterior lighting for presentation and security.	1	LS	\$ 20,000.00	\$ 20,000
Main Entrance	No prominent main entrance - hard to find, not inviting and too small. Large pair of entrance doors and step noted to the north of the building where the north parking lot is located.		see item above		\$ -
Exterior Appearance	Different 'wings' of the building have different exterior finishes - not uniform around the building.				\$ -
INTERIORS					
Walls	Paint/refresh entire building	43,000	SF	\$ 1.50	\$ 64,500
Corridors	Corridors	7,800	SF		\$ -
Lighting	2x4 light fixtures. Ready for upgrade. Fluorescent fixtures, need upgrade.	7,800	SF	\$ 7.50	\$ 58,500
Flooring	Functional. Carpet / 12x12 VCT tile/ Runners and Rugs being used for walk off mats		see items below		\$ -
Flooring	Carpet 90%	6,660	SF	\$ 7.06	\$ 46,990
Flooring	VCT 10%	780	SF	\$ 5.00	\$ 3,900
Flooring	Entry mats	360	SF	\$ 90.00	\$ 32,400
Ceilings/Walls	Minimal staining and curling of ceiling tiles, 2 x 4 grid, older vinyl tiles to be replaced	1,560	SF	\$ 9.50	\$ 14,820
Lockers	Older. Could upgrade at all corridors	600	EA	\$ 350.00	\$ 210,000
Doors	Need to upgrade interior hollow-metal and wood doors. Electronic card access hardware present (recently installed on existing doors). Replace door knobs with barrier free levers.	46	EA	\$ 3,500.00	\$ 161,000
Size of Corridor	12-14 feet wide of usable passage space. Some pinch points/tight spaces present at entrances to different 'wings'.		assume work not required		\$ -
Flow of Corridor	Ok		assume work not required		\$ -
Emergency Egress	Present. Door hardware/automatic operators should be considered in future work.	10	EA	\$ 4,500.00	\$ 45,000
Glass Transoms	N/A		assume work not required		\$ -
Vestibule Entries	N/A		assume work not required		\$ -
Casework	N/A Only Located in Classrooms		assume work not required		\$ -
Interior Signage	Needed. Non-existent, include for entire school	43,000	SF	\$ 0.55	\$ 23,650
Classrooms	Classrooms	19,960	SF		\$ -
Flooring	Carpet is functional but nearly end of service life.	19,690	SF	\$ 7.06	\$ 139,011
Ceilings	Replace. Projectors present in most classrooms.	19,690	SF	\$ 12.00	\$ 236,280
Windows	Integral blinds present in newer units. Snags, damage, function an issue and hard to fix. Different age units in each of the different wings based on time of construction.		see building shell		\$ -
Casework	Replace. Update. Upgrade based on new mobile units.	552	LF	\$ 550.00	\$ 303,600
Casework	Premium for tall storage cabinets	253	LF	\$ 450.00	\$ 113,850
Marker/Chalkboards	Markerboards (white) present and in decent condition.		assume work not required		\$ -
Heating	Units rated as good but can be considered for replacement eventually. Nearing end of service life.		assume work not required		\$ -
Air-Conditioning	New unit vents installed as recent bond work.		assume work not required		\$ -
Daylight	Minimal natural lighting (windows small)		assume work not required		\$ -
Overall Size	No comments from district on classroom size being limited/constricting.		assume work not required		\$ -
Doors	Hollow-metal frames (replace). Wood doors with window lites (could be replaced). New locking hardware (access control) just installed with last bond issue. No door closers on classroom doors.		see corridor doors		\$ -
Lighting	Upgrade fixtures. New LED bulb replacement just completed (retrofit)	19,960	SF	\$ 7.00	\$ 139,720

02 CORNELL ELEMENTARY

Heating	Add diffuser and grilles with new ceilings	19,960	SF	\$ 0.50	\$ 9,980	
Power Outlets	No issues to report				\$ -	
Furniture					\$ -	
Toilet Rooms		630	SF	\$ -	\$ -	
Access Obstacles	Recent upgrades to meet corridor common bathroom. 60 corridor location present throughout the building.				\$ -	
Toilet Partitions					\$ -	
Walls	New tile installed floor to ceiling throughout				\$ -	
Floor	Concrete covered in stone grout used for bathroom upgrades of all schools. Installed base.				\$ -	
Floor Obstacles	No issues remained with existing drains.				\$ -	
Lighting	New fixtures, ceiling mounted.				\$ -	
Hand Dryers	ADA. Paper towel dispensers.				\$ -	
Callings	Commuter to be fixed along with recent hand sanitizers. Flu above drains present.				\$ -	
Filtration	None present.				\$ -	
ADA Accessibility	Yes, for entrances that were renovated with recent hand cycle E-2 years old				\$ -	
Access	Staircases to be replaced with E-2 stairs with condition and E-2 stairs present.				\$ -	
Toilet Basin Upgrades	Callings/upgrade classroom toilet rooms FROM existing that are 63-66 of each - 4 locations, ADA compliant	4	LOC	\$ 13,000.00	\$ 52,000	
Toilet Basin Upgrades	Callings/upgrade classroom toilet rooms that are 67-74 of each - 7 locations, not ADA compliant	7	LOC	\$ 23,000.00	\$ 161,000	
Gymnasium		2,680	SF	\$ -	\$ -	
Roofing	Remove rubber flooring. Concrete at locations where walking is being. Rubber concerns moisture under concrete underneath new floor. RUPUR ALLOWANCE	1,500	SF	\$ 1.00	\$ 1,500	
Lighting	New fixtures and bulbs				\$ -	
HVAC	No A/C currently. Ready for new units and new duct work/ceilings installed.	1,500	SF	\$ 19.66	\$ 29,490	
Doors	None - no windows or exterior lighting				\$ -	
Fire Equipment	Firewall - existing needs to be upgraded	1,500	SF	\$ 15.00	\$ 22,500	
Decor	Upgrade interior before-and-after doors and frames.	4	LOC	\$ 3,500.00	\$ 14,000	
Site of Corridor	Good - but no comment from district on ballroom space.				\$ -	
Roofing	None present.				\$ -	
Access	Interior and exterior walkways available and functioning.				\$ -	
Cafeteria		2,360	SF	\$ -	\$ -	
Roofing	Demolition completed for replacement - high traffic/anti-slip mats. Currently about 1000 sq ft rubber flooring. Field-on mats for alternative activities.	1,500	SF	\$ 9.00	\$ 13,500	
Callings/Walls	Call areas calling with grid on ceiling tile				\$ -	
Accessibility	OK.				\$ -	
Lighting	Recessed fixtures, steel supports.	1,500	SF	\$ 16.00	\$ 24,000	
Seating	Present				\$ -	
Site	Office site reuse				\$ -	
Roofing	None present.				\$ -	
Access	None present.				\$ -	
Doors	Minimum framing on the north elevation wall within the room.				\$ -	
Decor	Good. No issues reported for the district.				\$ -	
Decor	Interior doors currently being replaced for the district.				\$ -	
Access	No issues other than existing new tables are not located to prevent emergency egress.				\$ -	
Offices		2,550	SF	\$ -	\$ -	
Roofing	Current - no issues	1,500	SF	\$ 7.00	\$ 10,500	
Furniture	Needs to be installed				\$ -	
Callings	Call grid/calling tiles and light fixtures. Ready for upgrade.	1,500	SF	\$ 16.00	\$ 24,000	
Paint	District wants to replace existing ceiling.				\$ -	
Floor	District wants to replace existing ceiling.				\$ -	
Floor	District wants to replace existing ceiling.				\$ -	
Lighting	Needs to be installed	1,500	SF	\$ 16.00	\$ 24,000	
Heating	Add diffuser and grilles with new ceilings	2,550	SF	\$ 0.50	\$ 1,275	
Coordination	Present - but out of a multi-use space				\$ -	
Filtration	Upgrade mechanical/electrical.				\$ -	
Collins Bank Area	Upgrade	1	LS	\$ 10,000.00	\$ 10,000	
Restroom	Upgrade	1	LS	\$ 13,000.00	\$ 13,000	
Health Room with Toilet	ADA				\$ -	
Accessibility	Functionality/compliance, needs upgrade.	1,500	SF	\$ 10.94	\$ 16,410	
Visibility	ADA				\$ -	
Media Center		3,065	SF	\$ -	\$ -	
Roofing	Current - ok condition. Ready for replacement within steel beam cycle	2,000	SF	\$ 7.00	\$ 14,000	
Lighting	Callings and fixtures can be considered for replacement	2,000	SF	\$ 11.00	\$ 22,000	
Callings	Callings from floor above	2,000	SF	\$ 12.00	\$ 24,000	

02 CORNELL ELEMENTARY

Heating	Add diffuser and grilles with new ceilings	19,960	SF	\$	0.50	\$	9,980
Power Outlets	No issues to report						-
Furniture							-
Toilet Rooms	Toilet Rooms	630	SF				\$ -
Fixtures Operational	Recent upgrades to most corridor common bathrooms. (2) corridor locations present throughout the building.						-
Toilet Partitions							-
Walls	New tile installed (floor to ceiling elevation)						-
Floors	Epoxy poured in place product used for bathroom upgrades at all schools. Integral base.						-
Floor Drains	No issues reported with existing drains.						-
Lighting	New fixtures, ceiling mounted.						-
Hand Dryers	NA. Paper towel dispensers.						-
Ceilings	Seemed to be in good shape with recent bond updates. Fire alarm devices present.						-
Mirrors	New- present.						-
ADA Accessible	Yes, for bathrooms that were renovated with recent bond cycle (2-3 years old)						-
Adequate Size	Bathrooms typically had 2-3 stalls with partitions and 2-3 sinks present.						-
Toilet Room Upgrade	Gut/enlarge classroom toilet rooms 1988 addition that are 45-46 sf each - 6 locations, ADA compliant	6	LOC	\$	25,000.00	\$	150,000
Toilet Room Upgrade	Gut/enlarge classroom toilet rooms that are 22-24 sf each - 7 locations, not ADA compliant	7	LOC	\$	35,000.00	\$	245,000
Gymnasium	Gymnasium	2,680	SF				\$ -
Flooring	Newer rubber flooring. Couple of locations where welding is failing. Bigger concern moisture maybe present underneath new floor. REPAIR ALLOWANCE	2,680	SF	\$	1.00	\$	2,680
Lighting	New fixtures and bulbs						-
HVAC	No A/C currently. Ready for new units and new duct work/diffusers update.	2,680	SF	\$	18.66	\$	50,000
Daylight	None - no windows or natural lighting.						-
Gym Equipment	Minimal - padding needs to be upgrading	1,224	SF	\$	25.00	\$	30,600
Doors	Upgrade interior hollow-metal doors and frames.	4	EA	\$	3,500.00	\$	14,000
Size of Corridor	Small - but no comment from district on limited space.						-
Bleachers	not present.						-
Egress	interior and exterior options available and functioning.						-
Cafeteria	Cafeteria	2,360	SF				\$ -
Flooring	Should be considered for replacement - high traffic/multi-use space. Currently sheet vinyl or rubber flooring. Multi-use space for afterschool activities.	2,360	SF	\$	9.00	\$	21,240
Ceilings/Walls	2x4 drop ceiling with grid an ceiling tile						-
Accessibility	Ok						-
Lighting	Fluorescent fixtures, need upgrade.	2,360	SF	\$	8.50	\$	20,060
Seating	Present						-
size	Nice size room						-
Air-Conditioning							-
Daylight	Aluminum framing on the north elevation wall within the room.						-
Overall Size	Good. No issues reported by the district.						-
Doors	Exterior doors currently being replaced by the district.						-
Egress	No issues other than making sure tables are not located to prevent emergency egress.						-
Offices	Offices	2,550	SF				\$ -
Flooring	Carpet - replace	2,550	SF	\$	7.06	\$	18,003
Furniture	Needs to be updated						-
Ceilings	2x4 grid/ceiling tiles and light fixtures. Ready for upgrade.	2,550	SF	\$	12.00	\$	30,600
Paging	District wants to replace existing system.						-
Master Clock	District wants to replace existing system.						-
Phone System	District wants to replace existing system.						-
Lighting	Needs to be updated	2,550	SF	\$	8.00	\$	20,400
Heating	Add diffuser and grilles with new ceilings	2,550	SF	\$	0.50	\$	1,275
Copy/Work Room	Present - but part of a multi-use space						-
Meeting Rooms	Upgrade space/finishes/function.						-
Coffee Break Area	Upgrade	1	LS	\$	10,000.00	\$	10,000
Bathroom(s)	Upgrade	1	LS	\$	15,000.00	\$	15,000
Health Room with Toilet	N/A						-
Accessibility	Functional/compact/area needs upgrade.	2,550	SF	\$	80.94	\$	206,397
Visibility	N/A						-
Media Center	Media Center	3,065	SF				\$ -
Size	compact/seems smaller in comparison to other elementary schools in the district						-
Flooring	carpet - ok condition. Ready for replacement within next bond cycle	3,065	SF	\$	7.06	\$	21,639
Lighting	ceilings and fixtures can be considered for replacement	3,065	SF	\$	11.00	\$	33,715
Ceilings	Ceilings from item above	3,065	SF	\$	12.00	\$	36,780

PICTURES



PICTURES



Masonry to be cleaned



Damaged overhead door



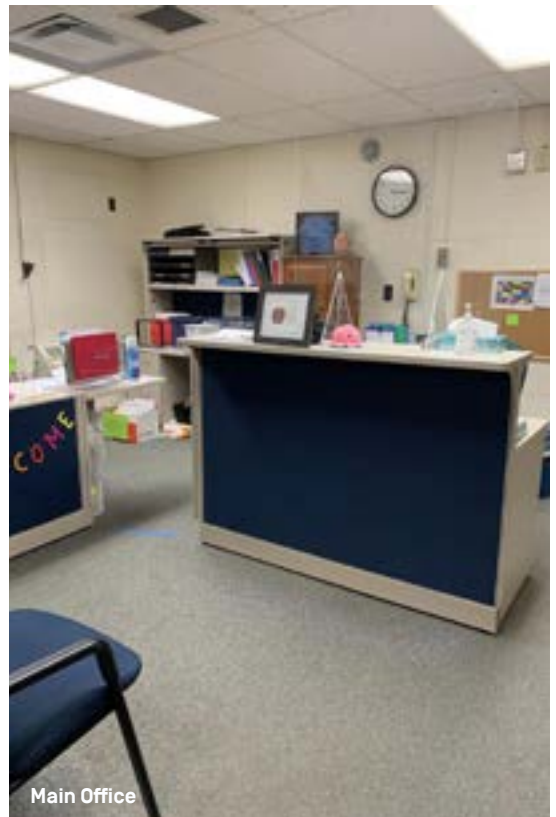
No barrier free access to the north doors



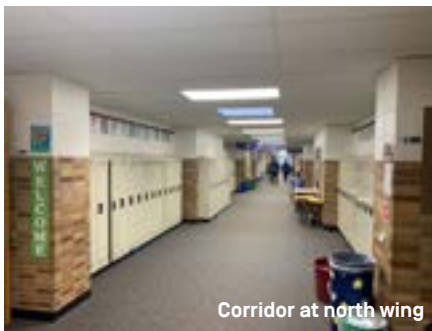
Bird damage at EIFS



Damage at exterior door sills



Main Office



Corridor at north wing



Patch and repair on the south wall

PICTURES



03

**BENNETT WOODS
ELEMENTARY**

03 BENNETT WOODS ELEMENTARY

Use:	K-4
Built:	1993
Additions + Renovations:	2019
Total Building Area:	60,800 SF
Site Area:	45.51 Acres
Enrollment:	469 students
Square Footage per Student:	129.6 sf/student
Renovation Cost:	\$10,404,391
Current Replacement Value [CRV]:	\$19,456,000
Facility Condition Index [FCI]:	53%



03 BENNETT WOODS ELEMENTARY



03 BENNETT WOODS ELEMENTARY

OBSERVATION HIGHLIGHTS

SITE

Stamped concrete at main entrance is cracked and should be replaced with snowmelt concrete. There are circulation conflicts between the parent drop-off and walkway from main parking lot. Existing screenwall at the loading dock is failing.

ARCHITECTURE

No secure vestibule. The main office is small and does not meet their current needs for office space or private conferences. The galley corridor which can be seen from the exterior courtyard positioned between both entrances linking the east side of the school to the west end where the cafeteria is located. This skylight, gutters, exterior doors, and exterior masonry knee-walls all need some attention at this location. Signs of brick deterioration present, masonry mortar efflorescence, exterior perimeter sealants failing, and water infiltration present at other areas around the perimeter of the school. Further investigation and inspection needed. On all exterior aluminum doors and frames, we noticed visible gaps where the door bottom closes over the aluminum threshold. This condition can lead to air infiltration inside the entrance and vestibule. Hardware adjustments needed on most exterior doors, possibly full repair or replacement should be considered. The school has a dedicated wing with classrooms for kindergarten students and an enclosed exterior playground for their use.

INTERIORS

Classrooms seem crowded. The louvers on the lights make the rooms seem dim, with little available natural light.

The carpet throughout is in need of replacement. It is original to the building worn and/or stained and coming apart at the seams in some areas. Corridor walls are finished with a multi-spec coating which is damaged in many areas and not easily repaired. Corridor lockers are in decent condition with a boot trough below.

Ceilings are in fair to poor condition. The panels in the Main Office are 24" x 24" but due to the decorative stepped edge they appear very dirty. In the majority of areas the panels are 24" x 48", but made to look like a 24" x 24" panel. These are starting to show signs of age and warping. Some ceiling panels are severely water damaged at areas of roof leaks.

Classroom casework is damaged in some classrooms. Hardware is coming off, edgebanding is coming off and laminate doors are chipped. Countertops have been water damaged and are expanding severely at sink locations. Wood doors are in good condition with key code access hardware. Interior signs are present, but are not consistent or cohesive throughout the building. Wayfinding signage is lacking.

Windows include integral blinds and appear to be in good to fair condition. There are screens placed on operable windows. These screens should be removed for emergency egress and such window locations should be marked as "emergency egress". The porcelain tile flooring in the Cafeteria and Seryery is in good condition, but clearly original to the building and therefore dated.

The wood floor in the Gymnasium is in good condition. The walls should have wall padding added behind the backboards. The exposed ceiling should be cleaned. The Art room has a newer VCT floor, but it is damaged due to lack of proper finishing and should be replaced.

03 BENNETT WOODS ELEMENTARY

The classrooms added in the new addition are in good condition. Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated. Furniture throughout the building is dated and of poor quality, not conducive to a flexible or comfortable learning environment for staff or students.

MECHANICAL

Replace rooftop units (10-ton, 20-ton, 2-ton, 7.5-ton, [2] 4-ton, [2] 5-ton, [2] 18,000 cfm). Replace [51] fan powered vav boxes with hot water reheat. Add cooling to MDF room. All exhaust fans should be replaced. And the DDC controls for the building should be upgraded. Replace water heaters (2-100 gallon, 200 MBH, 1-75 gallon, 75 MBH). Replace flush valves and faucets in group restrooms with automatic flush valves and faucets and shut-off valves serving the Cafeteria.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs are in fair condition. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape. The existing fire alarm system is failing and needs to be upgraded.

TECHNOLOGY

Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a "good" condition. Recent site improvements, interior renovations, and additions increased capacity at the building and extended useful life of the facility. The relatively young age of the building also lends to the recommendation to keep the facility online.

03 BENNETT WOODS ELEMENTARY

DATA SHEETS

Facility Assessment

Building Name Bennett Woods Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	Good	Fair	Poor	
Drainage	x			
Asphalt Parking/ Drives	x			Pavement is in good condition throughout, new pavement in bus loop.
Sidewalks		x		Stamped concrete at main entrance is cracked and should be replaced with snowmelt concrete.
Adequate Parking	x			
Bus Loop	x			Bus loop is new and in good condition, but is potentially undersized if student population growth continues.
Playgrounds	x			Poured in place surfacing at kindergarten playground could improve accessibility and reduce maintenance and clean up of current mulch. Playground structures are dated - consider replacement.
Student Drop off Area		x		There are circulation conflicts between the parent drop-off and walkway from main parking lot. The path to the main entrance is not well defined. Improvements could improve circulation and safety.
Landscaping		x		Landscaping located at the main parking lot is overgrown and creates a visual barrier to parent drop-off area. Mower is having issues trimming directly against the building, a maintenance strip could resolve this issue.
Irrigation Systems				NA
Athletic fields	x			Soccer goals are in poor condition.
Fencing	x			
Service Entrance	x			
Signage			x	Main entrance sign is in poor condition.
Dumpster Location			x	No dumpster enclosure. Existing screen wall at the loading dock is failing and should be removed and replaced.
Traffic Directions		x		Cannot drive behind buildings for maintenance - provide rolled curbs for access
Parking Lot Lighting	x			

03 BENNETT WOODS ELEMENTARY

ARCHITECTURAL	good	fair	poor	comments
Building Shell				
Roofing		x		Metal roofing and membrane roofing present at this school. Most recent membrane roof updates date back to 2008 with Carlisle and Firestone membranes. Leaks at gallery pass thru (issues with metal flashing/downspouts above glass hallway).
Exterior Windows		x		intrusion resistant film installed on interior side of glass district wide; gallery roof / glazing needs to be replaced - outdoor area here not used. Some windows include integral blinds. Some windows do not function properly and need to be repaired. Some signs of rust at lintels above windows.
Positive Drainage	x			
Defined Entry		x		
Accessibility	x			
Fascia/Soffits	x			main entrance and auxiliary entrance to Kindergarten suite. Surfaces seem to be in good condition. Did seem some water staining from gutter/downspouts above.
Brick		x		crumbling/failing brick wall at trash enclosure - needs to be replaced; signs of water infiltration below gallery pass through glazing, mildew on brick at lower levels should be cleaned and sealed
Caulk Joints		x		brick sealant joints at outside corners of masonry were repaired in the past and do not match the existing joints and existing caulk starting to fail - recommend replacement
Water Stains		x		Some signs of water intrusion at flashing locations in brick wall and at lintels above windows - recommend flashing repair
Exterior Doors		x		secure entrance with electronic locking hardware. Issues with gaps / seals at thresholds. Evidence of frame deterioration from slat use - snowmelt discussed.
Vestibule Entries		x		No secure vestibule; card access electronic hardware installed throughout district (universal hardware / locksets). Desire to add secure vestibule / reconfigure main office use/layout. Owner prefers wall to wall walk-off mats in vestibules
Skylights	x			no issues reported, no visible signs of leaks/stains. Consider acoustical treatments here
Cameras		x		Good (web-based system recently installed) ... but always want to add additional cameras including around the exterior of the site if possible

INTERIORS / FINISHES	good	fair	poor	comments
Corridors				
Lighting		x		current bulb retrofits. Fixtures should be replaced/upgraded.
Flooring		x		Consider carpet replacement. Need additional walk-off carpet at entrances

03 BENNETT WOODS ELEMENTARY

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Ceiling/Walls			x	Ceiling tiles and grid sagging, stained tiles. Consider replacement. Owner is open to alternative ceiling solutions (open with ceiling clouds). Further discussion needed. Multispec coating on the walls is damaged and not easily repaired. Walls need to be painted
Lockers	x			updated with last bond - boot trays below lockers (hard to keep
Doors		x		new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware?
Size of Corridor	x			no issues noted.
Flow of Corridor	x			no issues noted.
Emergency Egress	x			
Interior Signage			x	modular signs with parts missing - recommend upgrade and better wayfinding signage
Entrance Lobby		x		Poor acoustics - consider adding acoustical absorption
Classrooms				
Flooring			x	carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in
Ceiling/Walls			x	2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present.
Egress Windows				NA, not required - building is fully sprinklered
Casework		x		Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.)
Marker/Chalkboards		x		gray in color - consider replacement
Daylight		x		minimal.
Overall Size		x		always need more storage space (offices/classrooms).
Doors		x		some doors are chipped, consider replacement.
Lighting		x		replace with new ceilings.
Art Room		x		Replace VCT floor finish & refinish adjacent toilet room
Furniture		x		New furniture piloted in 2 classrooms
Toilet Rooms				
Fixtures Operational		x		interested in low flow fixture upgrades.
Toilet Partitions		x		
Walls	x			
Floors	x			epoxy poured in place - used at other schools in recent upgrades.
Floor Drains		x		facilities recommended cleaning/servicing.
Lighting	x			
Ceilings	x			drywall lids - finding chipped paint / stains. Above ceiling leaks? Moisture issues inside bathrooms? Evaluate further.
Mirrors	x			
ADA Accessible		x		Toilet rooms not updated require barrier free code updates.
Adequate Size	x			
General Note				Some recent remodels completed; consider "hands free" auto flush upgrade per owner, verify ADA compliance. Not all toilet rooms have been remodeled.
Gymnasium				
Flooring	x			Wood floor is in good condition. District planning to refinish floor during 2021 school year.
Lights	x			recently upgraded.
Daylight			x	none.

03 BENNETT WOODS ELEMENTARY

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Gym Equipment		x		no PA system, wall pads, scoreboards, or bleaches in gym. Recommend adding wall pads beneath the baskets,
Doors		x		Thresholds need to be adjusted or replaced.
Size		x		small, no room for bleachers or formal events.
Bleachers				none.
Egress	x			
Locker Rooms	x			
Walls/Ceilings	x			ceiling and walls need to be repainted
Cafeteria				
Flooring		x		Porcelain tile in good condition but dated
Ceilings/Walls		x		walls to be patched and painted. Stains/water damage present in ceiling. Some signs of cracks/masonry repair at the gallery connection.
Lighting				upgrade fixtures/consider replacement.
Seating				current tables ok, future replacement could be considered.
Size	x			no issues reported.
Daylight	x			not bad, some exterior daylight from windows/adjacent gallery pass thru.
Overall Size	x			dated / ok condition / no issues with amount space and occupancy from the district.
Doors		x		Should be considered for replacement.
Offices				
Flooring			x	Powerbond splitting at seams - should be replaced
Furniture		x		Dated furniture - recommend replacement
Walls / Ceilings			x	2x4 ceiling grid and tiles are sagging. Replace tiles, consider replacing grid with 2x2 grid. Walls to be repainted
Lighting		x		Recommend upgrade
Copy/Work Room		x		Faculty workroom is underutilized
Meeting Rooms		x		
Coffee Break Area		x		
Bathroom(s)		x		good condition(s) but dated finishes - could use an upgrade
Media Center				
Size	x			good, high ceilings.
Flooring		x		carpet - replace.
Lighting		x		consider new fixtures.
Office Space		x		small, but present, no comments on desire to reconfigure or add additional space.
Doors		x		Doors can be considered for future replacement.
Ceilings/Walls		x		patch/paint/upgraded fixtures and devices. just need finishes
Kitchen				
Program				300 daily student meals served (delivered from HS). No cooking here.
Equipment		x		JRA to provide list for selecting new equipment. Sinks/Serving equipment/ Some prep tables / 2 individual free-standing coolers.
Ceilings			x	Replace with wipeable ceiling tiles. Need new diffusers and grills.
Cooler/Freezer				Not present at this school.
Floors		x		12x12 tile and base - cracked tiles to be replaced. Drains/sinks/traps/ all need to be cleaned, maintained, serviced.

03 BENNETT WOODS ELEMENTARY

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Delivery Space			x	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.
Storage Space			x	Lacking adequate storage space. Storage room too small. Mark Fargo suggested utilizing current outdoor maintenance storage room with garage door for adding new walk-in units. Expand space beyond boiler room for more storage/new receiving and maintenance area.
Kitchen Hood				No hood presently. Need to determine location within kitchen to add one.
Serving Line		x		One serving line present (separate in and out egress).
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity.
Lighting		x		Upgrade light fixtures.
Secured	x			Yes.
Fire Suppression/FA	x			Yes, present. Fully sprinkled with fire alarm coverage.
Overall		x		Currently just a kitchen and serving area for the elementary. JRA does believe large enough SF to have fully functional operating kitchen. Not full functional kitchen presently. Still deal with deliveries/dishwashing/trash/recycle.

MECHANICAL				comments
	good	fair	poor	
Heating Source and Condition		x		(2) 2,000 MBH boilers replaced in 2015
Heating Pumps and Piping			x	There are no heating piping known issues. Pumps are Taco and are near the end of life. Would like isolation valves to split system up. (2) 225 gpm @ 95' HD.
Cooling Source and Condition			x	DX cooling. At end of life.
Cooling Pumps and Piping				N/A
Terminal Devices		x		(51) Fan powered VAV boxes w/ reheat. (4) VAV boxes w/ electric reheat. Need to add cooling to MDF.
AHUs and RTUs		x		(1) 10 ton Gas/DX RTU's, (1) 20 ton Gas/DX RTU's, (1) 2 ton Gas/DX RTU's, (1) 7.5 ton Gas/DX RTU's, (2) 4 ton Gas/DX RTU's, (2) 5 ton Gas/DX RTU's, and (2) 18,000 cfm hot water/DX RTU's with heat exchanger.
Ventilation			x	Exhaust systems appear to be original and should be evaluated further for service/replacement. (2) 200 cfm EF's, (6) 300 cfm EF's, and (5) 600 cfm EF's.
Building Management System/Controls			x	Trane Summit, no pneumatics. Beyond its life.
Domestic Water Piping			x	Dielectric fittings and valves are failing. Cafeteria valve bad.
Water Heaters			x	WH's appear to be near end of service life. (2) 100 gallon, 200 MBH and (1) 75 gallon, 75 MBH.
Plumbing Fixtures		x		Group restrooms have been remodeled. Sinks are near end of life. Still function well. Looking into auto flush valves.
Fire Protection		x		Fully sprinkled. 6" fire suppression main with (2) 4" risers provide building with coverage
Pool equipment				N/A

03 BENNETT WOODS ELEMENTARY

ELECTRICAL				comments
	good	fair	poor	
Transformer size	x			
Primary/Secondary Service	x			
Generator				There is no generator on site - battery's ok per owner; hook up for temporary generator desired
Occupancy Sensors				N/A
Lighting Control System			x	Toggle switches. Needs updating.
Panels	x			Majority of panels are in good shape.
Panel Clearance	x			Need to remove storage items.
Exit Signs		x		
Fire Alarm			x	Fire alarm is failing
Clocks			x	Clocks need to be replaced

TECHNOLOGY				comments
	good	fair	poor	
IT Rooms		x		MDF has dedicated space. Room is sprinkled. Unused equipment needs to be removed.
Fiber Optic Cabling (between buildings/IT rooms)			x	Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district. Paging speakers not loud enough in the gym.
Clock System			x	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Gym needs new audio system and installed projector - space is used as a large classroom. Cafeteria needs new audio/projection.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

03 BENNETT WOODS ELEMENTARY

BUDGET DETAIL

ITEM #: 9		Acres:		45	
Bennett Woods Elementary - Sitework					Elementary
Sitework	Description	Quantity	UOM	Unit Cost	Total Cost
SITWORK					
Drainage					\$ -
Asphalt Parking/ Drives	Pavement is in good condition throughout, new pavement in bus loop.			assume work not required	\$ -
Sidewalks	Stamped concrete at main entrance is cracked and should be replaced with snowmelt concrete.			see item below	\$ -
Sidewalks	Remove/replace stamped concrete sidewalks	2,800	SF	\$ 16.50	\$ 46,200
Sidewalks	Snow melt system - excluded			not included	
Adequate Parking				assume work not required	\$ -
Bus Loop	Bus loop is new and in good condition, but is potentially undersized if student population growth continues.			assume work not required	\$ -
Playgrounds	Poured in place surfacing at kindergarten playground could improve accessibility and reduce maintenance and clean up of current mulch. Playground structures are dated - consider replacement.	1	ALLOW	\$ 300,000.00	\$ 300,000
Student Drop off Area	There are circulation conflicts between the parent drop-off and walkway from main parking lot. Improvements could improve circulation and safety.	1	ALLOW	\$ 75,000.00	\$ 75,000
Landscaping	Landscaping located at the main parking lot is overgrown and creates a visual barrier to parent drop-off area. Mower is having issues trimming directly against the building, a maintenance strip could resolve this issue.				\$ -
Landscaping	Concrete maintenance strip	1,700	LF	\$ 25.00	\$ 42,500
Landscaping	Lanscaping allowance	1	ALLOW	\$ 25,000.00	\$ 25,000
Irrigation Systems	NA			assume work not required	\$ -
Athletic fields	Soccer goals are in poor condition.	2	EA	\$ 3,500.00	\$ 7,000
Fencing				assume work not required	\$ -
Service Entrance				assume work not required	\$ -
Signage	Main entrance sign is in poor condition.	1	EA	\$ 35,000.00	\$ 35,000
Dumpster Location	No dumpster enclosure. Existing screen wall at the loading dock is failing and should be removed and replaced.			see items below	\$ -
Dumpster Location	Remove/replace screenwall at loading dock	1	ALLOW	\$ 35,000.00	\$ 35,000
Dumpster Location	Dumpster pad and screen walls - excluded			not included	\$ -
Traffic Directions	Cannot drive behind buildings for maintenance - provide rolled curbs for access	400	LF	\$ 30.00	\$ 12,000
Parking Lot Lighting				assume by owner	\$ -
Retaining Walls				assume work not required	\$ -
					\$ -
Direct Trade		45	acres	\$ 12,837.78	\$ 577,700

ITEM #: 10		Gross Area:		60,800	
Bennett Woods Elementary - Building Improvements					Elementary
Building Shell	Description	Quantity	UOM	Unit Cost	Total Cost
BUILDING SHELL					
Roofing	Metal roofing and membrane roofing present at this school. Metal roofing areas should be original. Most recent membrane roof updates date back to 2008 with Carlisle and Firestone membranes used, install by Royal West. Leaks at gallery pass thru (issues with metal flashing/downspouts above glass hallway).			see item below	\$ -
Roofing	Assume allowance to repair roofing - not complete tear off and replacement	60,800	SF	\$ 2.00	\$ 121,600
Exterior Windows	intrusion resistant film installed on interior side of glass district wide; gallery roof / glazing needs to be replaced - outdoor area here not used. Some windows include integral blinds. Some windows do not function properly and need to be repaired. Some signs of rust at lintels above windows.	4,500	SF	\$ 10.00	\$ 45,000
Exterior Windows	Remove/replace windows with integral blinds			not included	
Exterior Windows	Remove/replace gallery windows	6	EA	\$ 1,500.00	\$ 9,000
Positive Drainage					\$ -
Defined Entry	secure entrance with electronic locking hardware. Seem to be some issues (gaps/voids/seals/install) with thresholds at exterior doors. Heavy salt use / frame deterioration - snowmelt discussed. desire to add secure vestibule / reconfigure main office use/layout. Heard district mention how walk-off mats (flooring) would be preferred in vestibules and entrance areas. Maintenance friendly/low impact.			assume work not required	\$ -
Accessibility				assume work not required	\$ -
Fascia/Soffits	Conditions present at main entrance and auxiliary entrance to Kindergarten suite. Surfaces seem in good condition. Did seem some water staining from gutter/downspouts above.	1	ALLOW	\$ 10,000.00	\$ 10,000
Maintenance Room Entry				assume work not required	\$ -

03 BENNETT WOODS ELEMENTARY

Brick	crumbling/failing brick wall at trash enclosure - needs to be replaced; signs of water infiltration below gallery pass through glazing, mildew on brick at lower levels should be cleaned and sealed		I	ALLOW	\$	20,000.00	\$	20,000
Brick	Clean brick and seal	30,000		GSFCA	\$	2.00	\$	60,000
EIFS Fascia/Soffits								\$ -
Caulk Joints	brick sealant joints at outside corners of masonry were repaired in the past and do not match the existing joints and existing caulk starting to fail - recommend replacement	30,000		GSFCA	\$	0.50	\$	15,000
Water Stains	Some signs of water intrusion at flashing locations in brick wall and at lintels above windows - recommend flashing repair							\$ -
Exterior Doors	secure entrance with electronic locking hardware. Issues with gaps / seals at thresholds. Evidence of frame deterioration from salt use - snowmelt discussed.		I	ALLOW	\$	25,000.00	\$	25,000
	Snow melt system							not included
Vestibule Entries	No secure vestibule; card access electronic hardware installed throughout district (universal hardware / locksets). Desire to add secure vesibile / reconfigure main office use/layout. Owner prefers wall to wall walk-off mats in vestibules		I	ALLOW	\$	75,000.00	\$	75,000
Exterior Lighting			I	LS	\$	20,000.00	\$	20,000
Skylights	no issues reported, no visible signs of leaks/stains. Consider acoustical treatments here							\$ -
Cameras	Good (web-based system recently installed) ... but always want to add additional cameras including around the exterior of the site if possible	6	EA		\$	5,500.00	\$	33,000
								\$ -
INTERIORS								
Walls	Paint/refresh entire building	60,800	SF		\$	1.50	\$	91,200
Corridors	Corridors	11,500	SF					\$ -
Lighting	current bulb retrofits. Fixtures should be replaced/upgraded.	11,500	SF		\$	7.50	\$	86,250
Flooring	Consider carpet replacement. Need additional walk-off carpet at entrances	11,500	SF		\$	7.06	\$	81,190
Ceilings/Walls	Ceiling tiles and grid sagging, stained tiles. Consider replacement. Owner is open to alternative ceiling solutions (open with ceiling clouds). Further discussion needed. Multispec coating on the walls is damaged and not easily repaired. Walls need to be painted	11,500	SF		\$	12.00	\$	138,000
Heating	Add diffuser and grilles with new ceilings	11,500	SF		\$	0.47	\$	5,400
Lockers	updated with last bond - boot trays below lockers (hard to keep clean)							\$ -
Doors	new electronic locking hardware. Doors should be considered for replacement, reuse locking hardware?	75	EA		\$	3,500.00	\$	262,500
Size of Corridor	no issues noted.							\$ -
Flow of Corridor	no issues noted.							\$ -
Emergency Egress								\$ -
Interior Signage	modular signs with parts missing - recommend upgrade and better wayfinding signage, include for entire school	60,800	SF		\$	0.55	\$	33,440
Entrance Lobby	Poor acoustics - consider adding acoustical absorption							
Classrooms	Classrooms	25,400	SF					excludes latchkey
Flooring	carpet (powerbond) installed in classrooms - recommend replacement; VCT floor in	25,400	SF		\$	7.06	\$	179,324
Ceilings/Walls	2x4 ceiling grid and tiles are sagging and stained. Replace tiles, consider replacing grid with 2x2 grid. CMU and drywall walls need to be repainted (school colors?). present, marker boards - replace / options.	25,400	SF		\$	12.00	\$	304,800
Marker/Chalkboards	Remove/repalce markerboards - Assume 3 each/classroom (8' lf/each MB)	28	RMS		\$	3,360.00	\$	94,080
Egress Windows	NA, not required - building is fully sprinklered							\$ -
Casework	Some countertops in wet areas have delaminated - recommend replacement. Casework in working order - consider selective repair/replacement as needed (chipped laminate, etc.)	560	LF		\$	170.00	\$	95,200
Casework	Repair existing casework	1,120	LF		\$	35.00	\$	39,200
Marker/Chalkboards	gray in color							\$ -
Heating								\$ -
Air-Conditioning								\$ -
Daylight	minimal.							\$ -
Overall Size	always need more storage space (offices/classrooms).							\$ -
Doors	should be considered for replacement.	12	EA		\$	3,500.00	\$	42,000
Lighting	replace with new ceilings.	25,400	SF		\$	7.00	\$	177,800
Heating	Add diffuser and grilles with new ceilings	25,400	SF		\$	0.50	\$	12,700
Art Room	Replace VCT floor finish & refinish adjacent toilet room	600	SF		\$	5.00	\$	3,000

03 BENNETT WOODS ELEMENTARY

General Note 2			assume work not required	\$	-
Furniture	New furniture piloted in 2 classrooms		owner FF&E budget %	\$	-
Toilet Rooms	Toilet Rooms	1,420	SF		\$ -
Fixtures Operational			see below		\$ -
Toilet Partitions			see below		\$ -
Walls	interested in low flow fixture upgrades.		not included		\$ -
Floors	epoxy poured in place - used at other schools in recent upgrades.		assume work not required		\$ -
Floor Drains	facilities recommended cleaning/servicing.	1	LS	\$ 6,000.00	\$ 6,000
Lighting			see item below		\$ -
Hand Dryers			see item below		\$ -
Ceilings	drywall lids - finding chipped paint / stains. Above ceiling leaks? Moisture issues inside bathrooms? Evaluate further.	922	SF	\$ 12.00	\$ 11,064
Mirrors			see item below		\$ -
ADA Accessible	Toilet rooms not updated require barrier free code updates.		see item below		\$ -
Adequate Size			see item below		\$ -
General Note	Some recent remodels; consider "hands free" auto flush upgrade per owner, verify ADA compliance. Not all toilet rooms have been remodeled.		see item below		\$ -
Toilet Room Upgrade	Renovate remaining toilet rooms	1,420	SF	\$ 275.00	\$ 390,500
Gymnasium	Gymnasium	4,100	SF		\$ -
Flooring	Wood floor is in good condition. District planning to refinish floor during 2021 school year.		work by owner		\$ -
Lighting	recently upgraded.		assume work not required		\$ -
HVAC			assume work not required		\$ -
Daylight	none.		assume work not required		\$ -
Gym Equipment	no PA system, wall pads, scoreboards, or bleaches in gym. Recommend adding wall pads beneath the baskets,		see below		\$ -
Gym Equipment	Wall pads	1,560	SF	\$ 25.00	\$ 39,000
Doors	Thresholds need to be adjusted or replaced.	5	EA	\$ 1,000.00	\$ 5,000
Size	small, no room for bleachers or formal events.		assume work not required		\$ -
Bleachers	none.		assume work not required		\$ -
Locker Rooms			assume work not required		\$ -
Walls/Ceilings	ceiling and walls need to be repainted	4,100	SF	\$ 5.00	\$ 20,500
General Note			assume work not required		\$ -
Cafeteria	Cafeteria	2,300	SF		\$ -
Flooring	Porcelain tile in good condition but dated		assume work not required		\$ -
Ceilings/Walls	walls to be patched and painted. Stains/water damage present in ceiling. Some signs of cracks/masonry repair at the gallery connection.	2,300	SF	\$ 12.00	\$ 27,600
Accessibility			assume work not required		\$ -
Lighting	upgrade fixtures/consider replacement.	2,300	SF	\$ 8.50	\$ 19,550
Heating	Add diffuser and grilles with new ceilings	2,300	SF	\$ 0.50	\$ 1,150
Seating	current tables ok, future replacement could be considered.		owner FF&E budget %		\$ -
Size	no issues reported.		assume work not required		\$ -
Air-Conditioning			assume work not required		\$ -
Daylight	not bad, some exterior daylight from windows/adjacent gallery pass thru.		assume work not required		\$ -
Overall Size	dated / ok condition / no issues with amount space and occupancy from the district.		assume work not required		\$ -
Doors	Should be considered for replacement.	6	EA	\$ 3,500.00	\$ 21,000
General Note					\$ -
Offices	Offices	2,300	SF		\$ -
Flooring	Powerbond splitting at seams - should be replaced	2,300	SF	\$ 7.06	\$ 16,238
Furniture	Dated furniture - recommend replacement		owner FF&E budget %		\$ -
Ceilings/Walls	2x4 ceiling grid and tiles are sagging. Replace tiles, consider replacing grid with 2x2 grid. Walls to be repainted	2,300	SF	\$ 12.00	\$ 27,600
Paging			in elec below		\$ -
Master Clock			in elec below		\$ -
Phone System			in elec below		\$ -
Lighting		2,300	SF	\$ 8.00	\$ 18,400
Heating	Add diffuser and grilles with new ceilings	2,300	SF	\$ 0.50	\$ 1,150
Copy/Work Room	Faculty workroom is underutilized		assume work not required		\$ -
Meeting Rooms			assume work not required		\$ -
Coffee Break Area			assume work not required		\$ -
Bathroom(s)	good condition but dated finishes - could use an upgrade		assume work not required		\$ -
General Note			assume work not required		\$ -
Media Center	Media Center	2,400	SF		\$ -
Size	good, high ceilings.		assume work not required		\$ -
Flooring	carpet - replace.	2,400	SF	\$ 7.06	\$ 16,944
Lighting	consider new fixtures.	2,400	SF	\$ 11.00	\$ 26,400

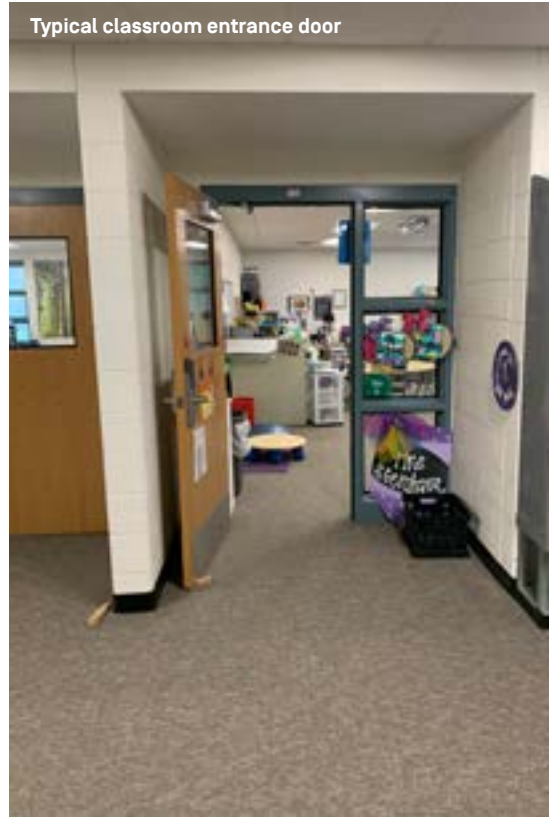
03 BENNETT WOODS ELEMENTARY

Occupancy Sensors	N/A				\$	-
Lighting Control System	Toggle switches. Needs updating.	60,800	SF	\$	1.50	\$ 91,200
Panels	Majority of panels are in good shape.					\$ -
Panel Clearance	Need to remove storage items.					\$ -
Exit Signs						\$ -
Fire Alarm	Fire alarm is failing	60,800	SF	\$	1.75	\$ 106,400
Clocks	Clocks need to be replaced	60,800	SF	\$	0.25	\$ 15,200
Paging		60,800	SF	\$	0.60	\$ 36,480
Phone System		60,800	SF	\$	2.00	\$ 121,600
Branch		60,800	SF	\$	2.00	\$ 121,600
TECHNOLOGY						
IT Rooms	MDF has dedicated space. Room is sprinkled. Unused equipment needs to be removed.					\$ -
Fiber Optic Cabling (between buildings/IT rooms)	Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.					\$ -
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.					\$ -
Bells/Paging System	Need to update paging for the district. Paging speakers not loud enough in the gym.					\$ -
Clock System	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.					\$ -
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.					\$ -
Large Space Audio/Video Systems	Gym needs new audio system and installed projector - space is used as a large classroom. Cafeteria needs new audio/projection.	2	EA	\$	25,000.00	\$ 50,000
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)	60,800	SF	\$	1.00	\$ 60,800
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.					\$ -
						\$ -
						\$ -
Direct Trade		60,800	SF	\$	76.38	\$ 4,644,056

03 BENNETT WOODS ELEMENTARY



Main Entrance



Typical classroom entrance door



Main Entrance Courtyard



Replace wall at receiving



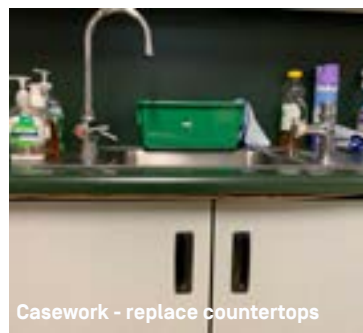
Street signage



Skylight at gallery pass-thru



Toilet Room



Casework - replace countertops

03 BENNETT WOODS ELEMENTARY



Knee wall at gallery pass-thru



Entrance door threshold - visible gaps present



School Gymnasium



Gym entrance threshold condition



Gallery Roof



Current casework in typical classroom



Typical locker arrangement

03 BENNETT WOODS ELEMENTARY



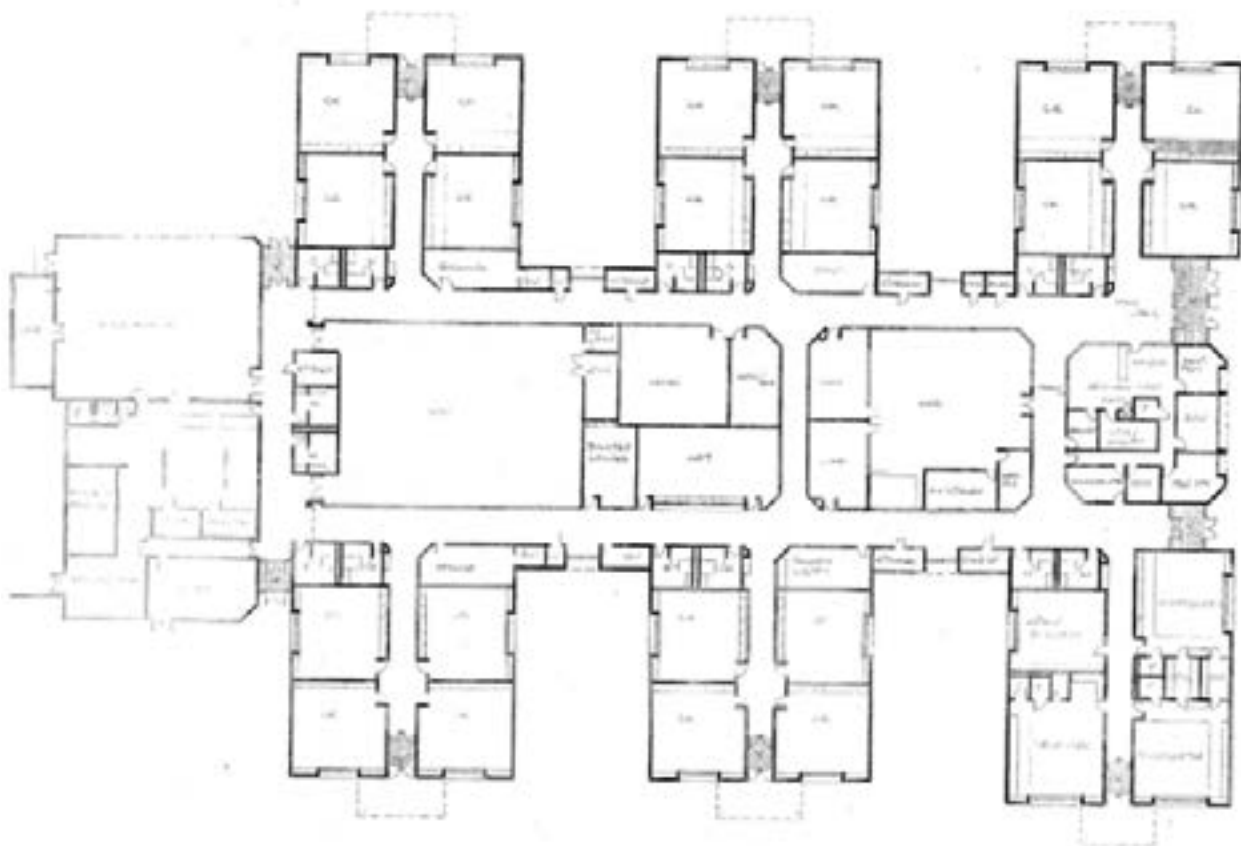
Current interior conditions at gallery knee-wall

04 HIAWATHA ELEMENTARY



04 HIAWATHA ELEMENTARY

Use:	K-4
Built:	1988
Additions + Renovations:	n/a
Total Building Area:	62,000 SF
Site Area:	19.93 Acres
Enrollment:	471 students
Square Footage per Student:	131.6 sf/student
Renovation Cost:	\$11,685,587
Current Replacement Value [CRV]:	\$19,840,000
Facility Condition Index [FCI]:	59%



04 HIAWATHA ELEMENTARY



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OBSERVATION HIGHLIGHTS

SITE

Pavement is in good condition throughout. Circulation works well. Stone drainage area adjacent to the teacher parking creates maintenance issues, and should be removed if possible. Playground equipment in good condition.

ARCHITECTURE

Main entrance is well defined. No secure vestibule. Roof leaks reported at some locations. Exterior classroom windows and aluminum framing in good condition. Exterior brick and mortar deteriorating at head condition above windows. Attention and further investigation needed at the exterior angled brick condition below all classroom windows. Sealants and mortar at this location need to be repaired. All exterior perimeter hollow metal frames and doors are showing signs of age and rust. Consider repair and replacement with thermally broken aluminum frames and doors.

INTERIORS

The carpet throughout is in need of replacement. It dates back to the mid-nineties and is worn and/or stained with some separation at the seams. Many of the corridor and classroom walls are painted gypsum board, which is showing signs of wear and tear. The paint is peeling and many areas are gouged in need of repair.

Ceilings are in fair to poor condition. The majority of the panels are 24" x 48" are showing signs of age and warping. Some ceiling panels are severely water damaged. The sheet vinyl flooring in the Cafeteria is in disrepair and needs to be replaced.

The wood floor in the Gymnasium is in good condition. The walls should have wall padding added behind the backboards. The exposed ceiling should be cleaned. Classroom casework should be replaced. Many edges are falling off of doors and there are several instances where the laminate significantly chipped or delaminating.

Wood doors are in fair condition with key code access hardware. Some doors are significantly chipped and damaged. Interior signs are present, at some locations but are not consistent or cohesive throughout the building. Grade level corridors are identified with some color and identity which helps with wayfinding and creating some character in an otherwise uninspiring building.

Windows include integral blinds and appear to be in good to fair condition. There are screens placed on operable windows. These screens should be removed for emergency egress and such window locations should be marked as "emergency egress". Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated.

Furniture throughout the building varies in terms of style and quality. Overall the furniture that exists is not conducive to a flexible or comfortable learning environment for staff or students.

MECHANICAL

Replace air-handling units (5,000 cfm and 8,000 cfm). Rebalance all hydronic and air systems in the building. Replace all exhaust fans in the building. Add cooling to electrical room. Replace partial pneumatics with new DDC and upgrade remaining DDC. Upgrade single toilets.

04 HIAWATHA ELEMENTARY

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. The building exterior needs wall packs added for better lighting. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape and do not need to be replaced.

TECHNOLOGY

The MDF is a shared space with storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a “good” condition.

04 HIAWATHA ELEMENTARY

DATA SHEETS

Facility Assessment

Building Name Hiawatha Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	good	fair	poor	
Drainage		x		Stone drainage area adjacent to the teacher parking creates maintenance issues, should be removed if possible.
Asphalt Parking/ Drives		x		Some cracks observed in south drive and main entry. Main lot in good condition.
Sidewalks		x		Concrete sidewalks in playground area are in fair condition. Add snowmelt at main entrance.
Adequate Parking	x			
Bus Loop	x			Bus loop is separated from parent drop-off
Playgrounds	x			
Student Drop off Area	x			Works well
Landscaping	x			
Irrigation Systems				NA
Athletic fields	x			
Fencing	x			
Signage		x		
Dumpster Location		x		Concrete pad, but no dumpster enclosure.
Parking Lot Lighting		x		

ARCHITECTURAL				comments
	good	fair	poor	
Building Shell				
Roofing		x		Leaks reported by the teachers lounge, issues with flashing at main entrance canopy. 2012 Carlisle membrane
Exterior Windows			x	Casements do not work/ heavy/latching issues - not user friendly, Integral blinds
Positive Drainage		x		Need to further investigate storm runoff area at NW corner just north of staff parking lot.
Defined Entry	x			
Accessibility		x		
Fascia/Soffits	x			EIFS soffits and entrance canopy - needs to be repainted. Metal fascia/coping in good condition
Brick	x			Brick investigation needed at window head and sill (water intrusion and flashing conditions). Rusted lintels. Some brick spalling at sloped brick sills
Caulk Joints		x		Consider further inspection, replacement. Noticed some recent updates but sealant color selected did not match original/existing.
Water Stains		x		Present on brick ledges, sills above window heads
Exterior Doors			x	Exterior doors to be replaced, hardware/function issues

04 HIAWATHA ELEMENTARY

ARCHITECTURAL (CON'T)	good	fair	poor	comments
Exterior Light		x		District currently replacing lamps on existing parking lot light poles with LED
Building Entrances			x	Replace hollow metal storefront system at vestibules - bottom rusting. No secure vestibule at entrance.
Security/Cameras		x		district always looking to add more locations at exterior perimeter.

INTERIORS / FINISHES	good	fair	poor	comments
Corridors				
Lights		x		upgrade fixtures - original.
Flooring		x		replace carpet - near end of life.
Ceiling/Walls			x	Remove and replace 2x4 ceiling tiles and grid/seeing lots of stains and some sagging/pillowing of tiles. Panelized partition walls - no color and dull - upgrade with patch/paint.
Lockers		x		Appears to be in good condition, original lockers - consider replacing with similar lockers a Bennett Woods (wide with shoe cubbies below).
Doors			x	should be removed and replaced. Most doors do not have barrier free hardware.
Size of Corridor		x		ok - no issues reported.
Emergency Egress		x		ok.
Interior Signage			x	Not ADA compliant
Classrooms				
Flooring		x		combination of carpet and VCT tile flooring currently - should be considered for replacement.
Ceiling		x	x	original - replace with new grid and tiles, many stained ceiling tiles - investigate above for leaks
Egress Windows		x		present - did not test function.
Casework		x		Original casework, in good condition - need to be repaired to place in good working order. Plastic laminate countertop delaminating in some wet locations - consider replacing with solid surface. Do staff and teachers desire new/mobile casework?
Marker/Chalkboards		x		upgrade - combo chalk and marker (smartboards) current in use - too small ?
Heat				
Air-Conditioning				
Daylight		x		Minimal - would be difficult to install larger perimeter windows given brick exterior details around current windows.
Overall Size		x		compact - discuss further with teachers/class sizes.
Doors		x		should be considered for replacement.
Lighting		x		upgrade.
Toilet Rooms				
Fixtures Operational	x	x		Yes.
Toilet Partitions	x	x		Nice in renovated toilet rooms/need to be replace in existing toilet rooms.
Walls	x			Ok condition.
Floors	x	x		New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated.
Floor Drains		x		All floors drains should be cleaned and serviced.
Lighting	x			
Hand Dryers	x			only present in updated toilet rooms.
Ceilings	x			
Mirrors	x			
ADA Accessible		x		existing room not renovated with last bond cycle present barrier free challenges.
Adequate Size	x			Not bad for an elementary school.

04 HIAWATHA ELEMENTARY

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
General Note				All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled.
Gymnasium				
Flooring		x		wood floor needs to be refinished. The district was planning to refinish this floor over Christmas.
Lights	x			newer upgrade - consistent with other schools.
HVAC		x		Performing commissioning/TAB analysis.
Daylight			x	None.
Gym Equipment		x		Need wall padding - sound panels installed above CMU walls - 8' AFF.
Doors		x		consider door and hardware upgrades.
Bleachers				none.
Egress	x			Interior and exterior egress present.
Walls/Ceilings		x		Walls & ceiling to be repainted
Size	x			
Cafeteria				
Flooring			x	Current sheet vinyl product - separation/movement/failures present.
Ceilings/Walls			X	2x2 grid and fiberglass pads - needs to be replaced, leaks in Storage ceiling - investigate flashing above.
Accessibility	x			ok.
Lighting		x		upgrade light fixtures.
Seating		x		old tables with integral benches.
Daylight	x			ok - perimeter window wall present.
Overall Size		x		no comments/concerns noted about capacity or need to expand. Room serves other uses outside of cafeteria for students.
Doors		x		Remove and replace.
Offices				
Flooring		x		replace.
Furniture		x		replace.
Ceilings		x		remove and replace.
Paging		x		update.
Master Clock		x		update.
Phone System		x		update.
Lighting		x		upgrade fixtures.
Copy/Work Room		x		upgrade - renovate (small and compact with VCT flooring / gyp walls and original casework and fridge. Staff deserve upgrade.
Meeting Rooms		x		upgrade - renovate.
Coffee Break Area				not present.
Bathroom(s)				not present.
Visibility		x		limited visibility to exterior. Main office is centrally located between main and secondary school entrances
Health Room with Toilet		x		upgrade school nurse area
Accessibility		x		ok - barrier free hardware issues on doors
Media Center				
Size	x			good.
Flooring		x		carpet ok condition - but will need to be replaced.
Lighting		x		upgrade lights.
Office Space		x		small and compact - consider for finishes updates - flooring/paint/ceilings/sound?
Doors		x		doors to be replaced
Ceilings	x			consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space.
Acoustics	x			no issues noted
Seating		x		need new tables and chairs
Perimeter Window Frames	x			Painted hollow-metal with clear glass - good visibility for centrally located Media Center.
General Note				small / compact. Building has dedicated Art Room and Music Room

04 HIAWATHA ELEMENTARY

INTERIORS / FINISHES (CON'T)	Good	Fair	Poor	Comments
Kitchen				
Program				300 meals served daily. Was full functional satellite kitchen for the district previously.
Equipment		x		Need New Commercial Fridge/Coolers. Need new sink disposals.
Ceilings			x	Replace with wipeable ceiling tiles. Need new diffusers and grills.
Cooler/Freezer		x		Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins.
Floors	x			4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced.
Delivery Space			x	Receiving area attached to west elevation staff parking lot. No dock currently at this school.
Storage Space		x		Nice space - need new floor and ceilings. Could use new shelving.
Kitchen Hood		x		Present and large, should be considered for replacement.
Serving Line		x		One functional line presently, Originally had two functioning lines. If program changes and kitchen becomes full service again then 2 serving lines required.
Electrical		x		Issue reported by kitchen staff regarding floor outlets not working.
Lighting	x			Linear surface mounted fluorescent bulb fixtures.
Secured	x			Yes.
Fire Suppression/FA	x			Yes, present. Fully sprinklered with fire alarm coverage.
Overall		x		JRA to recommend list of new equipment for consideration, remove residential equipment present, upgrade storage room floor and ceiling. Consider delivery/receiving area, amount of storage space, transition to recycle/compost program.

MECHANICAL	Good	Fair	Poor	Comments
Heating Source and Condition		X		Building served by (2) Cleaver Brooks Boilers at 1,000 MBH each installed in 2013.
Heating Pumps and Piping		X		Building served by (2) B&G inline pumps with integral VFD installed in 2013. No known issues with piping.
Cooling Source and Condition	X			Individual DX condensing units. Electrical room needs cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices	X			Classrooms served by (24) horizontal unit vents with remote condensing units installed in 2019. Units need water and air rebalancing.
AHUs and RTUs		X		A 7.5 ton RTU serves the Offices. (1) 5,000 cfm AHU serves the Gym, and (1) 8,000 cfm AHU serves the Kitchen and all are original to the building. Units need water and air rebalancing.
Ventilation			X	All exhaust fans are original to the building. (3) 200 cfm EF, (1) 600 cfm EF, (6) 400 cfm EF, and (1) 100 cfm EF
Building Management System/Controls			X	Building has Trane BMS with pneumatics in Gym, Kitchen, and Offices.
Domestic Water Piping		X		No known issues.
Water Heaters	X			Building served by Lochinvar ETN076, 75 gallon, 76 MBH water heater installed around 2017.
Plumbing Fixtures		X		Group restrooms remodeled around 2017. (6) Single restrooms are original ('89).
Fire Protection		X		Building is fully sprinkled. 6" Main - with two 4" risers feed the building
Pool equipment				N/A.

04 HIAWATHA ELEMENTARY

ELECTRICAL				comments
	good	fair	poor	
Transformer size	x			
Primary/Secondary Service			x	
Generator				N/A
Occupancy Sensors				N/A
Lighting Control System			x	Toggle switches. Needs to be replaced.
Panels			x	Panels are original to the building and degraded. Consider replacing.
Panel Clearance			x	Remove storage items.
Exit Signs			x	Exit signs are very old and letters are dim.
Security Camera System	x			District would like to add more cameras
Clocks			X	Clocks need to be replaced

TECHNOLOGY				comments
	good	fair	poor	
IT Rooms			x	MDF is combination storage/office space. No separate AC.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district.
Clock System			x	There is no synchronized clock system. Using atomic clocks.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Gym needs new audio system and installed projector & screen. Cafeteria has a screen but needs new audio and installed projector.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

04 HIAWATHA ELEMENTARY

BUDGET DETAIL

ITEM #: 5		Acres: 19		
Hiawatha Elementary - Sitework				Elementary
Description	Quantity	UOM	Unit Cost	Total Cost
Sitework	SITWORK			
Drainage	Stone drainage area adjacent to the teacher parking creates maintenance issues, should be removed if possible.	1	ALLOW	\$ 5,000.00 \$ 5,000
Asphalt Parking/ Drives	Some cracks observed in south drive and main entry. Main lot in good condition.	1	ALLOW	\$ 10,000.00 \$ 10,000
Sidewalks	Concrete sidewalks in playground area are in fair condition. Add snowmelt at main entrance.			\$ -
Sidewalks	Remove/replace sidewalks	4,300	SF	\$ 11.50 \$ 49,450
Concrete Curbs	Concrete straight curb at paving	245	LF	\$ 35.00 \$ 8,575
Sidewalks	Add snow melt sytem at front walks		not included	\$ -
Adequate Parking			assume work not required	\$ -
Bus Loop	Bus loop is separated from parent drop-off		assume work not required	\$ -
Playgrounds			assume work not required	\$ -
Student Drop off Area	Works well		assume work not required	\$ -
Landscaping			assume work not required	\$ -
Irrigation Systems			assume work not required	\$ -
Athletic fields			assume work not required	\$ -
Fencing			assume work not required	\$ -
Service Entrance			assume work not required	\$ -
Signage			assume work not required	\$ -
Dumpster Location	Concrete pad, but no dumpster enclosure.		not included	\$ -
Traffic Directions			assume work not required	\$ -
Parking Lot Lighting			assume by owner	\$ -
Retaining Walls			assume work not required	\$ -
				\$ -
Direct Trade		19	\$	3,843.42 \$ 73,025

ITEM #: 6		Gross Area: 62,000		
Hiawatha Elementary - Building Improvements				Elementary
Description	Quantity	UOM	Unit Cost	Total Cost
Building Shell	BUILDING SHELL			
Roofing	Leaks reported by the teachers lounge, issues with flashing at main entrance canopy. 2012 Carlisle membrane	62,000	SF	\$ 3.00 \$ 186,000
Exterior Windows	Casements do not work/ heavy/latching issues - not user friendly, Integral blinds	3,600	SF	\$ 95.00 \$ 342,000
Positive Drainage	Need to further investigate storm runoff area at NW corner just north of staff parking lot.	1	LS	\$ 10,000.00 \$ 10,000
Defined Entry			assume work not required	\$ -
Accessibility			assume work not required	\$ -
Fascia/Soffits	EIFS soffits and entrance canopy - needs to be repainted. Metal fascia/coping in good condition	5,850	SF	\$ 5.00 \$ 29,250
Brick	Brick investigation needed at window head and sill (water intrusion and flashing conditions). Rusted lintels. Some brick spalling at sloped brick sills			\$ -
Brick	Clean/repaint steel lintels	505	LF	\$ 15.00 \$ 7,575
Brick	Remoe/repalce lintels, allowance	50	LF	\$ 150.00 \$ 7,500
Brick	Brick replacement	1	ALLOW	\$ 25,000.00 \$ 25,000
Caulk Joints	Consider further inspection, replacement. Noticed some recent updates but sealant color selected did not match original/existing.	27,300	SF	\$ 0.50 \$ 13,650
Water Stains	Present on brick ledges, sills above window heads	27,300	SF	\$ 2.00 \$ 54,600
Exterior Doors	Exterior doors to be replaced, hardware/function issues	28	EA	\$ 8,000.00 \$ 224,000
General Note				\$ -
Exterior Lighting	District currently replacing lamps on existing parking lot light poles with LED	1	LS	\$ 20,000.00 \$ 20,000
Building Entrances	Replace hollow metal storefront system at vestibules - bottom rusting. No secure vestibule at entrance.	22	EA	\$ 5,500.00 \$ 121,000
Building Entrances	HM sidelites/transoms	186	SF	\$ 75.00 \$ 13,950
Security/Cameras	district always looking to add more locations at exterior perimeter.	6	EA	\$ 5,500.00 \$ 33,000
				\$ -
				\$ -
INTERIORS				
Walls	Paint/refresh entire building	62,000	SF	\$ 1.50 \$ 93,000
Corridors	Corridors			
		13,800	SF	\$ -
Lighting	upgrade fixtures - original.	13,800	SF	\$ 7.50 \$ 103,500
Flooring	replace carpet - near end of life.	13,800	SF	\$ 7.06 \$ 97,428
Ceilings/Walls	Remove and replace 2x4 ceiling tiles and grid/seeing lots of stains and some sagging/pillowing of tiles. Panelized partition walls - no color and dull - upgrade with patch/paint.	13,800	SF	\$ 9.00 \$ 124,200

04 HIAWATHA ELEMENTARY

Walls	Patch walls/paint	28,000	SF	\$ 2.00	\$ 56,000
Heating	Assume add diffuser with new ceilings	13,800	SF	\$ 0.50	\$ 6,900
Lockers	Appears to be in good condition, original lockers - consider replacing with similar lockers a Bennett Woods (wide with shoe cubbie below).	650	EA	\$ 300.00	\$ 195,000
Doors	should be removed and replaced. Most doors do not have barrier free hardware.	74	EA	\$ 3,500.00	\$ 259,000
Size of Corridor	ok - no issues reported.			assume work not required	\$ -
Flow of Corridor				assume work not required	\$ -
Emergency Egress	ok.			assume work not required	\$ -
Interior Signage	Not ADA compliant, include for entire school	62,000	SF	\$ 0.55	\$ 34,100
Classrooms	Classrooms	22,600	SF		\$ -
Flooring	combination of carpet and VCT tile flooring currently - should be considered for replacement.			see item below	\$ -
Flooring	Carpet 90%	20,340	SF	\$ 7.06	\$ 143,510
Flooring	VCT 10%	2,260	SF	\$ 5.00	\$ 11,300
Ceilings	original - replace with new grid and tiles, many stained ceiling tiles - investigate above for leaks	22,600	SF	\$ 9.00	\$ 203,400
Egress Windows	present - did not test function.			see building shell	\$ -
Casework	Original casework, in good condition - need to be repaired to place in good working order. Plastic laminate countertop delaminating in some wet locations - consider replacing with solid surface. Do staff and teachers desire new/mobile casework?	864	LF	\$ 170.00	\$ 146,880
Casework	Casework - remove/replace assume 8 lf per classroom	216	LF	\$ 450.00	\$ 97,200
Casework	Remove/replace countertops - assume 40 lf per classroom	1,080	LF	\$ 170.00	\$ 183,600
Marker/Chalkboards	upgrade - combo chalk and marker (smartboards) current in use - too small	27	RMS	\$ 3,360.00	\$ 90,720
Heat				see item below	\$ -
Air-Conditioning				assume work not required	\$ -
Daylight	Minimal - would be difficult to install larger perimeter windows given brick exterior details around current windows.			assume work not required	\$ -
Overall Size	compact - discuss further with teachers/class sizes.			assume work not required	\$ -
Doors	should be considered for replacement.			see corridor doors	\$ -
Lighting	upgrade.	22,600	SF	\$ 7.00	\$ 158,200
Heating	Assume add diffuser with new ceilings	22,600	SF	\$ 0.50	\$ 11,300
General Note 1					\$ -
General Note 2					\$ -
Toilet Rooms	Toilet Rooms	650	SF		\$ -
Fixtures Operational	Yes.			assume work not required	\$ -
Toilet Partitions	Nice in renovated toilet rooms/need to be replace in existing toilet rooms.			see item below	\$ -
Walls	Ok condition.			assume work not required	\$ -
Floors	New epoxy poured in place floors at renovated locations. Old 2x2 ceramic tile at toilet rooms that were not updated.			see item below	\$ -
Floor Drains	All floors drains should be cleaned and serviced.	1	LS	\$ 6,000.00	\$ 6,000
Lighting				see item below	\$ -
Hand Dryers	only present in updated toilet rooms.			see item below	\$ -
Ceilings				see item below	\$ -
Mirrors				see item below	\$ -
ADA Accessible	existing room not renovated with last bond cycle present barrier free challenges.			see item below	\$ -
Adequate Size	Not bad for an elementary school.			assume work not required	\$ -
Toilet Room Upgrade	All restrooms have been renovated except the staff and kindergarten toilet rooms. These need to be remodeled.	650	SF	\$ 400.00	\$ 260,000
Gymnasium	Gymnasium	4,500	SF		\$ -
Flooring	wood floor needs to be refinished. The district was planning to refinish this floor over Christmas.			assume by owner	\$ -
Lighting	newer upgrade - consistent with other schools.			assume work not required	\$ -
HVAC	Performing commissioning/TAB analysis.	4,750	SF	\$ 1.05	\$ 5,000
Daylight	None.			assume work not required	\$ -
Gym Equipment	Need wall padding - sound panels installed above CMU walls - 8' AFF.			see items below	\$ -
Gym Equipment	Sound panels	2,280	SF	\$ 40.00	\$ 91,200
Gym Equipment	Wall pads	1,140	SF	\$ 25.00	\$ 28,500
Doors	consider door and hardware upgrades.	6	EA	\$ 3,500.00	\$ 21,000
Size of Corridor				assume work not required	\$ -
Bleachers	none.			assume work not required	\$ -
Egress	Interior and exterior egress present.			assume work not required	\$ -
Locker Rooms				assume work not required	\$ -
Walls/Ceilings				assume work not required	\$ -
Size				assume work not required	\$ -
Cafeteria	Cafeteria	3,600	SF		\$ -
Flooring	Mark F pricing floor updates ahead of bond work. current sheet vinyl product - separation/movement/failures present.	3,600	SF	\$ 10.50	\$ 37,800

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Ceilings/Walls	2x2 grid and fiberglass pads - needs to be replaced, leaks in Storage ceiling - investigate flashing above.	3,600	SF	\$	12.00	\$	43,200
Accessibility	ok.					assume work not required	\$ -
Lighting	upgrade light fixtures.	3,600	SF	\$	8.50	\$	30,600
Heating	Assume add diffuser with new ceilings	3,600	SF	\$	0.50	\$	1,800
Seating	old tables with integral benches.					owner FF&E budget %	\$ -
size						assume work not required	\$ -
Air-Conditioning						assume work not required	\$ -
Daylight	ok - perimeter window wall present.					assume work not required	\$ -
Overall Size	no comments/concerns noted about capacity or need to expand. Room serves other uses outside of cafeteria for students.					assume work not required	\$ -
Doors	Remove and replace.	6	EA	\$	3,500.00	\$	21,000
General Note						assume work not required	\$ -
Offices	Offices	2,300	SF				\$ -
Flooring	replace.	2,300	SF	\$	7.50	\$	17,250
Furniture	replace.					owner FF&E budget %	\$ -
Ceilings	remove and replace.	2,300	SF	\$	12.00	\$	27,600
Paging	update.	2,300				in elec below	\$ -
Master Clock	update.	2,300				in elec below	\$ -
Phone System	update.	2,300				in elec below	\$ -
Lighting	upgrade fixtures.	2,300	SF	\$	8.00	\$	18,400
Heating	Assume add diffuser with new ceilings	2,300	SF	\$	0.50	\$	1,150
Copy/Work Room	upgrade - renovate (small and compact with VCT flooring / gyp walls and original casework and fridge. Staff deserve upgrade.	180	SF	\$	120.00	\$	21,600
Meeting Rooms	upgrade - renovate.	234	SF	\$	120.00	\$	28,080
Coffee Break Area	not present.					assume work not required	\$ -
Bathroom(s)	not present.					assume work not required	\$ -
Visibility	limited visibility to exterior. Main office is centrally located between main and secondary school entrances					assume work not required	\$ -
Health Room with Toilet	upgrade school nurse area	100	SF	\$	300.00	\$	30,000
Accessibility	ok - barrier free hardware issues on doors	13	EA	\$	1,000.00	\$	13,000
Media Center	Media Center	3,330	SF				\$ -
Size	good.					assume work not required	\$ -
Flooring	carpet ok condition - but will need to be replaced.	3,330	SF	\$	7.06	\$	23,510
Lighting	upgrade lights.	3,330	SF	\$	11.00	\$	36,630
Heating	Assume add diffuser with new ceilings	3,330	SF	\$	0.50	\$	1,665
Office Space	small and compact - consider for finishes updates - flooring/paint/ceilings/sound?	170	SF	\$	75.00	\$	12,750
Ventilation	minimal - not sure if performance issues are present within the space.					assume work not required	\$ -
Doors	ADA hardware updates required	4	EA	\$	1,000.00	\$	4,000
Ceilings	consider removal and replacement - fire suppression/mech diffusers/fire alarm/ all present in space.	3,330	SF	\$	12.00	\$	39,960
Acoustics	no issues noted					assume work not required	\$ -
Seating	need new tables and chairs					owner FF&E budget %	\$ -
Perimeter Window Frames	Painted hollow-metal with clear glass - good visibility for centrally located Media Center.					assume work not required	\$ -
General Note	small / compact. Building has dedicated Art Room and Music Room					assume work not required	\$ -
Kitchen	Kitchen	3,000	SF				\$ -
Program	300 meals served daily. Was full functional satellite kitchen for the district previously.					see items below	\$ -
Equipment	Need New Commercial Fridge/Coolers. Need new sink disposals.					see equipment below	\$ -
Ceilings	Replace with wipeable ceiling tiles. Need new diffusers and grills.					see items below	\$ -
Ceilings	Remove/replace washable ACT	3,330	SF	\$	12.00	\$	39,960
Heating	Add diffuser and grilles with new ceilings	3,330	SF	\$	0.50	\$	1,665
Cooler/Freezer	Walk-in cooler and freezer present. Tile floor needs to be replaced. Consider replacement of both walk-ins.					see item below	\$ -
Floors	4x4 Quarry Tile/Base/Grout. Floor drains need to be cleaned and serviced.	3,330	SF	\$	5.00	\$	16,650
Delivery Space	Receiving area attached to west elevation staff parking lot. No dock currently at this school.					assume work not required	\$ -
Storage Space	Nice space - need new floor and ceilings. Could use new shelving.					see item below	\$ -
Ceilings	Remove/replace ceiling					with item above	\$ -
Flooring	Remove/replace flooring					with item above	\$ -
Casework	New shelving					not included	\$ -
Kitchen Hood	Present and large, should be considered for replacement.					see equipment below	\$ -
Make-up Air							\$ -
Serving Line	One functional line presently, Originally had two functioning lines. If program changes and kitchen becomes full service again then 2 serving lines required.					assume work not required	\$ -
Electrical	Issue reported by kitchen staff regarding floor outlets not working.	3,300	SF	\$	8.00	\$	26,400
Lighting	Linear surface mounted fluorescent bulb fixtures.	3,330	SF	\$	7.50	\$	24,975
Heating							\$ -

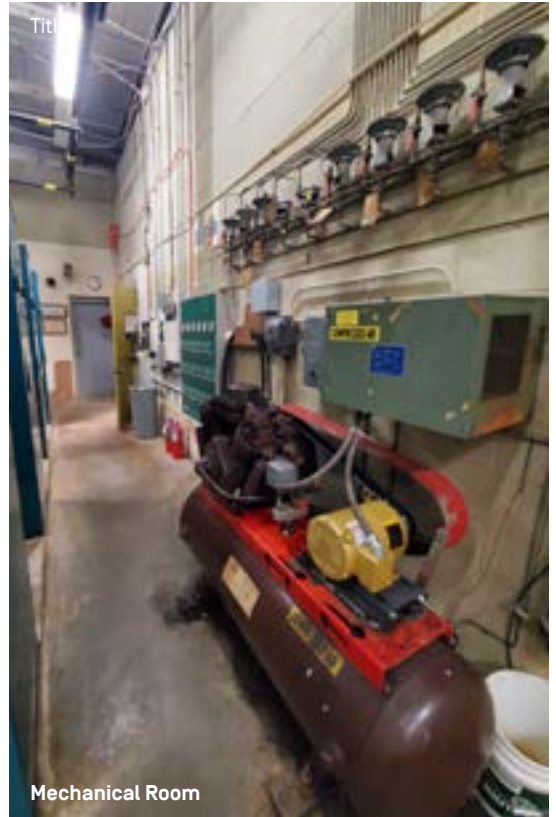
04 HIAWATHA ELEMENTARY

Secured	Yes.			assume work not required	\$	-
Fire Suppression/FA	Yes, present. Fully sprinklered with fire alarm coverage.			assume work not required	\$	-
Overall	JRA to recommend list of new equipment for consideration, remove residential equipment present, upgrade storage room floor and ceiling. Consider delivery/receiving area, amount of storage space, transition to recycle/compost program.	I	LS	\$	450,000.00	\$ 450,000
						\$ -
MECHANICAL						
Heating Source and Condition	Building served by (2) Cleaver Brooks Boilers at 1,000 MBH each installed in 2013.			assume work not required	\$	-
Heating Pumps and Piping	Building served by (2) B&G inline pumps with integral VFD installed in 2013. No known issues with piping.			assume work not required	\$	-
Cooling Source and Condition	Individual DX condensing units. Electrical room needs cooling.	I	ALLOW	\$	9,800.00	\$ 7,800
Cooling Pumps and Piping	N/A.					
Terminal Devices	Classrooms served by horizontal unit vents with remote condensing units installed in 2019. Units need water and air rebalancing.	I	ALLOW	\$	7,200.00	\$ 7,200
AHUs and RTUs	A RTU serves the Offices. (2) AHU's serve the Gym, and Kitchen and all are original to the building. Units need water and air rebalancing.	I	ALLOW	\$	1,200.00	\$ 1,200
AHUs and RTUs	7.5 ton RTU serves the Offices. (1) 5,000 cfm AHU serves the Gym, and (1) 8,000 cfm AHU serves the Kitchen and all are original to the building	I	LS	\$	162,000.00	\$ 162,000
Ventilation	All exhaust fans are original to the building.	I	ALLOW	\$	12,500.00	\$ 10,500
Building Management System/Controls	Building has Trane BMS with pneumatics in Gym, Kitchen, and Offices.	62,000	SF	\$	5.00	\$ 310,000
Domestic Water Piping	No known issues.			assume work not required	\$	-
Water Heaters	Building served by Lochinvar ETN076, 75 gallon, 76 MBH water heater installed around 2017.			assume work not required	\$	-
Plumbing Fixtures	Group restrooms remodeled around 2017. Single restrooms are original ('89).			included with toilet rooms above	\$	-
Fire Protection	Building is fully sprinkled. 6" Main - with two 4" risers feed the building			assume work not required	\$	-
Pool equipment	N/A.			not applicable	\$	-
					\$	-
ELECTRICAL						
Transformer size					\$	-
Primary/Secondary Service						in panels below
Generator	N/A				\$	-
Occupancy Sensors	N/A				\$	-
Lighting	Misc. areas unaccounted for	7,890	SF	\$	7.00	\$ 55,230
Lighting Control System	Toggle switches. Needs to be replaced.	62,000	SF	\$	1.50	\$ 93,000
Panels	Panels are original to the building and degraded. Consider replacing.	62,000	SF	\$	3.25	\$ 201,500
Panel Clearance	Remove storage items.				\$	-
Exit Signs	Exit signs are very old and letters are dim.					in above
Security Camera System	District would like to add more cameras	62,000	SF	\$	1.00	\$ 62,000
Clocks	Clocks need to be replaced	62,000	SF	\$	0.25	\$ 15,500
Fire Alarm		62,000	SF	\$	0.75	\$ 46,500
Paging		62,000	SF	\$	0.60	\$ 37,200
Phone System		62,000	SF	\$	2.00	\$ 124,000
Branch		62,000	SF	\$	2.00	\$ 124,000
TECHNOLOGY						
IT Rooms	MDF is combination storage/office space. No separate AC.			included in "Phone System" above	\$	-
Fiber Optic Cabling (between buildings/IT rooms)	Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.			included in "Phone System" above	\$	-
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.			included in "Phone System" above	\$	-
Bells/Paging System	Need to update paging for the district.			included in "Paging" above	\$	-
Clock System	There is no synchronized clock system. Using atomic clocks.			included in "Mater Clock" above	\$	-
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.			assume no work required	\$	-
Large Space Audio/Video Systems	Gym needs new audio system and installed projector & screen. Cafeteria has a screen but needs new audio and installed projector.	2	EA	\$	25,000.00	\$ 50,000
Security Camera System	Need to update Sony cameras and VMS (currently exacvission software)			included in "Security Camera System" above	\$	-
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.			assume no work required	\$	-
					\$	-
					\$	-
Direct Trade		62,000	SF	\$	93.42	\$ 5,791,738

04 HIAWATHA ELEMENTARY



Ceiling pad conditions



Mechanical Room



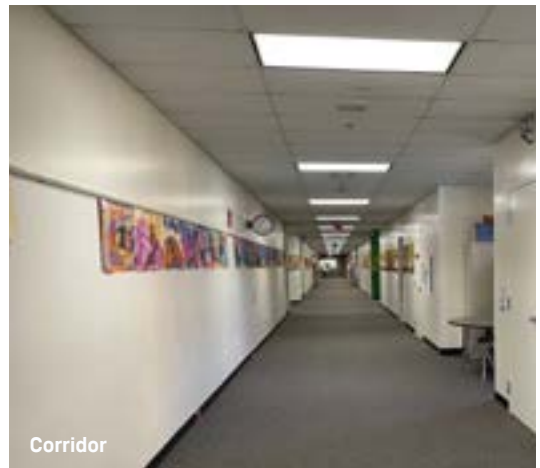
Mechanical Room



Classroom Interior VUV Units



Entrance



Corridor



Media Center



Classroom Casework

04 HIAWATHA ELEMENTARY



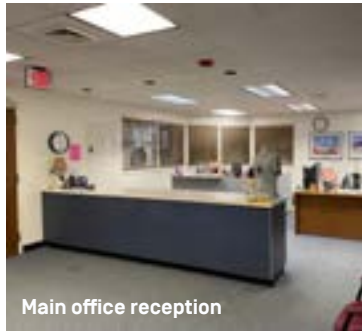
Classroom marker / chalk board



Main entrance - condition of doors and frames



Cafeteria



Main office reception



Media Center



Cafeteria



Ceiling pad conditions

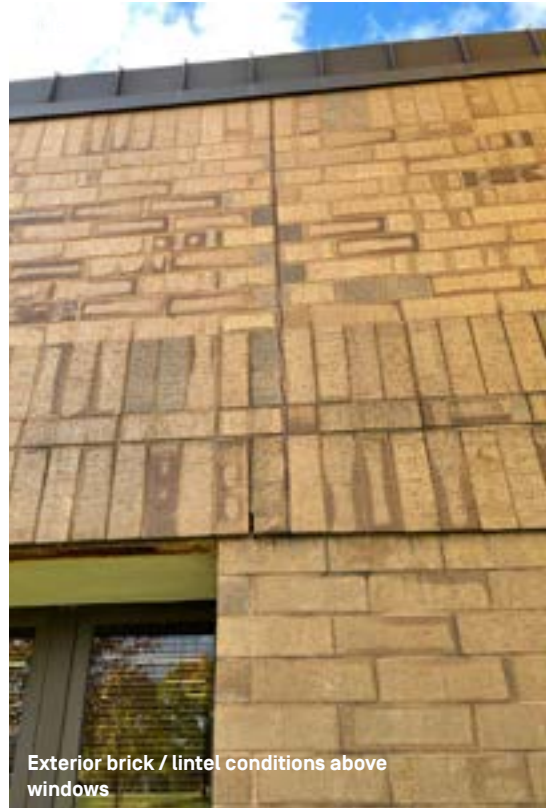


Exterior classroom brick ledge condition

04 HIAWATHA ELEMENTARY



Casework + counter top conditions



Exterior brick / lintel conditions above windows



Art Room Casework



Gymnasium



Interior Door and Frame

05

**WARDCLIFF
ELEMENTARY**

05 WARDCLIFF ELEMENTARY

Use:	Closed / Community Functions
Built:	1955
Additions + Renovations:	1967 / 1987 / 2012
Total Building Area:	33,000 SF
Site Area:	16.07 Acres
Enrollment:	N/A
Square Footage per Student:	N/A
Renovation Cost:	\$12,672,912
Current Replacement Value [CRV]:	\$10,560,000
Facility Condition Index [FCI]:	120%



05 WARDCLIFF ELEMENTARY



05 WARDCLIFF ELEMENTARY

OBSERVATION HIGHLIGHTS

SITE

Asphalt is in fair condition. Parking lot and bus loop likely undersized if facility was ever reopened as an elementary. The playground equipment is heavily used by the community and they have requested upgrades to this equipment. Community garden located on the north elevation of the school is still in use and an active space for the neighborhood and community.

ARCHITECTURE

Located directly off Wardcliff Road, Wardcliff Elementary has been closed for over a decade and used as a facility available for community use and district storage. Most classrooms and toilet rooms are not in use and offline. Found some locations where perimeter windows and frames should be removed and replaced with thermally broken glass and frames for better performance and interior comfort. The team noticed that similar exterior conditions exist, windows and EIFS, as at Cornell Elementary. Similar conditions and the same notes apply for exterior cleaning and maintenance to increase life expectancy of existing products.

INTERIORS

Due to limited use of the facility, most building services are off or not in use. Most toilet rooms finishes and fixtures are ready for upgrades. The existing gym is most widely used by the community for other functions. Most other areas of the school are used for district storage of classroom desks, chairs, and furniture. Existing carpet and vinyl tile flooring should be removed and upgraded. Most ceiling tiles will need replacement.

MECHANICAL

Replace [15] horizontal unit vents, air-handling units (4,000 cfm, 1,000 cfm, and Gym), and rooftop units (2-2,000 cfm) with new. Add cooling to the office area. All exhaust fans should be replaced. Replace the partial pneumatic controls with new DDC and upgrade the balance of the DDC control system. The 40 gallon, 34 MBH and 100 gallon, 200 MBH water heaters should be replaced. Replace plumbing fixtures with new.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. The parking lot has no existing lighting. Pole mounted fixtures need to be added for better visibility and security. Exit signs are in poor condition with faded lettering. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape. The existing overhead service to the building should be replaced with an upgraded underground service.

TECHNOLOGY

Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

05 WARDCLIFF ELEMENTARY

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall “good” condition rating. The site is large and presents many opportunities for placement of a new structure. The site is large and presents many opportunities for placement of a new structure. This building is currently offline.

05 WARDCLIFF ELEMENTARY

DATA SHEETS

Facility Assessment

Building Name Wardcliff Elementary

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE	good	fair	poor	comments
Drainage	x			No reported issues.
Asphalt Parking/ Drives		x		Asphalt pavement in fair condition.
Sidewalks		x		
Adequate Parking		x		Parking capacity is likely undersized if the facility was reopened as a school.
Bus Loop			x	No separate bus loop
Playgrounds			x	Community requesting upgrades - neighborhood location - cause for lots of use. Community garden located here.
Student Drop off Area		x		One loop with parking
Landscaping			x	Front landscaping is overgrown.
Athletic fields			x	Adjacent soccer fields rented and used by the community. Asphalt pavement for basketball is cracked and in poor condition.
Fencing				N/A
Service Entrance			x	
Signage			x	
Parking Lot Lighting			x	No parking lot lighting currently, wall packs on building
Electrical Service			x	Low connection point to building located on SE corner of site, runs in close proximity to current playground location.
Community Garden				Present on north end of site - used by community members.

ARCHITECTURAL	good	fair	poor	comments
Building Shell	x			
Roofing			x	2004 Firestone membrane. Leaks present. Membrane needs to be inspected and replaced. Exterior gravel stop fascia needs to be reinstalled as well.
Exterior Windows			x	Mixture of window types around building based on original areas v. renovations. Units present that need to be replaced. Not thermally efficient, need performance and operational updates. Need to replaced original window frame in special education classroom (single pane).
Defined Entry	x			Two entrances at front of building. Main entrance is not prominent.
Accessibility		x		Building does not have vestibules or automatic door hardware for ADA access. No exterior curb at main entrance lot sidewalk.
Fascia/Soffits		x		Main entrance canopy needs to be removed and replaced. Seeing signs of failing soffit panels, exposed structural signs has rust present.
Maintenance Room Entry			x	Maintenance Room in back of building - no vehicular access
Masonry	x			In good condition, building has a couple different variation of exterior and interior brick. Exterior CMU stone and limestone present. Exterior stone needs to be cleaned (mildew)
EIFS			x	EIFS fascia - Bird Damage to be repaired
Caulk Joints		x		
Water Stains		x		Mildew present on exterior brick. Exterior facade in.
Exterior Doors		x		Decent condition overall - most exterior entrances are aluminum frames with insulated glass units.
Vestibule Entries			x	No secure vestibule, no card readers

05 WARDCLIFF ELEMENTARY

INTERIORS / FINISHES	good	fair	poor	comments
Corridors				
Lights			x	Replace.
Flooring			x	Mixture of Carpet and VCT - all should be replaced. Need walk off carpet at exterior doors.
Ceiling/Walls			x	Replace ceiling. Walls in good condition in all areas (most have brick and painted CMU).
Lockers				No corridor lockers
Doors			x	Wood doors and hardware should be replaced. Hollow metal frames and wire glass to be replaced.
Size of Corridor		x		Narrow compared to today's standard (currently filled with misc. district supplies, desks, chairs, furniture). Classrooms and corridors used for overflow storage space.
Flow of Corridor		x		
Vestibules			x	Not present (only main exterior entrances)
Classrooms				
Flooring			x	Replace carpet.
Ceiling			x	Replace grid and ceiling pads. Noticed another drop ceiling panels and grid above current ceilings (should be noted for removal if existing ceiling work gets included).
Egress Windows			x	Classrooms do not have exterior egress doors.... did not test operation of emergency operable windows. Noticed labels only on some windows in certain classrooms.
Casework			x	Remove and replace.
Marker/Chalkboards			x	Remove and replace.
Daylight		x		Ok - most classrooms have (2) individual windows in each classroom.
Overall Size		x		
Doors			x	Replace wood doors, hardware, and hollow metal frames if possible.
Lighting			x	Upgrade.
General Note 1				It should be noted that the 1987 renovations and additions - rooms located on the east elevation/corridor (south of current Cafe entrance). Rooms labeled as speech, reading, child care, art, kindergarten all in 'better' condition than the rest of the building. Flooring, walls, ceilings in decent/functional shape.
Toilet Rooms				
Fixtures Operational			x	Most fixtures are original to their respective construction dates. Most locations have been shutoff and not in use. All toilet rooms should be upgraded depending on future use of facility.
Toilet Partitions			x	Upgrade. Most bathrooms do not have partitions. Some corridor common bathrooms in the facility. Smaller single bathrooms also present within the facility.
Walls		x		in decent condition (be aware of exposed steel structural columns within the corridors). Mixture of drywall, CMU and brick present.
Floors			x	All original tile flooring should be replaced.
Floor Drains		x	x	Have not been in use, some reports of bad sanitary piping, possible root damage. Should be inspected for operation.
Lighting			x	Upgrade.
Ceilings		x		Upgrade.
Mirrors		x		Upgrade.
ADA Accessible			x	No ADA compliant.
Gymnasium				
Flooring	x			New rubber floor.
Lights	x			New fixtures and bulbs in the room.
Daylight			x	None.
Gym Equipment		x		Hoops could be replaced and updated. No wall padding present.
Doors		x		Replace wood doors and entrance hollow metal frame and glass.

05 WARDCLIFF ELEMENTARY

INTERIORS / FINISHES (CON'T)				comments
	Good	Fair	Poor	
Size		x		Small and compact but similar to the other elementary schools in the district.
Bleachers				None.
Egress	x			Exterior and interior egress. Exit signs present.
Walls/Ceilings	x			
Cafeteria				
Flooring			x	Replace - new sheet vinyl, but tearing, prep issues. Same as kitchen.
Ceilings/Walls		x		Replace ceiling pads/grid/fixture. Walls in good condition - to be repainted
Accessibility	x			
Lighting			x	Upgrade.
Seating		x		
size	x			
Daylight		x		Aluminum window frame with integral blinds on north elevation.
Overall Size		x		Good.
Doors		x		Entrance doors should be upgraded, hollow-metal frames ok.
General Note				This was originally a multi-purpose room (CMU walls with sound panels present). Food service kitchen, mechanical room and fan room all accessed through Cafe. (2) rooms built (partition walls) near main entrance of room that are not shown on the current floor plans.
Egress	x			Interior and Exterior egress paths
Offices				
Flooring			x	Entire area should be upgraded based on building function in the future. Offices not required if not an elementary school.
Furniture			x	
Ceilings			x	
Paging			x	
Master Clock			x	
Phone System			x	
Lighting			x	
Copy/Work Room			x	
Meeting Rooms			x	
Coffee Break Area			x	
Bathroom(s)			x	
Visibility			x	
Media Center				
Size				N/A - not dedicated or currently media center in use
Flooring			x	Carpet to be replaced
Lighting			x	Upgrades needed
Office Space		x		
Doors		x		Doors in this space are in better condition than the original wing. Door knobs to be replaced with levers.
Ceilings		x		Ceilings to be replaced
Kitchen				
Program				Not functioning building currently. Existing kitchen (30x40) and cafeteria present on north end of building.
Equipment		x		JRA to provide list for selecting new equipment. Large 3 compartment sink, residential refrigerators, hood and range.
Ceilings			x	ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling tiles/diffusers/grilles all need to be replaced.
Cooler/Freezer				Walk-in units not present.
Floors			x	Replace- currently rubber sheet vinyl in kitchen and cafeteria.

05 WARDCLIFF ELEMENTARY

INTERIORS / FINISHES (CON'T)	good	fair	poor	comments
Delivery Space			x	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.
Storage Space			x	No storage space.
Kitchen Hood			x	Hood present above range. Can be removed and replaced based on new design.
Serving Line		x		Compact, one serving line, need to redesign/reformat. Space closed off from Cafeteria (open up).
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity.
Lighting		x		Upgrade light fixtures.
Fire Suppression/FA				Not present in kitchen.
Overall				School closed. Kitchen and Cafeteria space large enough for fully functional space. Shipping/Receiving/Deliveries area present on west elevation (turn-around thru north staff parking lot). No dock.

MECHANICAL	good	fair	poor	comments
Heating Source and Condition		x		Building served by (2) Thermal Solutions, 1,000 MBH each heating hot water boilers installed in 2004.
Heating Pumps and Piping		x		Building is served by (2) B&G, 60 gpm, 35' HD base mounted pumps installed in 2004.
Cooling Source and Condition			x	Individual DX cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices			x	(15) Classrooms served by horizontal unit vents that are original.
AHUs and RTUs			x	An 4,000 cfm AHU serves the Multi-Purpose room and is at end of life. An 2,000 cfm RTU serves the Media Center and is at end of life. An 2,000 cfm RTU serves the Offices and is at end of life. An 1,000 cfm AHU serves the Kitchen and is at end of life. An 800 cfm RTU serves the Computer Classroom and was installed in 2007. An AHU serves the Gym and is at end of life.
Ventilation			x	Exhaust fans are at the end of life. (2) 300 cfm EF's, (2) 500 cfm EF, and (7) 100 cfm EF's.
Building Management System/Controls			x	Building served by Trane BMS with partial pneumatics.
Domestic Water Piping		x		No known issues.
Water Heaters			x	Building served by Lochinvar water heater, 40 gallon, 34 MBH and is at end of life. Kitchen is served by 100 gallon, 200 MBH water heater and is at end of life.
Plumbing Fixtures			x	Plumbing fixtures are at end of life.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL	good	fair	poor	comments
Transformer size	x			
Primary/Secondary Service	x			Owner would like to relocate overhead power feed to building underground
Generator				There is no generator on site.
Occupancy Sensors				N/A.
Lighting Control System			x	Toggle switches. Needs updating.
Panels	x			Majority of panels are in good shape.
Panel Clearance	x			Need to remove storage items.

05 WARDCLIFF ELEMENTARY

ELECTRICAL (CON'T)				comments
	good	fair	poor	
Fire Alarm	x			Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)
Interior Lighting			x	Fluorescent fixtures throughout need to be replaced.
Exit Signs			x	Exit signs are very old and letters are dim.

TECHNOLOGY				comments
	good	fair	poor	
IT Rooms		x		Bare minimum MDF. Needs AC.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district.
Clock System			x	There is no synchronized clock system. Limited atomic clocks
Classroom Audio/Video Systems			x	No AV.
Large Space Audio/Video Systems			x	No AV.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System			x	Limited access control. School not in active use.

05 WARDCLIFF ELEMENTARY

						\$	-
INTERIORS							
						\$	-
Walls	Paint/refresh entire building	33,000	SF	\$	1.50	\$	49,500
Lighting	Replace.	5,576	SF	\$	7.50	\$	41,820
Flooring	Mixture of Carpet and VCT - all should be replaced. Need walk off carpet at exterior doors.	3,666.67	SY	\$	63.54	\$	232,980
Ceilings/Walls	Replace ceiling. Walls in good condition in all areas (most have brick and painted CMU).	33,000	SF	\$	4.00	\$	132,000
Lockers	Remove and replace lockers	500	EA	\$	350.00	\$	175,000
Doors	Wood doors and hardware should be replaced. Hollow metal frames and wire glass to be replaced.	45	EA	\$	5,000.00	\$	225,000
Size of Corridor	Narrow compared to today's standard (currently filled with misc district supplies, desks, chairs, furniture). Classrooms and corridors used for overflow storage space.					\$	-
Flow of Corridor						\$	-
Emergency Egress						\$	-
Vestibule Entries	Not present (only main exterior entrances)					\$	-
Interior Signage	Interior signage	33,000	SF	\$	0.55	\$	18,150
Classrooms	Classrooms	14,298	SF			\$	-
Flooring	Replace carpet.	1,588.67	SY	\$	63.54	\$	100,944
Ceilings	Replace grid and ceiling pads. Noticed another drop ceiling panels and grid above current ceilings (should be noted for removal if existing ceiling work gets included).	14,298	SF	\$	12.00	\$	171,576
Egress Windows	Classrooms do not have exterior egress doors.... did not test operation of emergency operable windows. Noticed labels only on some windows in certain classrooms.	1	LS	\$	50,000.00	\$	50,000
Casework	Remove and replace.	304	LF	\$	450.00	\$	136,800
Marker/Chalkboards	Remove and replace - Assume 3 each/classroom (8' lf/each MB)	19	RMS	\$	3,360.00	\$	63,840
Heating						\$	-
Air-Conditioning						\$	-
Daylight	Ok - most classrooms have (2) individual windows in each classroom.					\$	-
Overall Size						\$	-
Doors	Replace wood doors, hardware, and hollow metal frames if possible.	22	EA	\$	3,500.00	\$	77,000
Lighting	Upgrade.	14,298	SF	\$	7.00	\$	100,086
Heating	Add diffuser and grilles with new ceilings	14,298	SF	\$	0.50	\$	7,149
General Note	It should be noted that the 1987 renovations and additions - rooms located on the east elevation/corridor (south of current Cafe entrance). Rooms labeled as speech, reading, child care, art, kindergarten all in 'better' condition than the rest of the building. Flooring, walls, ceilings in decent/functional shape.					\$	-
						\$	-
Toilet Rooms	Toilet Rooms	941	SF			\$	-
Fixtures Operational	Most fixtures are original to their respective construction dates. Most locations have been shutoff and not in use. All toilet rooms should be upgraded depending on future use of facility.	941	SF	\$	275.00	\$	258,775
Toilet Partitions	Upgrade. Most bathrooms do not have partitions. Some corridor common bathrooms in the facility. Smaller single bathrooms also present within the facility.					\$	-
Walls	in decent condition (be aware of exposed steel structural columns within the corridors). Mixture of drywall, CMU and brick present.					\$	-
Floors	All original tile flooring should be replaced.					\$	-
Floor Drains	Have not been in use, some reports of bad sanitary piping, possible root damage. Should be inspected for operation.	80	HRS	\$	75.00	\$	6,000
Lighting	Upgrade.	941	SF	\$	8.00	\$	7,528
Hand Dryers						\$	-
Ceilings	Upgrade.					\$	-
Mirrors	Upgrade.					\$	-
ADA Accessible	No ADA compliant.					\$	-
Adequate Size						\$	-
Gymnasium	Gymnasium	2,577	SF			\$	-
Flooring	New rubber floor.					\$	-
Lighting	New fixtures and bulbs in the room.					\$	-
HVAC						\$	-
Daylight	None.					\$	-
Gym Equipment	Hoops could be replaced and updated. No wall padding present.	4	EA	\$	7,500.00	\$	30,000
Doors	Replace wood doors and entrance hollow metal frame and glass.	5	EA	\$	4,000.00	\$	20,000
Size	Small and compact but similar to the other elementary schools in the district.					\$	-
Bleachers	None.					\$	-

05 WARDCLIFF ELEMENTARY

Egress	Exterior and interior egress. Exit signs present.				\$	-
Locker Rooms					\$	-
Walls/Ceilings	Assume painting of walls	2,577	SF	\$	4.00	\$ 10,308
General Note	currently used as voting center location for the neighborhood.				\$	-
Cafeteria	Cafeteria	2,169	SF			\$ -
Flooring	Replace - new sheet vinyl, but tearing, prep issues. Same as kitchen.	2,169	SF	\$	14.00	\$ 30,366
Ceilings/Walls	Replace ceiling pads/grid/fixture. Walls in good condition - to be repainted	2,169	SF	\$	12.00	\$ 26,028
Accessibility					\$	-
Lighting	Upgrade.	2,169	SF	\$	8.50	\$ 18,437
Heating	Add diffuser and grilles with new ceilings	2,169	SF	\$	0.50	\$ 1,085
Seating size					\$	-
Air-Conditioning					\$	-
Daylight	Aluminum window frame with integral blinds on north elevation.				\$	-
Overall Size	Good.				\$	-
Doors	Entrance doors should be upgraded, hollow-metal frames ok.	4	EA	\$	3,500.00	\$ 14,000
General Note	This was originally a multi-purpose room (CMU walls with sound panels present). Food service kitchen, mechanical room and fan room all accessed through Cafe. (2) rooms built (partition walls) near main entrance of room that are not shown on the current floor plans.				\$	-
Egress	Interior and Exterior egress paths				\$	-
Offices	Offices	1,657	SF			\$ -
Flooring	Entire area should be upgraded based on building function in the future. Offices not required if not an elementary school.	1,657	SF	\$	75.00	\$ 124,275
Furniture					assume with owner FF&E %	\$ -
Ceilings					with item above	\$ -
Paging					in elec below	\$ -
Master Clock					in elec below	\$ -
Phone System					in elec below	\$ -
Lighting		1,657	SF	\$	8.00	\$ 13,256
Heating	Add diffuser and grilles with new ceilings	1,657	SF	\$	0.50	\$ 829
Copy/Work Room					with item above	\$ -
Meeting Rooms					with item above	\$ -
Coffee Break Area					with item above	\$ -
Bathroom(s)					with item above	\$ -
Visibility					with item above	\$ -
Media Center	Media Center	2,435	SF			\$ -
Size	N/A - not dedicated or currently media center in use				\$	-
Flooring	Carpet to be replaced	271	SY	\$	63.54	\$ 17,191
Lighting	Upgrades needed	2,435	SF	\$	11.00	\$ 26,785
Office Space					\$	-
Ventilation					\$	-
Doors	Doors in this space are in better condition than the original wing. Door knobs to be replaced with levers.	6	EA	\$	1,000.00	\$ 6,000
Ceilings	Ceilings to be replaced	2,435	SF	\$	9.00	\$ 21,915
Heating	Add diffuser and grilles with new ceilings	2,435	SF	\$	0.50	\$ 1,218
Kitchen	Kitchen	557	SF			\$ -
Program	Not functioning building currently. Existing kitchen (30x40) and cafeteria present on north end of building.				\$	-
Equipment	JRA to provide list for selecting new equipment. Large 3 compartment sink, residential refrigerators, hood and range.	1	LS	\$	262,500.00	\$ 262,500
Ceilings	ACT drop ceiling present. Replace and upgrade lights/wipeable ceiling tiles/diffusers/grilles all need to be replaced.	557	SF	\$	9.00	\$ 5,413
Cooler/Freezer	Walk-in units not present.				\$	-
Floors	Replace- currently rubber sheet vinyl in kitchen and cafeteria.				\$	12.00
Delivery Space	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.	1	LS	\$	300,000.00	\$ 300,000
Storage Space	No storage space.				\$	-
Kitchen Hood	Hood present above range. Can be removed and replaced based on new design.				with equipment above	\$ -
Make-up Air					\$	-
Serving Line	Compact, one serving line, need to redesign/reformat. Space closed off from Cafeteria (open up).	180	SF	\$	150.00	\$ 27,000
Electrical	No issues noted - such as too few outlets/location/breaker capacity.				\$	-
Lighting	Upgrade light fixtures.	557	SF	\$	8.00	\$ 4,456
Heating	Add diffuser and grilles with new ceilings	557	SF	\$	0.50	\$ 679
Secured					\$	-
Fire Suppression/FA	Not present in kitchen.				\$	-

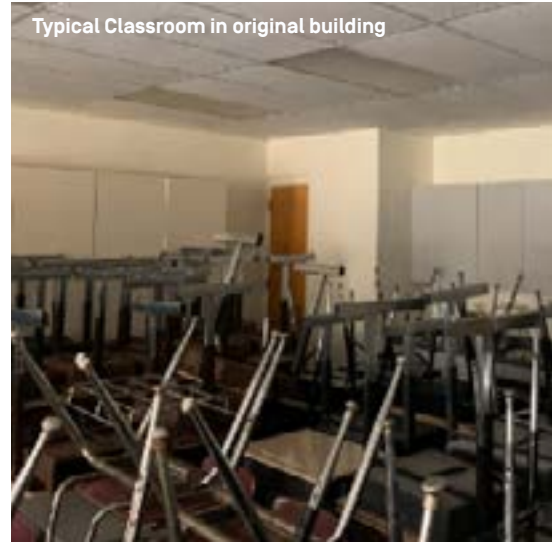
05 WARDCLIFF ELEMENTARY

Overall	School closed. Kitchen and Cafeteria space large enough for fully functional space. Shipping/Receiving/Deliveries area present on west elevation (turn-around thru north staff parking lot). No dock.					\$	-
MECHANICAL							
Heating Source and Condition	Building served by (2) Thermal Solutions, 1,000 MBH each heating hot water boilers installed in 2004.				assume work not required	\$	-
Heating Pumps and Piping	Building is served by (2) B&G, 60 gpm, 35' HD base mounted pumps installed in 2004.				assume work not required	\$	-
Cooling Source and Condition	Individual DX cooling.					\$	-
Cooling Pumps and Piping	N/A.					\$	-
Terminal Devices	(15) Classrooms served by horizontal unit vents that are original.	20	EA	\$	25,200.00	\$	432,000
AHUs and RTUs	An 4,000 cfm AHU serves the Multi-Purpose room and is at end of life. An 2,000 cfm RTU serves the Media Center and is at end of life. An 2,000 cfm RTU serves the Offices and is at end of life. An 1,000 cfm AHU serves the Kitchen and is at end of life. An 800 cfm RTU serves the Computer Classroom and was installed in 2007. An AHU serves the Gym and is at end of life.	1	EA	\$	220,000.00	\$	220,000
Ventilation	Exhaust fans are at the end of life. (2) 300 cfm EF's, (2) 500 cfm EF, and (7) 100 cfm EF's.					\$	8,250
Building Management System/Controls	Building served by Trane BMS with partial pneumatics.	33,000	SF	\$	5.00	\$	165,000
Domestic Water Piping	No known issues.				assume work not required	\$	-
Water Heaters	Building served by Lochinvar water heater, 40 gallon, 34 MBH and is at end of life. Kitchen is served by 100 gallon, 200 MBH water heater and is at end of life.	1	EA	\$	12,000.00	\$	12,000
Plumbing Fixtures	Plumbing fixtures are at end of life.				covered in item above	\$	-
Fire Protection	N/A.					\$	-
Pool equipment	N/A.					\$	-
ELECTRICAL							
Transformer size						\$	-
Primary/Secondary Service	Owner would like to relocate overhead power feed to building underground				in site elec above	\$	-
Generator	There is no generator on site.					\$	-
Lighting	Misc. areas unaccounted for	2,786	SF	\$	7.00	\$	19,502
Occupancy Sensors	N/A.					\$	-
Lighting Control System	Toggle switches. Needs updating.	33,000	SF	\$	1.50	\$	49,500
Panels	Majority of panels are in good shape.					\$	-
Panel Clearance	Need to remove storage items.					\$	-
Frequency Drives						\$	-
Fire Alarm	Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)					\$	-
Lighting	Fluorescent fixtures throughout need to be replaced.				in areas above	\$	-
Exit Signs	Exit signs are very old and letters are dim.				in areas above	\$	-
Clocks		33,000	SF	\$	0.25	\$	8,250
Paging		33,000	SF	\$	0.60	\$	19,800
Phone System		33,000	SF	\$	2.00	\$	66,000
Branch		33,000	SF	\$	2.00	\$	66,000
TECHNOLOGY							
IT Rooms	Bare minimum MDF. Needs AC.				included in "Phone System" above	\$	-
Fiber Optic Cabling (between buildings/IT rooms)	Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.				included in "Phone System" above	\$	-
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.				included in "Phone System" above	\$	-
Bells/Paging System	Need to update paging for the district.				included in "Paging" above	\$	-
Clock System	There is no synchronized clock system. Limited atomic clocks				included in "Mater Clock" above	\$	-
Classroom Audio/Video Systems	No AV.	33,000	SF	\$	0.50	\$	16,500
Large Space Audio/Video Systems	No AV.	1	LS	\$	100,000.00	\$	100,000
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)	33,000	SF	\$	1.00	\$	33,000
Access Control System	Limited access control. School not in active use.	33,000	SF	\$	1.00	\$	33,000
						\$	-
						\$	-
Direct Trade		33,000		\$	173.71	\$	5,732,448

05 WARDCLIFF ELEMENTARY



Bird damage at EIFS Fascia



Typical Classroom in original building



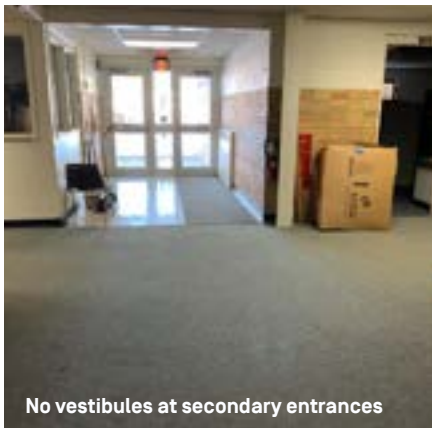
Overhead power into building



Floor/Threshold degradation at exterior doors



Kitchen equipment removed



No vestibules at secondary entrances



Media Center



Typical classroom in building addition



Typical toilet room in original building

05 WARDCLIFF ELEMENTARY



Cafeteria



Title



Typical toilet room in building addition



Limestone sills to be cleaned



No prominent main entrance, soffit damage



Title



Main Entrance



Playground

06

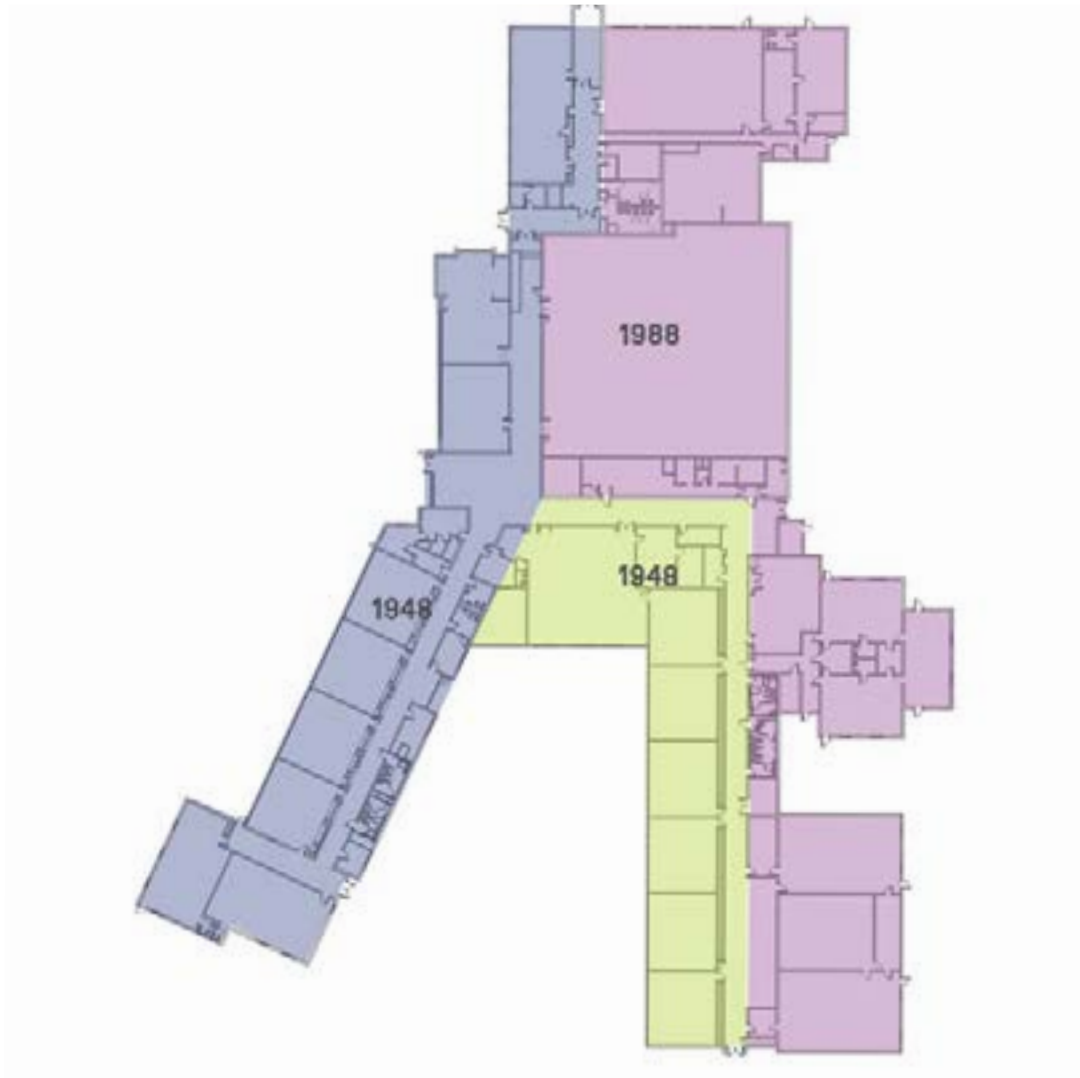
**CENTRAL
MONTESSORI
SCHOOL /
DISTRICT
ADMINISTRATION**

06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION

Use:	PK-4
Built:	1948
Additions + Renovations:	1963 / 1988
Total Building Area:	68,400 SF
Site Area:	18.19 Acres
Enrollment:	345 students
Square Footage per Student:	145.1* sf/student
Renovation Cost:	\$18,257,287
Current Replacement Value [CRV]:	\$21,888,000
Facility Condition Index [FCI]:	83%



* Calculation based on school building's square footage only.



06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION



06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION

OBSERVATION HIGHLIGHTS

SITE

Student drop-off is located at the back of the building. This circulation is convoluted and conflicts with the adjacent Operations/Tech/Grounds functions. Dumpsters are scattered along the north side of the building, including adjacent to the main student drop-off. Current construction in progress at Okemos and Mt. Hope intersection. This intersection serves as the main exit for the Central Elementary and Administration buildings.

ARCHITECTURE

At the Montessori school, most exterior windows, entrance canopies, upper metal soffits and fascia are all in need of upgrades. Most exterior doors and frames have been upgraded to aluminum thermally broken products and are in good shape. The auxiliary entrance on the north end of the Montessori school, which provides access to the building elevator needs to be upgraded. Currently, visitors must call the main office from the exterior for access inside. Exterior chimney at the Administration building should be removed and taken out of service. North entrances to ground level kitchen and cafeteria are below grade, access from the north parking lot is down a set of exterior stairs. Water infiltration, snow and ice are a challenge at these locations for maintenance staff to monitor and control. Current masonry on exterior walls at the Administration building is in decent shape, no significant signs of deterioration. The exterior windows and aluminum framing should be considered for replacement based on age and current performance of non-thermally broken products.

INTERIORS

Toilet room updates have been performed at most locations in the Administration building. Toilet room upgrades needed at the Montessori Elementary. Flooring and ceilings should be considered for upgrades and replacement. Most interior doors and frames throughout the campus are in decent shape. Current mezzanine space adjacent to the gym being used as classroom space needs to be evaluated for ADA compliance with entrance and egress. Lockers in the Montessori Elementary need to be removed and upgraded. The students from the Montessori school proceed from their classrooms, through the corridors to use the kitchen and cafeteria located on the ground floor of the Administration building. Another item to consider are the current handrails used in the Administration building stairwells. These will need to be addressed, overall height from finish floor to top of handrail too low and current pipe used as the handrail not acceptable per current building codes.

MECHANICAL

Add cooling to the Elementary office. Provide controls to existing finned-tube. Replace air-handling units (2-3,500 cfm) and the rooftop unit (8.5-ton). All exhaust fans should be replaced. Replace partial pneumatic controls with new DDC and upgrade the balance of the DDC controls. The two tunnel sumps, all plumbing fixtures, sanitary, and domestic piping need to be replaced.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the panelboards are in good shape and do not need to be replaced.

TECHNOLOGY

The MDF is a shared space with storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

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RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. This is the oldest building in the facility inventory and does not lend itself to easily accept improvements, modifications, or additions. Taking this building offline in the near to mid-range planning should be considered.

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DATA SHEETS

Facility Assessment

Building Name Central Montessori/District Admin

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of its useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	good	fair	poor	
Drainage		x		There is a drainage issue at the south-west corner of the building, water pools at this location during heavy rains.
Asphalt Parking/ Drives	x			Asphalt pavement in good condition throughout.
Sidewalks		x		Some cracking along main drop-off location.
Adequate Parking		x		Parking is scattered throughout
Bus Loop				N / A - no bus service
Playgrounds		x	x	Playground equipment is showing its age and should be replaced in the near term.
Student Drop off Area			x	Student drop-off is located at the back of the building. This circulation is convoluted and conflicts with the adjacent Operations/Tech/Grounds functions.
Landscaping			x	
Irrigation Systems				N/A - no irrigation present
Athletic fields		x		Athletic fields are low and general hold water.
Fencing			x	
Signage			x	
Dumpster Location			x	Dumpsters are scattered along the north side of the building, including adjacent to the main student drop-off.

ARCHITECTURAL				comments
	good	fair	poor	
Building Shell				
Roofing		x		Central Elementary 2005 Single-ply membrane. New roofing installed in 2016 Firestone single-ply membrane. District reports no issues.
Exterior Windows		x		Administration: original aluminum windows with interior blinds and vision and spandrel glass to be replaced. Integral frames with mech louvers present. School: aluminum windows should be replaced.
Positive Drainage		x		Administration: (2) ground floor doors allow water to enter cafeteria and kitchen area during heavy rains. Trench drains to be added at bottom of exterior stairs. School: Classrooms on the south end of each major wing have tunnel access with sump pumps to remove overflow rain from large rain events.
Defined Entry		x		Canopy at the Administration entrance on the north side. School entrance is identifiable on the west side of building but there is no parking adjacent to the entrance.

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ARCHITECTURAL (CON'T)	Good	Fair	Poor	Comments
Accessibility			x	ADA accessibility poor. Administration entrance (north entrance) is not barrier free accessible. The only barrier free access is at the west entrance, away from both administration and school main entrances. There is no barrier free parking near the accessible entrance. Many level changes in the building. Need to review barrier free emergency egress from all levels. Corridor to west entrance on lower level is too narrow for barrier free access and egress. The classroom located in the old gym mezzanine does not have barrier free access.
Fascia/Soffits			x	Canopy at north entrance should be removed and replaced. Wood fascia and soffits at the school building should be replaced with prefinished metal trim.
Brick / CMU		x		Brick masonry at administration and school exterior in good condition. Cleaning/joint care/tuckpointing/some small repairs and replacements could be completed. Consider removal of "chimney" on roof of administration. Administration walls not energy efficient. CMU at school to be repainted.
Wall panels			x	Wall panels at window infill to be replaced.
Caulk Joints				
Water Stains		x		Admin building - can be seen on cast stone pieces. Central Mont - can be seen on CMU (south elevation of wings) and some of the roof edge metal around the perimeter of the building
Exterior Doors		x		Decent aluminum frames/electronic locksets present. Not all entrances have barrier free access and snowmelt concrete should be considered at all locations.
Vestibule Entries			x	Not present at most locations including Administration building. Main entrance to Central Montessori has exterior secure entrance doors but no secure vestibule entrance
Glass Block			x	Found in some locations of the Admin building - should be considered for removal and replacement with windows.
Chimney			x	Remove Chimney (not sure if still functional) on Admin building.
Transite Panels			x	Located around Central Mont windows and could be removed and replaced with larger window frames.

INTERIORS / FINISHES	Good	Fair	Poor	Comments
Corridors				
Lights			x	Upgrade - old/performance/bulb retrofits/lighting controls.
Flooring			x	Replace all flooring (carpet & VCT). Terrazzo floor in fair condition.
Ceiling/Walls			x	Replace 2x4 grid/pads/lights in Administration, Some school ceilings are in fair condition - selective replacement. Plaster walls in Administration (minor cracks to be repaired.), brick in good condition, wood walls need to be refinished.
Lockers			x	Built-in lockers in school corridors. School would like them removed and new reinstalled. Build in metal lockers in CMU walls (extensive work)
Doors			x	Building received electronic locking hardware upgrades (district wide). Administration office doors are in good condition but door knobs should be replaced with levers. Doors in lower level of Administration should be replaced (childcare, cafeteria, gym). Old/no door closers/some doors in Admin building have 'knob' hardware.
Size of Corridor	x			Most buildings have 'good' adequate corridor size (overall width). works with traffic flow, free egress, emergencies. District did not report any issues here or at any other buildings in regards to this
Flow of Corridor	x			No issues with flow reported. Central Montessori has two major wings connected by passageway at main office.

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INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Emergency Egress	x			Egress provided in corridor, some classrooms have egress doors. Admin building has 3 major entrances/exits. Central Mont. school has 6 major entrances/exits.
Vestibule				not present
Cabinets at Building Entrances			x	Replace at Central Mont.
Stairs		x		Administration stair handrails and guardrail height do not meet today's code requirements
Elevator			x	One - located in southwest corner of administration building - old/estimated install in 1980's. It cannot be accessed from the administration or school entrances.
General Note				Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms.
Classrooms				
Flooring		x		classroom carpet and VCT to be replaced
Ceiling		x		Many classrooms have newer 2x4 grid and fixtures.
Egress Windows			x	Most window do not have labels, but windows should be removed and replaced.
Casework			x	Casework to be replaced
Marker/Chalkboards		x		Have whiteboards - ready for upgrade.
Heat		x		Received new VUV units with last bond cycle.
Air-Conditioning		x		Received new VUV units with last bond cycle.
Daylight		x		ok - but exterior windows and doors need to be considered for replacement. Room for large openings available - could be a big impact for each classrooms
Overall Size		x		No issues reported, school was full (every classroom occupied) when we were onsite for tour.
Doors			x	Upgrade doors (just replaced hardware electronic locksets with last bond cycle).
Lighting			x	Upgrade fixtures/controls.
Dividing Partition Walls			x	Replace - Present in east wing of school, in 2 locations separating 4 classrooms (other classrooms received CMU walls)
Toilet Rooms				
Fixtures Operational	x			Most (not all) toilet rooms were updated. Staff toilet rooms to be updated.
Toilet Partitions	x			
Walls	x			
Floors	x			Epoxy floor with integral cove base used at bathrooms recently updated (district wide update).
Floor Drains		x		Some comments from district about tree roots/floor drain conflicts at this building. Inspection should be recommended.
Lighting	x			
Hand Dryers				not present.
Ceilings/Walls	x			gyp board ceilings with new light fixtures/diffusers
Mirrors		x		new framed mirrors installed.
ADA Accessible	x			in compliance at new bathrooms. Some staff bathrooms in Central Mont need to be upgraded/updated.
Adequate Size	x			no issues reported.
Gymnasium				
Flooring		x		Flooring being maintained and upgrade by district at winter break 2021.

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INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Lights	x			recent fixture updates (district wide at gyms).
HVAC		x		Recent upgrades (no A/C typical district wide).
Daylight			x	none - no exterior windows.
Gym Equipment			x	Hoops are fixed but in good condition. Poor acoustics and no wall padding - should be addressed.
Doors			x	Remove, replace, upgrade.
Size	x			nice gym.
Bleachers			x	Remove and replace wood bleachers
Egress		x		no issues present - exterior and interior entrances.
Walls/Ceilings		x		trusses/new light fixtures/tectum roof deck present. Repaint walls and ceiling.
General Note				North of Gym - a classroom - confirm emergency egress. Also, 9x9 floor tile - hazardous materials.
Cafeteria				
Flooring			x	Rubber sheet vinyl over old gym flooring not performing well - should be replaced
Ceilings/Walls			x	Ceiling needs to be replaced. walls need new patch/paint. Walls have wall protection installed from floor to 4' AFF which also needs to be replaced
Accessibility		x		Acceptable but no ideal (tight/compact).
Lighting			x	Update fixtures.
Seating		x		Grade school K-4 ages. Tables and chairs ok - overall space ok. Room needs updates (open area up - doors/windows).
size		x		ok - no issues reported from Okemos. Central school age students walk from school through building (stairs - not Adah friendly) into Admin ground floor to enter cafeteria.
Air-Conditioning	x			present with recent unit updates to Admin building.
Daylight	x			ok - exterior windows (up high on walls) due to ground floor location.
Doors			x	remove and replace.
Egress			x	Located on ground floor of administration building. Exterior entrance (stairs up to parking lot level). Main entrance located on west elevation of room to corridor. Other egress through kitchen.
Heating	x			Admin building mechanical unit updates recently performed, not issues noted during site visit. Inefficient exterior perimeter windows.
Offices				
Flooring			x	Replace all flooring in Administration and school offices..
Furniture			x	
Ceilings			x	Administration ceilings (2x4 grid with sagging tiles) to be replaced. Fair to good condition - new ceilings would make a large impact. New light fixtures, may become necessary since campus does not have fire suppression system.
Paging			x	Upgrade
Master Clock			x	Upgrade
Phone System			x	Upgrade
Lighting			x	Upgrade
Copy/Work Room			x	School office workroom inefficient and small - not functional, Teacher workroom located in former locker room
Meeting Rooms			x	Small individual rooms scattered around main office - need to update / reconfigure.
Boardroom			x	Dated, all finishes and casework to be replaced.
Coffee Break Area			x	Do not have in Administration.
Bathroom(s)			x	Staff bathrooms in corridor outside main office were not updated with other restrooms

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INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Visibility			x	Poor visibility to both the school entrance and administration entrance
Health Room w/Toilet			x	Present at Central Mont main office near main entrance. Entire main office needs to be upgraded and redesigned.
Accessibility			x	No
Child Care Center		x		large room located on ground floor of Administration building.
Staff Lounge			x	Located in East Wing of school, minimal natural light.
Media Center				
Size			x	No limitations reported. IT added room configured within footprint of Media Center.
Flooring			x	Carpet.
Lighting		x		2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity.
Office Space				No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different condition and should be removed and replaced).
Ventilation	x			
Doors		x		
Ceilings			x	2x4 grid/lights/projector/clean.
Acoustics	x			no issues - ceiling height 11' and CMU painted walls
Seating	x			furniture ok
Auxiliary Spaces				
Mechanical Room			x	Mechanical room at the Administration building is small, crowded and difficult to access.
Kitchen				
Program				Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students.
Equipment		x		JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.
Ceilings			x	Replace 2x4 tiles and grid in serving area. Replace and upgrade lights/diffusers/grilles. Kitchen has hard lid gyp ceiling - remove and replace.
Cooler/Freezer				Walk-in units not present.
Floors		x		4x4 quarry tile and rubber base present in kitchen and serving area.
Delivery Space			x	All are through west school entrance (no canopy) to elevator - down to ground floor and through cafeteria to kitchen. No receiving area. There are (2) exterior doors on the north side with steps up to the parking lot elevation.
Storage Space			x	Storage room present - between kitchen and mechanical area. Concrete floor (tunnel access here) / CMU walls/ gyp lid.
Kitchen Hood			x	Old large hood above range and coolers. Remove and replace.
Serving Line		x		Serving space in separate room adjacent to kitchen. Floor ok, CMU and Gyp walls, replace ceiling. No fire suppression or fire alarm present.
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity.
Lighting		x		Upgrade light fixtures.
Heating	x			Administration building just received new HVAC units to serve all (3) floors. Heating and A/C.
Fire Suppression/FA			x	No fire suppression present. Fire alarm present.
Overall				Final preparations and serving to elementary students. Not a fully functional licensed kitchen. Materials delivered from food service and high school.

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MECHANICAL	good	fair	poor	comments
Heating Source and Condition	X			Building is served by (4) PK heating hot water boilers, 2,000 MBH each installed around 2003. Two of the boilers have been abandoned that used to serve the Facilities out buildings.
Heating Pumps and Piping	X			Building is served by (2) B&G base mounted pumps (320 gpm @ 90' HD) installed around 2003. No known issues for piping.
Cooling Source and Condition	X			Individual DX cooling. Administration building and classrooms have cooling. Cafeteria and Gym does not have cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices	X			Classrooms are served by (23) horizontal unit vents with remote condensing units were installed within the last 5 years. Finned-tube have Danfoss valves not on BMS. Window air conditioning units serve the Elementary offices.
AHUs and RTUs	X			The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym.
Ventilation			x	Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 600 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 690 cfm EF
Building Management System/Controls			X	Building is served by Trane BMS with partial pneumatics.
Domestic Water Piping			X	Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods.
Water Heaters	X			Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020.
Plumbing Fixtures		X		Administration Building remodeled within last 5 years. Elementary fixtures are original.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL	good	fair	poor	comments
Transformer size	x			
Primary/Secondary Service	x			Wiring is original, lacking receptacles throughout building
Generator				No generator.
Occupancy Sensors				N/A
Lighting Control System			x	Toggle switches. Needs updating.
Panels	x			Majority of panels are in good shape.
Panel Clearance	x			Need to remove storage items.
Fire Alarm	x			Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)
Interior Lighting			x	Fluorescent fixtures throughout need to be replaced.
Exit Signs			x	Exit signs are very old and letters are dim.

TECHNOLOGY	good	fair	poor	comments
IT Rooms		x		Shared storage space. Unused equipment needs to be removed.

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TECHNOLOGY (CON'T)				comments
	good	fair	poor	
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district. Paging speakers not loud enough in the gym.
Clock System			x	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Gym needs to audio system and installed projector. Admin boardroom/conference room need AV systems to support virtual and in- person.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

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Water Stains	Admin building - can be seen on cast stone pieces. Central Mont - can be seen on CMU (south elevation of wings) and some of the roof edge metal around the perimeter of the building	I	LS	\$ 10,000.00	\$ 10,000
Exterior Doors	Decent aluminum frames/electronic locksets present. Not all entrances have barrier free access and snowmelt concrete should be considered at all locations.	I	ALLOW	\$ 75,000.00	\$ 75,000
Snow melt	Add snow melt system		excluded		
Vestibule Entries	Not present at most locations including Administration building. Main entrance to Central Montessori has exterior secure entrance doors but no secure vestibule entrance	I	LS	\$ 75,000.00	\$ 75,000
Exterior Lighting	Building mounted lighting	I	LS	\$ 20,000.00	\$ 20,000
Glass Block	Found in some locations of the Admin building - should be considered for removal and replacement with windows.	I	LS	\$ 50,000.00	\$ 50,000
Chimney	Remove Chimney (not sure if still functional) on Admin building.	I	LS	\$ 25,000.00	\$ 25,000
Transite Panels	Located around Central Mont windows and could be removed and replaced with larger window frames.	I	LS	\$ 100,000.00	\$ 100,000
					\$ -
INTERIORS					
Walls	Paint/refresh entire building	68,400	SF	\$ 1.50	\$ 102,600
Corridors	Corridors	10,222	SF		\$ -
Lighting	Upgrade - old/performance/bulb retrofits/lighting controls.	10,222	SF	\$ 7.50	\$ 76,665
Flooring	Replace all flooring (carpet & VCT)-assume 25% corridor area. Terrazzo floor in fair condition.	283.94	SY	\$ 63.54	\$ 18,042
Flooring	Terrazzo repair allowance	7,225.50	SF	\$ 20.00	\$ 144,510
Ceilings/Walls	Replace 2x4 grid/pads/lights in Administration, Some school ceilings are in fair condition - selective replacement. Plaster walls in Administration (minor cracks to be repaired.), brick in good condition, wood walls need to be refinished.	10,222	SF	\$ 12.00	\$ 122,664
Heating	Add diffuser and grilles with new ceilings	10,222	SF	\$ 0.50	\$ 5,111
Lockers	Built-in lockers in school corridors. School would like them removed and new reinstalled. Build in metal lockers in CMU walls (extensive work)	450	EA	\$ 750.00	\$ 337,500
Doors	Building received electronic locking hardware upgrades (district wide). Administration office doors are in good condition but door knobs should be replaced with levers. Doors in lower level of Administration should be replaced (childcare, cafeteria, gym). Old/no door closers/some doors in Admin building have 'knob' hardware.	59	EA	\$ 2,000.00	\$ 118,000
Size of Corridor	Most buildings have 'good' adequate corridor size (overall width), works with traffic flow, free egress, emergencies. District did not report any issues here or at any other buildings in regards to this			assume work not required	\$ -
Flow of Corridor	No issues with flow reported. Central Montessori has two major wings connected by passageway at main office.			assume work not required	\$ -
Emergency Egress	Egress provided in corridor, some classrooms have egress doors. Admin building has 3 major entrances/exits. Central Mont. school has 6 major entrances/exits.			assume work not required	\$ -
Vestibule Entries	not present				\$ -
Cabinets at Building Entrances	Replace at Central Mont.	25		\$ 750.00	\$ 18,750
Stairs	Administration stair handrails and guardrail height do not meet today's code requirements	I	LS	\$ 35,000.00	\$ 35,000
Elevators	One - located in southwest corner of administration building - old/estimated install in 1980's. It cannot be accessed from the administration or school entrances.	I	LS	\$ 20,000.00	\$ 20,000
General Note	Ground floor of Administration Building - located on east end south of CAFE - narrow (24" wide). Provides access to kitchen back of house and Admin mech rooms.				\$ -
Interior Signage	Interior signage	68,400	SF	\$ 0.55	\$ 37,620
Classrooms	Classrooms	15,665	SF		\$ -
Flooring	classrooms could use carpet and VCT upgrade.	1,740.56	SY	\$ 63.54	\$ 110,595
Ceilings	Many classrooms have newer 2x4 grid and fixtures.		SF		\$ -
Egress Windows	Most window do not have labels, but windows should be removed and replaced.	I	LS	\$ 50,000.00	\$ 50,000
Casework	Casework to be replaced	1,000	LF	\$ 450.00	\$ 450,000
Marker/Chalkboards	Have whiteboards - ready for upgrade. Assume 3 each classroom (8' lf/each MB)	20	RMS	\$ 3,360.00	\$ 67,200
Heating	Received new VUV units with last bond cycle.			assume work not required	\$ -
Air-Conditioning	Received new VUV units with last bond cycle.			assume work not required	\$ -
Daylight	ok - but exterior windows and doors need to be considered for replacement. Room for large openings available - could be a big impact for each classrooms			see exterior windows	\$ -
Overall Size	No issues reported, school was full (every classroom occupied) when we were onsite for tour.				\$ -

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Doors	Upgrade doors (just replaced hardware electronic locksets with last bond cycle).	17	EA	\$ 1,000.00	\$ 17,000
Lighting	Upgrade fixtures/controls.	15,665	SF	\$ 7.00	\$ 109,655
Heating					\$ -
Dividing Partition Walls	Replace - Present in east wing of school, in 2 locations separating 4 classrooms (other classrooms received CMU walls)	1,920	SF	\$ 45.00	\$ 86,400
Special Education	Rooms are located with east wing of Central Mont. Could not inspect - in use during site walk-through. Be aware of use/functionality here. Should meet with staff to discuss function and updates.				\$ -
Toilet Rooms	Toilet Rooms	1,517	SF		\$ -
Fixtures Operational	Most (not all) toilet rooms were updated. Staff toilet rooms to be updated.	2	LOC	\$ 35,000.00	\$ 70,000
Toilet Partitions				assume work not required	\$ -
Walls				assume work not required	\$ -
Floors	Epoxy floor with integral cove base used at bathrooms recently updated (district wide update).			assume work not required	\$ -
Floor Drains	Some comments from district about tree roots/floor drain conflicts at this building. Inspection should be recommended.	1	LS	\$ 6,000.00	\$ 6,000
Lighting				with item above staff toilets	\$ -
Hand Dryers	not present.			excluded	\$ -
Ceilings/Walls	gyp board ceilings with new light fixtures/diffusers			with item above staff toilets	\$ -
Mirrors	new framed mirrors installed.			with item above staff toilets	\$ -
ADA Accessible	in compliance at new bathrooms. Some staff bathrooms in Central Mont need to be upgraded/updated.			with item above staff toilets	\$ -
Adequate Size	no issues reported.				\$ -
Gymnasium	Gymnasium	9,915	SF		\$ -
Flooring	Flooring being maintained and upgrade by district at winter break 2021.			work by owner	\$ -
Lighting	recent fixture updates (district wide at gyms).			assume work not required	\$ -
HVAC	Recent upgrades (no A/C typical district wide).			assume work not required	\$ -
Daylight	none - no exterior windows.			assume work not required	\$ -
Gym Equipment	Hoops are fixed but in good condition. Poor acoustics and no wall padding - should be addressed.	750	SF	\$ 41.00	\$ 30,750
Doors	Remove, replace, upgrade.	6	EA	\$ 3,500.00	\$ 21,000
Size	nice gym.				\$ -
Bleachers	Remove and replace wood bleachers	1,000	EA	\$ 185.00	\$ 185,000
Egress	no issues present - exterior and interior entrances.				\$ -
Locker Rooms					\$ -
Walls/Ceilings	trusses/new light fixtures/tectum roof deck present. Repaint walls and ceiling.	9,915	SF	\$ 4.00	\$ 39,660
General Note	North of Gym - a classroom - confirm emergency egress. Also, 9x9 floor tile - hazardous materials. Add new egress stair and barrier free elevator access to 2nd floor classroom	1	LS	\$ 650,000.00	\$ 650,000
Cafeteria	Cafeteria	2,478	SF		\$ -
Flooring	Rubber sheet vinyl over old gym flooring not performing well - should be replaced	2,478		\$ 15.00	\$ 37,170
Ceilings/Walls	Ceiling needs to be replaced. walls need new patch/paint. Walls have wall protection installed from floor to 4' AFF which also needs to be replaced.	2,478	SF	\$ 12.00	\$ 29,736
Accessibility	Acceptable but not ideal (tight/compact).				\$ -
Lighting	Update fixtures.	2,478	SF	\$ 8.50	\$ 21,063
Seating	Grade school K-4 ages. Tables and chairs ok - overall space ok. Room needs updates (open area up - doors/windows).				\$ -
size	ok - no issues reported from Okemos. Central school age students walk from school through building (stairs - not ADA friendly) into Admin ground floor to enter cafeteria.				\$ -
Air-Conditioning	present with recent unit updates to Admin building.			assume work not required	\$ -
Daylight	ok - exterior windows (up high on walls) due to ground floor location.				\$ -
Overall Size					\$ -
Doors	remove and replace.	5	EA	\$ 3,500.00	\$ 17,500
Egress	Located on ground floor of administration building. Exterior entrance (stairs up to parking lot level). Main entrance located on west elevation of room to corridor. Other egress through kitchen.				\$ -
Heating	Add diffuser and grilles with new ceilings	2,478	SF	\$ 0.50	\$ 1,239
Heating	Admin building mechanical unit updates recently performed, not issues noted during site visit. Inefficient exterior perimeter windows.			assume work not required	\$ -

06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION

Offices		3,420	SF		\$	-
Flooring	Replace all flooring in Administration and school offices. Includes renovation for office area	3,420	SF	\$	125.00	\$ 427,500
Furniture						\$ -
Ceilings	Administration ceilings (2x4 grid with sagging tiles) to be replaced. Fair to good condition - new ceilings would make a large impact. New light fixtures, may become necessary since campus does not have fire suppression system.					\$ -
Paging	Upgrade					\$ -
Master Clock	Upgrade					\$ -
Phone System	Upgrade					\$ -
Lighting	Upgrade	3,420	SF	\$	8.00	\$ 27,360
Heating	Add diffuser and grilles with new ceilings	3,420	SF	\$	0.50	\$ 1,710
Copy/Work Room	School office workroom inefficient and small - not functional, Teacher workroom located in former locker room					\$ -
Meeting Rooms	Small individual rooms scattered around main office - need to update / reconfigure.					\$ -
Boardroom	Dated, all finishes and casework to be replaced.					\$ -
Coffee Break Area	Do not have in Administration.					\$ -
Bathroom(s)	Staff bathrooms in corridor outside main office were not updated with other restrooms					\$ -
Visibility	Poor visibility to both the school entrance and administration entrance					\$ -
Health Room with Toilet	Present at Central Mont main office near main entrance. Entire main office needs to be upgraded and redesigned.					\$ -
Accessibility	No					\$ -
Child Care Center	large room located on ground floor of Administration building.					\$ -
Staff Lounge	Located in East Wing of school, minimal natural light.					\$ -
						\$ -
						\$ -
Media Center		1,500	SF			\$ -
Size	No limitations reported. IT added room configured within footprint of Media Center.	1	LS	\$	35,000.00	\$ 35,000
Flooring	Carpet.	166.67	SY	\$	63.54	\$ 10,590
Lighting	2x4 fixtures - ok condition/no building controls other than wall switches. No dimming capacity.	1,500	SF	\$	11.00	\$ 16,500
Office Space	No media center offices - Adjacent meeting rooms used for general building use. Be aware of ceiling types in these rooms (different conditions should be removed and replaced).					\$ -
Ventilation						\$ -
Doors						\$ -
Ceilings	2x4 grid/lights/projector/clean.	1,500	SF	\$	12.00	\$ 18,000
Heating	Add diffuser and grilles with new ceilings	1,500	SF	\$	0.50	\$ 750
Acoustics	no issues - ceiling height 11' and CMU painted walls					\$ -
Seating	furniture ok					\$ -
Auxiliary Spaces						\$ -
Mechanical room	Mechanical room at the Administration building is small, crowded and difficult to access.	1	LS	\$	75,000.00	\$ 75,000
General Note						\$ -
General Note						\$ -
Kitchen		1,309	SF			\$ -
Program	Kitchen/Cafeteria located in ground floor of Admin building (original High School footprint). 300 meals daily to Central Montessori Elementary students.					\$ -
Equipment	JRA to provide list for selecting new equipment. Large 3 compartment sink, range with oven and old hood, (4) free standing coolers (one is residential), prep tables. Serving space in separate room adjacent to kitchen.	1	LS	\$	265,500.00	\$ 265,500
Ceilings	Replace 2x4 tiles and grid in serving area. Replace and upgrade lights/diffusers/grilles. Kitchen has hard lid gyp ceiling - remove and replace.	1,309	SF	\$	15.00	\$ 20,355
Cooler/Freezer	Walk-in units not present.					\$ -
Floors	4x4 quarry tile and rubber base present in kitchen and serving area.					\$ -

06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION

Delivery Space	All are through west school entrance (no canopy) to elevator - down to ground floor and through cafeteria to kitchen. No receiving area. There are (2) exterior doors on the north side with steps up to the parking lot elevation. There is a flooding issue at the two doors		see building shell		\$	-
Storage Space	Storage room present - between kitchen and mechanical area. Concrete floor (tunnel access here) / CMU walls/ gyp lid.				\$	-
Kitchen Hood	Old large hood above range and coolers. Remove and replace.		with equipment above		\$	-
Make-up Air					\$	-
Serving Line	Serving space in separate room adjacent to kitchen. Floor ok, CMU and Gyp walls, replace ceiling. No fire suppression or fire alarm present.				\$	-
Electrical	No issues noted - such as too few outlets/location/breaker capacity.				\$	-
Lighting	Upgrade light fixtures.	1,309	SF	\$ 8.00	\$	10,472
Heating	Add diffuser and grilles with new ceilings	1,309	SF	\$ 0.50	\$	655
Heating	Administration building just received new HVAC units to serve all (3) floors. Heating and A/C.			assume work not required	\$	-
Secured					\$	-
Fire Suppression/FA	No fire suppression present. Fire alarm present.				\$	-
Overall	Final preparations and serving to elementary students. Not a fully functional licensed kitchen. Materials delivered from food service and high school.				\$	-
MECHANICAL						
Heating Source and Condition	Building is served by (4) PK heating hot water boilers, 2,000 MBH each installed around 2003. Two of the boilers have been abandoned that used to serve the Facilities out buildings. Significant deficiencies in mechanical room - remove all abandoned equipment and piping		I allow	\$ 250,000.00	\$	250,000
Heating Pumps and Piping	Building is served by (2) B&G base mounted pumps (320 gpm @ 90' HD) installed around 2003. No known issues for piping.				assume work not required	\$ -
Cooling Source and Condition	Individual DX cooling. Administration building and classrooms have cooling. Cafeteria and Gym does not have cooling.				assume work not required	\$ -
Cooling Pumps and Piping	N/A.				\$	-
Terminal Devices	Classrooms are served by (23) horizontal unit vents with remote condensing units were installed within the last 5 years. Finned-tube have Danfoss valves not on BMS. Window air conditioning units serve the Elementary offices.				assume work not required	\$ -
AHUs and RTUs	The (2) 3,500 cfm dual duct AHU's with remote condensing units on the roof serve the second and third floor of the Administration building were installed in 1988. The AHU with remote condensing unit on the roof serves the Cafeteria was installed in 2021. The 1,800 cfm AHU with remote condensing unit on the roof serves the first floor of the Administration building and was installed in 2021. There is a 8.5-ton RTU that serves the Boardroom in the Administration Building installed in 1988. There are (2) AHU's that serve the Gym.		I LS	\$ 112,250.00	\$	112,250
Ventilation	Exhaust fans are original. There is no ventilation in the conference room and office off the Board Room. (1) 3,500 cfm EF, (2) 300 cfm EF's, (1) 800 cfm EF, (1) 3,000 cfm EF, (1) 600 cfm EF, (1) 1,800 cfm EF, (2) 1,100 cfm EF's, (3) 175 cfm EF's, (4) 560 cfm EF's, (1) 690 cfm EF		I LS	\$ 25,500.00	\$	25,500
Building Management System/Controls	Building is served by Trane BMS with partial pneumatics.	68,400	SF	\$ 5.00	\$	342,000
Domestic Water Piping	Storm and domestic piping is nearing end of life. Sanitary piping backs up a couple of times a year. There are two tunnel sumps. Tunnel floods.	68,400	SF	\$ 3.50	\$	240,000
Water Heaters	Building is served by a Bradford White water heater, 80 gallon, 200 MBH installed in 2020.				assume work not required	\$ -
Plumbing Fixtures	Administration Building remodeled within last 5 years. Elementary fixtures are original.				\$	-
Fire Protection	N/A.				\$	-
Pool equipment	N/A.				\$	-
ELECTRICAL						
Transformer size					\$	-
Primary/Secondary Service	Wiring is original, lacking receptacles throughout building				\$	-
Generator	No generator.				\$	-
Lighting	Misc. areas unaccounted for	22,962	SF	\$ 7.00	\$	160,734
Occupancy Sensors	N/A				\$	-
Lighting Control System	Toggle switches. Needs updating.	68,400	SF	\$ 1.50	\$	102,600
Panels	Majority of panels are in good shape.				\$	-

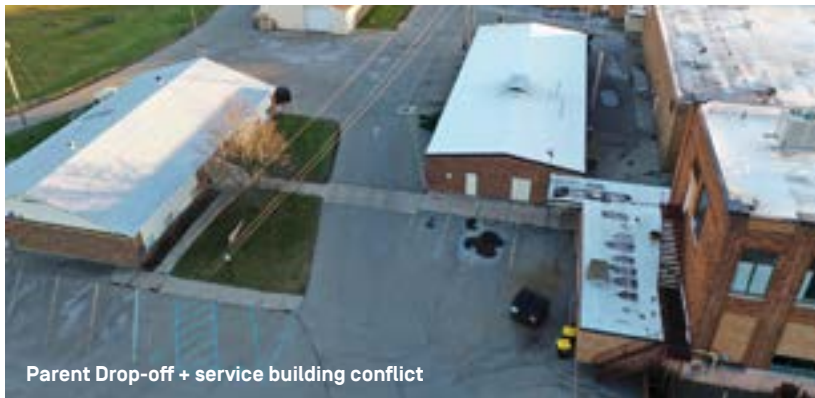
06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION



Playground



Classroom toilets to be upgraded



Parent Drop-off + service building conflict



Barrier free entrance



Sidewalks in poor condition CMU to be repainted

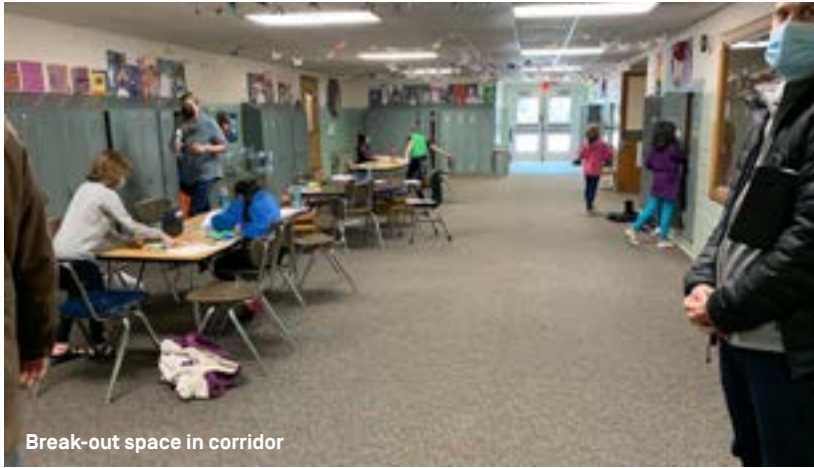


School Entrance



Windows, wall panels, and wood fascia + soffits to be replaced

06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION



Break-out space in corridor



Cafeteria finishes to be replaced



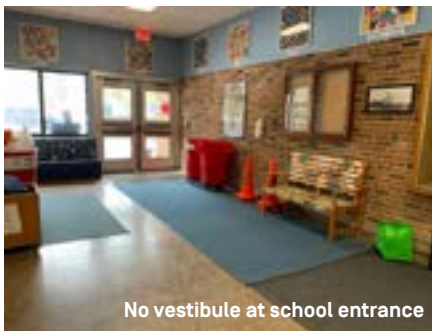
Typical Classroom



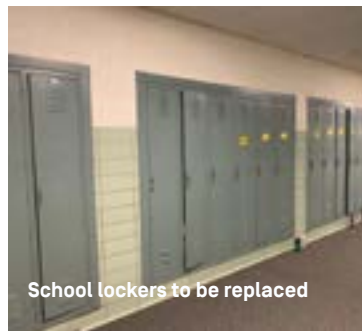
Teacher workroom in old locker room space



Media Center



No vestibule at school entrance



School lockers to be replaced



School office workroom / copy room

06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION



Gym



Title

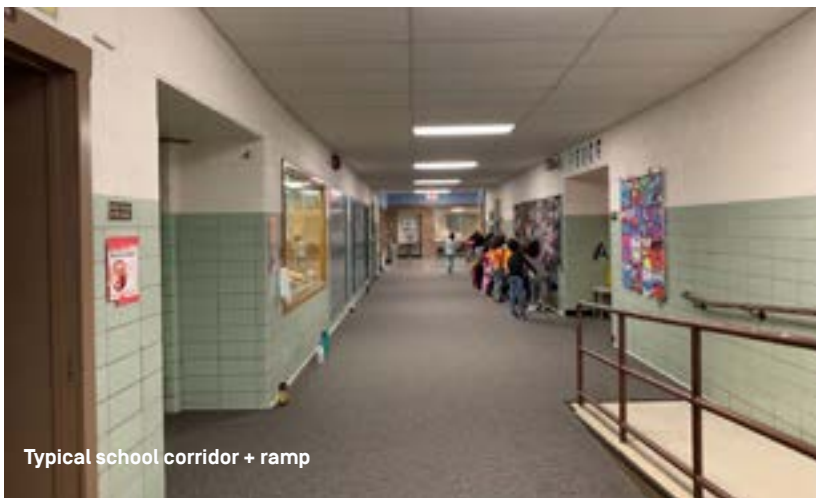
Wood paneling to be refinished



No barrier free parking adjacent to barrier free entrance



VCT to be replaced



Typical school corridor + ramp

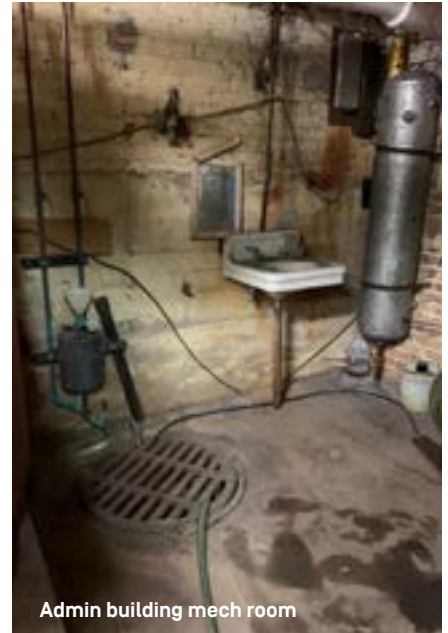


Kitchen

06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION



Typical childcare classroom



Admin building mech room



West door to kitchen



Cafeteria finishes to be replaced

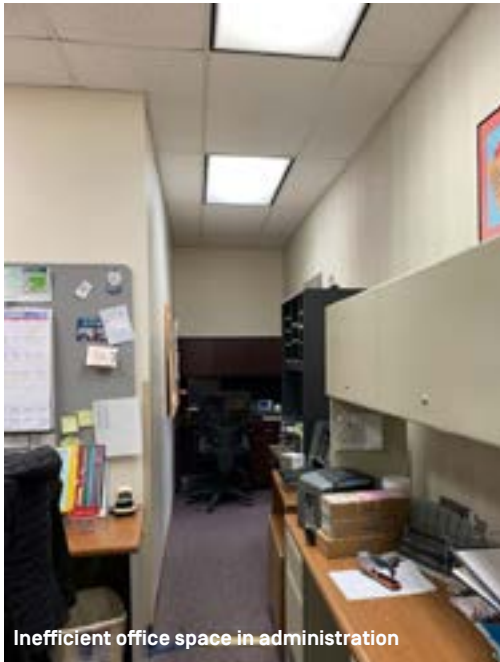


Administration entrance



Boardroom

06 CENTRAL MONTESSORI / DISTRICT ADMINISTRATION



Inefficient office space in administration



Plaster cracks + typical wayfinding signage



School office workroom / copy room



Admin stair handrails do not meet code requirements



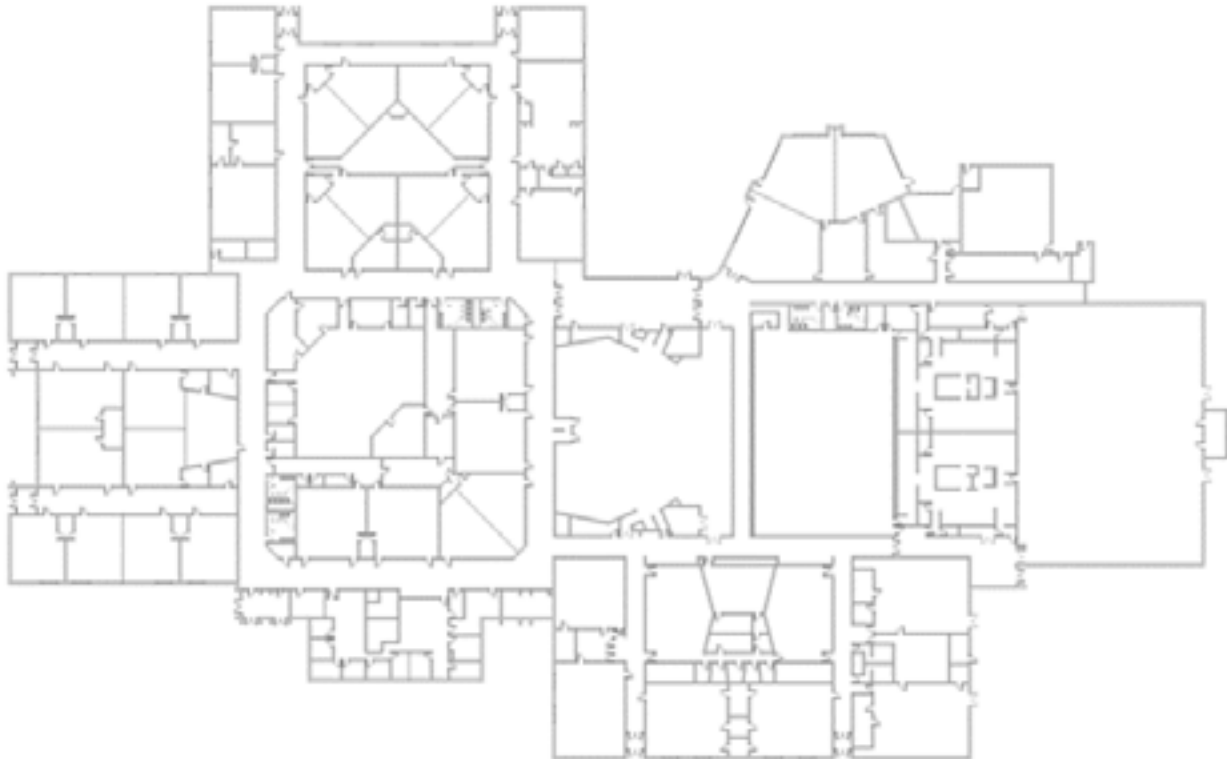
Administration office

07 KINAWA 5-6 SCHOOL



07 KINAWA 5-6 SCHOOL

Use:	5-6
Built:	1965
Additions + Renovations:	1967 / 1994 / 1996 / 2006
Total Building Area:	154,000 SF
Site Area:	64.49 Acres
Enrollment:	644 students
Square Footage per Student:	239.1 sf/student
Renovation Cost:	\$41,242,872
Current Replacement Value [CRV]:	\$50,050,000
Facility Condition Index [FCI]:	82%



07 KINAWA 5-6 SCHOOL



07 KINAWA 5-6 SCHOOL

OBSERVATION HIGHLIGHTS

SITE

Pavement at parent drop-off locations is in poor condition. Loading dock pavement is in poor condition and the current loading area is insufficient to service the building. Exterior concrete 'retaining' walls and safety chains are in poor condition and present possible safety concerns for students. Considered removal and replacement. Maintenance staff mentioned the concerns regarding storm water runoff at the northwest ground level mechanical room entrance. Grading improvements and replacement of current door and frame should be completed. Tennis courts need to be replaced.

ARCHITECTURE

Secure vestibule present, but main office is located down the corridor south of the main entrance. The team noted this during our site visit and thought the entrance should be in closer proximity to the main entrance for security purposes. On the exterior, window framing upgrades and consideration to update the exterior typical bulkhead detail above the windows would dramatically change the look of the exterior of the building. Exterior brick walls in good condition. District expressed desire to reevaluate the cafeteria space both interior and exterior space available for remodel and possible expansion.

INTERIORS

In addition to the featured design of KIVA classrooms, the school has a media center, gym, locker rooms, kitchen, cafeteria, auditorium, pool (closed), music and band rooms, and a dedicated wing for additional Montessori classrooms. Current location of the main office in relation to the location of the school main entrance does not provide a direct line of sight of visitors requesting entry. Classroom shapes do not lend themselves easily to furniture multiple furniture arrangements and are lacking any exposure to natural light. Classroom interior partition walls are not operable and should be removed. Classroom furniture and casework upgrades should be considered.

Terrazzo flooring at main corridors in great shape with recent maintenance work completed during the winter of 2021. The existing carpet dates back to the mid-nineties and should be replaced. Some vinyl asbestos tile may be present in support spaces and should be abated and replaced.

Ceilings are in fair to poor condition. The majority of the panels are 24" x 48" are showing signs of age and warping. Some ceiling panels are severely water damaged. Corridor lockers need to be replaced and upgraded.

The cafeteria is undersized for the student body. The VCT flooring is showing signs of slab movement beneath and should be replaced. Painted bulkheads in the space are peeling. Wood doors are in fair condition.

Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated.

Interior signage is lacking and ADA compliant signs are not available at all doors. The project team did notice some existing corridor 'wooden' handrails that should be removed and upgraded for ADA compliance.

MECHANICAL

All exhaust fans should be replaced. Replace pneumatic controls with new DDC. Valves outside the group restroom and floor sink in Kitchen should be replaced. Replace plumbing fixtures in all single toilets.

07 KINAWA 5-6 SCHOOL

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The panelboards are original to the building and need to be replaced.

TECHNOLOGY

The IT rooms are a shared space with janitorial mop sinks & storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. This building has areas of aging infrastructure coupled with difficult conditions for accessibility for staff and students. Significant work would be required to eliminate accessibility issues in all areas of the building. The site is large and presents many opportunities for placement of building additions or new structures.

07 KINAWA 5-6 SCHOOL

DATA SHEETS

Facility Assessment

Building Name Kinawa 5-6 School

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	good	fair	poor	
Drainage			x	County drain is becoming overgrown, limiting capacity at viaduct under adjacent railroad tracks. Segments of 30" dia RCP leading from parking lot to drainage pond have separated. Drainage issues around NW corner of site.
Asphalt Parking/ Drives	x			Pavement in parking is in good condition
Sidewalks		x		Sidewalks are heaving and cracked near the pine trees
Adequate Parking	x			
Bus Loop		x		Pavement in bus loop is in fair condition, curbs need to be replaced
Playgrounds	x			Playground equipment is in good condition.
Student Drop off Area			x	Concrete pavement at drop off is in poor condition.
Landscaping	x			
Irrigation Systems				N/A
Athletic fields		x		Ball fields are in good condition, tennis courts need to be replaced or removed
Fencing	x			
Service Entrance			x	Loading dock pavement is in poor condition and current loading area is insufficient to service the building
Signage			x	Main entrance sign is in poor condition
Dumpster Location			x	No dumpster enclosure
Traffic Directions	x			
Parking Lot Lighting		x		Concrete poles, fixtures have not yet been replaced with LED
Retaining Walls			x	Fall protection to be added to the retaining wall on north side of building, Retaining wall on south side needs to be removed and regraded

ARCHITECTURAL				comments
	good	fair	poor	
Building Shell		x		Sealed EIFS a few years ago. District desires to paint/stain brick (dated) - brick to be further evaluated. Rusted, stained lintels at window above exterior doors 18 & 19
Roofing		x		Most recent roof install dates back to 2001, 2003, 2005 and 2011 based on location. Combination of Firestone/Cooley/Carlisle membrane. Carlisle PVC membrane over auditorium (2011). Leaks currently over 400 wing/above band area (flashing). other leaks, address drain collars.
Exterior Windows			x	Need to be replaced - uninsulated 1/4" plate glass present in most locations
Defined Entry	x			Yes, with vestibule - concern is location in relation to interior entrance to main office. Main office located down the corridor from main exterior entrance.
Accessibility		x		no automatic door operators present
Fascia/Soffits			x	Building has exterior 'bump outs' (overhangs-fascia's/soffits) above windows - bulkheads. District opinion is the visual appearance of these are dated. Would prefer to consider removing or updating.
Building Entrances			x	No secure vestibule - entrance is not visible from office

07 KINAWA 5-6 SCHOOL

ARCHITECTURAL (CON'T)	good	fair	poor	comments
Caulk Joints	x			Ready for inspection and possible repair/replacement.
Exterior Doors	x			Aluminum doors have been replaced (salt residue at base of door is an issue). Water intrusion at unit 'B' basement door - no positive drainage (northwest corner of building), door will not close and latch properly
Vestibule Entries	x			Hollow metal frames and glass should be replaced.
Exterior Light			x	Minimal
Hazardous Materials	x			Need district asbestos report. Hazardous materials present in flooring and above ceiling piping insulation. May also be present in mech rooms with older piping insulation. Also present in Montessori classrooms (400 unit) - south of audit/pool/gym at east end of building.

INTERIORS / FINISHES	good	fair	poor	comments
Corridors				
Lights	x			Fixture upgrade should be considered.
Flooring	x			District refinishing terrazzo floors in corridor this year. Removed floor base around perimeter to complete work.
Ceiling/Walls	x			Need new ceiling updates in most areas - grid and pads (2x4 tiles and grid sagging). Vinyl wrapped drywall (panelized wall system) present. Condition is ok but difficult to renovate/repair.
Lockers			x	remove and replace, too narrow
Doors			x	upgrade needed, many doors do not have ADA lever style hardware
Interior Storefront	x			Dated, recommend replacement
Size of Corridor	x			Seems more compact given depth of surface mounted lockers
Flow of Corridor	x			no comments or concerns mentioned during walk-through
Emergency Egress	x			Not all stair handrails meet today's code requirements
Interior Signage			x	Signage is not ADA compliant or lacking
Barrier Free Access			x	Many level changes - not all levels easily accessible, not all stair handrails meet today's barrier free requirements
Classrooms				
Flooring			x	Combination of carpet/VCT at most areas
Ceiling/Walls			x	Ceiling needs to be replaced - old/tired/stained. Walls are composed of panelized drywall and framing (vinyl finish/no color). Bad sound performance (transmission) noted. Different wall thickness and door frame throat sizes based on different locations within the building. Did see some interior walls with brick masonry in classrooms at west end of building. Operable partitions/dividers are not in good condition and potentially not repairable.
Egress Windows	x			Windows and some exterior doors present in classrooms for emergency egress. . Labeling not consistent in all classrooms.
Casework	x			upgrade; on site built-in maple casework is hard to repair / match (maintenance issue)
Marker/Chalkboards	x			upgrade
Daylight	x			minimal in most classrooms.
Overall Size	x			ok - dividing partition walls need to be removed, most out of service
Doors	x			Doors showing signs of age/use/wear. Ready for replacement - frames to be considered for removal
Lighting	x			Upgrade - would like to see better performing fixtures installed (less impact for maintenance staff). Additionally adding automated controls should be considered if other updates are being made to BMS controls system.

07 KINAWA 5-6 SCHOOL

INTERIORS / FINISHES (CON'T)	Condition			comments
	Good	Fair	Poor	
Heating		x		This building needs a full service commissioning inspection and TAB analysis to analyze overall performance/function/controls of current units.
KIVA Rooms		x		KIVA rooms (sunken floor with auditorium seating design). Odd floor layouts, divider walls not functional, furniture is mixed with no cohesion or consistency for which chairs and tables are in each classroom
Furniture		x		
Toilet Rooms				
Fixtures Operational		x		Most (NOT ALL) toilet rooms within this school were updated with last bond cycle
Toilet Partitions		x		Most (NOT ALL) toilet rooms within this school were updated with last bond cycle
Walls		x		wall tile and gyp board combination
Floors		x		epoxy poured in place floors with cove base below wall tile installed with new renovations
Floor Drains		x		Not cleaned or serviced with recent renovations - concern for the district.
Lighting		x		upgraded in renovated toilet rooms
Ceilings		x		gyp board ceiling with fixtures and devices some signs of above ceiling piping or possible roof leaks
ADA Accessible		x		existing bathrooms that have not been updated do not meet current barrier free requirements
Adequate Size		x		Some existing toilet rooms that were not updated (classroom or staff) were smaller and should be considered for expansion or future renovation.
Gymnasium				
Flooring		x		Could be considered for refinish - condition ok currently but aging
Lights	x			recent upgrade
HVAC			x	A/C does not work well - need commissioning/TAB report completed for further investigation. All schools struggle with humidity and moisture conditions during warmer months.
Daylight			x	none present - no exterior windows/translucent panels
Gym Equipment		x		Manually operated hoops only
Doors		x		
Size of Corridor		x		one main court
Bleachers		x		looked newer - recently upgraded to this gym
Egress		x		Ok
Locker Rooms		x		dated / large / some upgrades to fixtures/showers. Noticed ADA issues in some locations
Walls/Ceilings		x		Windows to be replaced. A/C does not work well. Louvered vents not operable. Roof vents need to be replaced
General Note			x	Mezzanine present but not ADA accessible
Cafeteria				
Flooring			x	VCT. Signs of slab movement/floor separation/cracking noticed
Ceilings/Walls			x	Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond.
Accessibility		x		ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe.
Lighting		x		Upgrade
Seating	x			recently updated - integral tables and benches
size			x	CAFE needs to be expanded - not large enough for occupancy. Tables are packed closely together.

07 KINAWA 5-6 SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	Good	Fair	Poor	
Daylight	x			Cafeteria has large old inefficient window wall (frames and glass). Not thermally efficient. Not a comfortable space to take break and eat.
Overall Size			x	Too small. Over capacity.
Doors		x		Remove and replace wood doors, wire glass and hollow-metal frames
General Note				Old/tired/dated exterior/bulkheads need new paint and repair (perimeter ceiling diffusers)
Offices				
Flooring			x	replace and upgrade
Furniture			x	upgrade - remove and replace.
Ceilings			x	minimal/poor/ main office visibility has been a concern at multiple schools within the district
Paging			x	replace and upgrade
Master Clock			x	replace and upgrade
Phone System			x	replace and upgrade
Lighting		x		upgrade
General Note				Door hardware (knobs) to be replaced, original layout - no upgrades in past
Media Center				
Size		x		Seems small for a 5/6 middle school. Space could be renovated and considered for expansion into adjacent classrooms. This building has narrow panelized partition walls (not conventional metal 3 5/8" stud with gyp board).
Flooring		x		carpet - ok condition. Looks like 9x9 floor tiles present near entry/circ desk.
Lighting		x		Need upgrades
Office Space			x	Technology/Server Room present here. Hazardous floor tiles will need to be replaced throughout office and media center.
Ventilation			x	requesting A/C . Not currently installed.
Doors		x		consider for replacement
Ceilings		x		12x12 and 24x48 present. 12x12 lower elevation around perimeter above bookshelves - needs to be replaced. 24x48 in fair condition.
Seating		x		Dated, but appears functional
Shelving / Casework		x		Dated, but appears functional
Auxiliary Spaces				
Pool				Pool is out of service - not operational. Structural issue preventing removal of water. Room needs to be renovated and addressed.
Auditorium		x		Auditorium is a nice size room. Hazardous flooring present. Stage floor is in need of replacement. Barrier free access should be improved. Finishes and seating are in good condition but dated. Operable partition to close off seating not used. Acoustics are good. Lighting control system is no longer supported and will be difficult to "band aid" as equipment fails - should be replaced in the next 10 years - recommend ETC. No LED fixtures. Projector due to be replaced. Speakers/audio could be reworked for better coverage.
Montessori Classrooms				Montessori classrooms on the far east end of the building to be addressed - renovation desired by the district to meet their needs
Kitchen				
Program				300 daily student meals served - full service kitchen. Cafeteria is too small, desire to expand. Issues with exterior receiving area - area small and difficult to access, long ramp and no double door access.
Equipment		x		JRA to provide list for selecting new equipment. Space currently has nice equipment worth salvaging. Ovens/passthrough oven/prep tables
Ceilings			x	ACT. Replace ceiling with cleanable ceiling and upgrade lights

07 KINAWA 5-6 SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Cooler/Freezer			x	Cooler located in aux dining room. Mark suggested removing and considering this area a separate receiving area, made accessible by extending current service drive.
Floors			x	12x12 vct with rubber base - replace all. Drains/sinks/traps/ all need to be cleaned, maintained, serviced
Delivery Space			x	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection.
Storage Space			x	Lacking adequate storage space. Storage room too small. Mark Fargo suggested utilizing current outdoor maintenance storage room with garage door for adding new walk-in units. Expand space beyond boiler room for more storage/new receiving and maintenance area.
Kitchen Hood			x	Hood present above ovens. Small retrofit. Should replace.
Serving Line		x		Need to redesign/reformat. Space closed off from Cafeteria (open up).
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity
Lighting		x		Upgrade light fixtures
Secured	x			Yes
Fire Suppression/FA				Not present in kitchen.

MECHANICAL				comments
	good	fair	poor	
Heating Source and Condition		x		Building is served by (4) Cleaver Brooks boilers (1,800 MBH ea.) installed in '06.
Heating Pumps and Piping		x		Pumps were installed in '06. No known issues with piping. (2) heating pumps (300 gpm @ 60' HD ea.).
Cooling Source and Condition		x		Building is served by (2) chillers (110 tons ea.) installed in '06.
Cooling Pumps and Piping		x		Pumps were installed in '06. No known issues with piping. (2) chiller pumps (260 gpm @ 25' HD ea.). (2) chilled water pumps (260 gpm @ 60' HD ea.)
Terminal Devices		x		Building served by 98 dual duct mixing boxes.
AHUs and RTUs		x		Dual duct AHUs serve the building. (2) AHU's (3,000 cfm with 7.5 ton condensing unit ea.). (1) 8,500 cfm AHU, (2) 16,000 cfm AHU's, (2) 2,100 cfm AHU's, (2) 3,000 cfm AHU's, (3) 8,000 cfm AHU's, (3) 5,260 cfm AHU's, (3) 4,700 cfm AHU, (2) 6,100 cfm AHU's, (1) 11,000 cfm AHU, (1) 25,000 cfm AHU, (1) 17,000 cfm AHU
Ventilation			x	Exhaust systems original to building. Upgrade/replace. (2) 500 cfm, (1) 700 cfm, (1) 150 cfm, (1) 4,500 cfm, (1) 300 cfm, (1) 600 cfm, and (2) 1,300 cfm
Building Management System/Controls			x	Building served by Trace Summit. Pneumatics throughout.
Domestic Water Piping			x	Valves outside of group restroom are bad. Some leaks from roof drains. Basement floods from under door. Floor drain in Kitchen doesn't work.
Water Heaters		x		(2) newer units (around 10 years old)
Plumbing Fixtures		x		Group restrooms remodeled in '19 and in good condition. All others are at end of life.
Fire Protection			x	Coverage present at auditorium stage/boiler room and receiving dock.
Pool equipment				N/A.

ELECTRICAL				comments
	good	fair	poor	
Transformer size	x			
Primary/Secondary Service			x	
Generator				N/A
Occupancy Sensors				N/A

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ELECTRICAL (CON'T)				comments
	Good	fair	poor	
Lighting Control System			x	Toggle switches. Needs to be replaced.
Panels			x	Panels are original to the building and degraded. Consider replacing.
Panel Clearance			x	Remove storage items.
Exit Signs			x	Exit signs are very old and letters are dim.

TECHNOLOGY				comments
	Good	fair	poor	
IT Rooms			x	Most rooms are sharing space with electrical, janitorial equipment, mop sinks and/or storage. Rooms are sprinkled. Need AC installed.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district. Paging speakers not loud enough in gyms/large spaces.
Clock System			x	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Audio for gym needs upgrade. Auditorium AV needs reworked for better audio coverage and control.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

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BUDGET DETAIL

ITEM #: 3		Acres: 72		
Kinawa 5-6 - Sitework				Elementary
Description	Quantity	UOM	Unit Cost	Total Cost
Sitework	SITWORK			\$ -
Drainage	County drain is becoming overgrown, limiting capacity at viaduct under adjacent railroad tracks. Segments of 30" dia. RCP leading from parking lot to drainage pond have separated. Drainage issues around NW corner of site.	1	ALLOW \$ 100,000.00	\$ 100,000
Asphalt Parking/ Drives	Pavement in parking is in good condition		assume work not required	\$ -
Sidewalks	Sidewalks are heaving and cracked near the pine trees	1	ALLOW \$ 25,000.00	\$ 25,000
Adequate Parking			assume work not required	\$ -
Bus Loop	Pavement in bus loop is in fair condition, curbs need to be replaced	1	ALLOW \$ 150,000.00	\$ 150,000
Playgrounds	Playground equipment is in good condition.		assume work not required	\$ -
Student Drop off Area	Concrete pavement at drop off is in poor condition.	1	ALLOW \$ 175,000.00	\$ 175,000
Landscaping			assume work not required	\$ -
Irrigation Systems	N/A		assume work not required	\$ -
Athletic fields	Ball fields are in good condition, tennis courts need to be replaced or removed		see items below	\$ -
Athletic fields	Remove/replace tennis courts - 3 existing courts	25,800	SF \$ 9.83	\$ 253,700
Athletic fields	Fencing at tennis court	670	LF \$ 50.00	\$ 33,500
Fencing			assume work not required	\$ -
Service Entrance	Loading dock pavement is in poor condition and current loading area is insufficient to service the building	4,000	SF \$ 13.50	\$ 54,000
	Assume new loading dock addition and/or canopy		not included	
Concrete Curbs	Concrete curbs at loading dock	200	LF \$ 35.00	\$ 7,000
Signage	Main entrance sign is in poor condition	1	ALLOW \$ 35,000.00	\$ 35,000
Dumpster Location	No dumpster enclosure		not included	\$ -
Traffic Directions				\$ -
Parking Lot Lighting	Concrete poles, fixtures have not yet been replaced with LED		assume by owner	\$ -
Retaining Walls	Fall protection to be added to the retaining wall on north side of building, Retaining wall on south side needs to be removed and regraded	150	LF \$ 200.00	\$ 30,000
				\$ -
				\$ -
Direct Trade		72 acres	\$ 11,988.89	\$ 863,200

ITEM #: 4		Gross Area: 154,000		
Kinawa 5-6 - Building Improvements				Elementary
Description	Quantity	UOM	Unit Cost	Total Cost
Building Shell	BUILDING SHELL			\$ -
Building Shell	Sealed EIFS a few years ago. District desires to paint/stain brick (dated) - brick to be further evaluated. Rusted, stained lintels at window above exterior doors 18 & 19			\$ -
	Remove/replace steel lintels	2	EA \$ 1,500.00	\$ 3,000
	Paint brick	48,412	SF \$ 2.00	\$ 96,824
Roofing	Most recent roof install dates back to 2001, 2003, 2005 and 2011 based on location. Combination of Firestone/Cooley/Carlisle membrane. Carlisle PVC membrane over auditorium (2011). Leaks currently over 400 wing/above band area (flashing), other leaks, address drain collars.	154,000	SF \$ 28.00	\$ 4,312,000
Exterior Windows	Need to be replaced - uninsulated 1/4" plate glass present in most locations	10,878	SF \$ 95.00	\$ 1,033,410
Defined Entry	Yes, with vestibule - concern is location in relation to interior entrance to main office. Main office located down the corridor from main exterior entrance.			\$ -
Accessibility	no automatic door operators present	22	EA \$ 5,000.00	\$ 110,000
Fascia/Soffits	Building has exterior 'bump outs' (overhangs-fascias/soffits) above windows - bulkheads. District opinion is the visual appearance of these are dated. Would prefer to consider removing or updating.	2,200	LF \$ 193.00	\$ 424,600
Building Entrances	No secure vestibule - entrance is not visible from office	1	ALLOW \$ 50,000.00	\$ 50,000
Caulk Joints	Ready for inspection and possible repair/replacement.	60,000	SF \$ 0.50	\$ 30,000
Exterior Doors	Aluminum doors have been replaced (salt residue at base of door is an issue). Water intrusion at unit 'B' basement door - no positive drainage (northwest corner of building), door will not close and latch properly			\$ -
Exterior Doors	Basement door water intrusion - add site drainage/trench drain	1	ALLOW \$ 30,000.00	\$ 30,000
Exterior Doors	Remove/replace basement door	1	EA \$ 10,000.00	\$ 10,000
Vestibule Entries	Hollow metal frames and glass should be replaced.	26	EA \$ 5,000.00	\$ 130,000
Vestibule Entries	Hollow metal framed glass sidelites	26	EA \$ 5,040.00	\$ 131,040
Exterior Lighting	Minimal	1	LS \$ 15,000.00	\$ 15,000

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Hazardous Materials	Need district asbestos report. Hazardous materials present in flooring and above ceiling piping insulation. May also be present in mech rooms with older piping insulation. Also present in Montessori classrooms (400 unit) - south of audit/pool/gym at east end of building.	154,000	SF	\$	2.00	\$	308,000
INTERIORS							
Walls	Paint/refresh entire building	154,000	SF	\$	1.50	\$	231,000
Corridors	Corridors	25,900	SF			\$	-
Lighting	Fixture upgrade should be considered.	25,900	SF	\$	7.50	\$	194,250
Flooring	District refinishing terrazzo floors in corridor this year. Removed floor base around perimeter to complete work.					see item below	\$ -
Ceilings/Walls	Need new ceiling updates in most areas - grid and pads (2x4 tiles and grid sagging). Vinyl wrapped drywall (panelized wall system) present. Condition is ok but difficult to renovate/repair.	25,900	SF	\$	12.00	\$	310,800
Heating	Assume add diffuser with new ceilings	25,900	SF	\$	0.45	\$	11,702
Lockers	remove and replace, too narrow	900	EA	\$	300.00	\$	270,000
Doors	upgrade needed, many doors do not have ADA lever style hardware	96	EA	\$	1,000.00	\$	96,000
Interior Storefront	Dated, recommend replacement	960	SF	\$	90.00	\$	86,400
Size of Corridor	Seems more compact given depth of surface mounted lockers					assume work not required	\$ -
Flow of Corridor	no comments or concerns mentioned during walk-through					assume work not required	\$ -
Emergency Egress	Not all stair handrails meet today's code requirements	200	LF	\$	200.00	\$	40,000
Interior Signage	Signage is not ADA compliant or lacking	154,000	SF	\$	0.55	\$	84,700
Barrier Free Access	Many level changes - not all levels easily accessible, not all stair handrails meet today's barrier free requirements	154,000	SF	\$	2.00	\$	308,000
Classrooms	Classrooms	46,300	SF			\$	-
Flooring	Combination of carpet/VCT at most areas					see items below	\$ -
Flooring	Carpet 90%	41,670	SF	\$	7.06	\$	294,005
Flooring	VCT 10%	4,630	SF	\$	5.00	\$	23,150
Ceilings	Ceiling needs to be replaced - old/tired/stained. Walls are composed of panelized drywall and framing (vinyl finish/no color). Bad sound performance (transmission) noted. Different wall thickness and door frame throat sizes based on different locations within the building. Did see some interior walls with brick masonry in classrooms at west end of building. Operable partitions/dividers are not in good condition and potentially not repairable.	46,300	SF	\$	12.00	\$	555,600
Egress Windows	Windows and some exterior doors present in classrooms for emergency egress. Never did test function or locate emergency egress windows during walk-through. Labeling not consistent in all classrooms.					see building shell	\$ -
Casework	upgrade; on site built-in maple casework is hard to repair / match (maintenance issue) - assume remove/replace 30 lineal foot per room	1,350	LF	\$	450.00	\$	607,500
Marker/Chalkboards	upgrade - remove and replace markerboards	45	RMS	\$	3,360.00	\$	151,200
Heating						see item below	\$ -
Air-Conditioning						assume work not required	\$ -
Daylight	minimal in most classrooms.					assume work not required	\$ -
Overall Size	ok - dividing partition walls need to be removed, most out of service and permanently closed OR open currently.					see items below	\$ -
Operable Partitions	Divider walls	335	LF	\$	400.00	\$	134,000
Operable Partitions	Ceiling modifications/patching/painting at operable partitions	335	LF	\$	75.00	\$	25,125
Doors	Doors showing signs of age/use/wear. Ready for replacement - frames to be considered for removal	60	EA	\$	3,500.00	\$	210,000
Lighting	Upgrade - would like to see better performing fixtures installed (less impact for maintenance staff). Additionally adding automated controls should be considered if other updates are being made to BMS controls system.					see item below	\$ -
Lighting	Assume new lighting at new ceilings	46,300	SF	\$	7.00	\$	324,100
Heating	Assume add diffuser with new ceilings	46,300	SF	\$	0.45	\$	22,500
Heating	This building needs a full service commissioning inspection and TAB analysis to analyze overall performance/function/controls of current units.	154,000	SF	\$	0.50	\$	77,200
KIVA Rooms	KIVA rooms (sunken floor with auditorium seating design). Odd floor layouts, divider walls not functional, furniture is mixed with no cohesion or consistency for which chairs and tables are in each classroom					divider walls with above	\$ -
Furniture						owner FF&E budget %	\$ -
Science Rooms						assume work not required	\$ -
Toilet Rooms	Toilet Rooms	2,375	SF			\$	-
Fixtures Operational	Most (NOT ALL) toilet rooms within this school were updated with last bond cycle					see below	\$ -
Toilet Partitions	Most (NOT ALL) toilet rooms within this school were updated with last bond cycle					see below	\$ -
Walls	wall tile and gyp board combination					see below	\$ -
Floors	epoxy poured in place floors with cove base below wall tile installed with new renovations					see below	\$ -
Floor Drains	Not cleaned or serviced with recent renovations - concern for the district.	1	ALLOW	\$	6,000.00	\$	6,000

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Lighting	upgraded in renovated toilet rooms			new lighting with toilets below	\$	-
Hand Dryers				assume work not required	\$	-
Ceilings	gyp board ceiling with fixtures and devices some signs of above ceiling piping or possible roof leaks - assume patch and paint	1,804	SF	\$ 5.00	\$	9,020
Mirrors				see below	\$	-
ADA Accessible	existing bathrooms that have not been updated do not meet current barrier free requirements			see below	\$	-
Adequate Size	Some existing toilet rooms that were not updated (classroom or staff) were smaller and should be considered for expansion or future renovation.	571	SF	\$ 250.00	\$	142,750
Gymnasium	Gymnasium	11,300	SF		\$	-
Flooring	Could be considered for refinish - condition ok currently but aging			assume work not required	\$	-
Lighting	recent upgrade			assume work not required	\$	-
HVAC	A/C does not work well - need commissioning/TAB report completed for further investigation. All schools struggle with humidity and moisture conditions during warmer months.	11,300	SF	\$ 0.53	\$	6,000
Daylight	none present - no exterior windows/translucent panels			assume work not required	\$	-
Gym Equipment	Manually operated hoops only			assume work not required	\$	-
Doors	Ok			assume work not required	\$	-
Size of Corridor	one main court			assume work not required	\$	-
Bleachers	looked newer - recently upgraded to this gym			assume work not required	\$	-
Egress	Ok			assume work not required	\$	-
Locker Rooms	dated / large / some upgrades to fixtures/showers. Noticed ADA issues in some locations	5,480	SF	\$ 35.00	\$	191,800
Locker Rooms	ADA modifications	312	SF	\$ 250.00	\$	78,000
Locker Rooms	New toilet partitions	6	EA	\$ 2,500.00	\$	15,000
Locker Rooms	Clean & paint	5,480	SF	\$ 5.00	\$	27,400
Walls/Ceilings	Windows to be replaced. A/C does not work well. Louvered vents not operable. Roof vents need to be replaced			see items below	\$	-
Air-Conditioning	Air conditioning			not included		
Windows	Remove/replace windows			see building shell		
Air-Conditioning	Roof vents/louvered vents	4	EA	\$ 5,000.00	\$	20,000
General Note	Mezzanine present but not ADA accessible	1	ALLOW	\$ 100,000.00	\$	100,000
Cafeteria	Cafeteria	3,760	SF		\$	-
Flooring	VCT. Signs of slab movement/floor separation/cracking noticed			see items below	\$	-
Flooring	Concrete slab repair allowance	376	SF	\$ 15.00	\$	5,640
Flooring	Remove/replace VCT	3,760	SF	\$ 5.00	\$	18,800
Ceilings/Walls	Exterior facade should be redone - not thermally efficient currently. Hollow-metal frames at interior perimeter - rough shape/rusted. Need to be repaired/painted or replaced. Ceilings need to be updated. Light fixture upgrades with last bond.			see items below	\$	-
Exterior Walls	Remove/replace curtainwall	1,772	SF	\$ 125.00	\$	221,500
Doors	Remove/replace exterior doors	3	EA	\$ 8,000.00	\$	24,000
Exterior Walls	Temporary facade enclosure	1,772	SF	\$ 15.00	\$	26,580
Ceilings/Walls	New ACT and paint walls	1,261	SF	\$ 12.00	\$	15,132
Ceilings/Walls	New Gypboard Bulkheads	3,240	SF	\$ 32.00	\$	103,680
Accessibility	ok - district commented it may be challenging for students to progress through kitchen space servery and then back into cafe.			assume work not required	\$	-
Lighting	Upgrade	3,760	SF	\$ 8.50	\$	31,960
Seating	recently updated - integral tables and benches			assume work not required	\$	-
size	CAFE needs to be expanded - not large enough for occupancy. Tables are packed closely together.			excluded new addition	\$	-
Air-Conditioning				not included	\$	-
Daylight	Cafeteria has large old inefficient window wall (frames and glass). Not thermally efficient. Not a comfortable space to take break and eat.			see item above	\$	-
Overall Size	Too small. Over capacity.			excluded new addition	\$	-
Doors	Remove and replace wood doors, wire glass and hollow-metal frames			see items below	\$	-
Doors	Remove/replace wood doors	2	EA	\$ 3,500.00	\$	7,000
Doors	Remove/replace HM storefront glazing	500	SF	\$ 75.00	\$	37,500
General Note	Old/tired/dated exterior/bulkheads need new paint and repair (perimeter ceiling diffusers)			see new ceiling above	\$	-
Heating	Assume add diffuser with new ceilings	3,760	SF	\$ 1.00	\$	3,760
Offices	Offices	4,000	SF		\$	-
Flooring	replace and upgrade	4,000	SF	\$ 7.23	\$	28,920
Furniture	upgrade - remove and replace.			owner FF&E budget %	\$	-
Ceilings	minimal/poor/ main office visibility has been a concern at multiple schools within the district	4,000	SF	\$ 9.00	\$	36,000
Paging	replace and upgrade	4,000	in elec below		\$	-
Master Clock	replace and upgrade	4,000	in elec below		\$	-
Phone System	replace and upgrade	4,000	in elec below		\$	-
Lighting	upgrade	4,000	SF	\$ 8.00	\$	32,000

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Heating	Assume add diffuser with new ceilings	4,000	SF	\$	0.60	\$	2,400
Copy/Work Room						\$	-
Meeting Rooms						\$	-
Coffee Break Area						\$	-
Bathroom(s)	Assume remove/replace at new toilet room flooring	2	EA	\$	7,500.00	\$	15,000
General Note	Door hardware (knobs) to be replaced, original layout - no upgrades in past	20	EA	\$	1,000.00	\$	20,000
Media Center	Media Center	4,800	SF			\$	-
Size	Seems small for a 5/6 middle school. Space could be renovated and considered for expansion into adjacent classrooms. This building has narrow panelized partition walls (not conventional metal 3 5/8" stud with gyp board).					\$	-
Flooring	carpet - ok condition. Looks like 9x9 floor tiles present near entry/circ desk.	4,800	SF	\$	1.00	\$	4,800
Flooring	Remove/Replace Carpet					\$	-
Flooring	VCT Flooring	200	SF	\$	3.00	\$	600
Lighting	Need upgrades	4,800	SF	\$	11.00	\$	52,800
Office Space	Technology/Server Room present here. Hazardous floor tiles will need to be replaced throughout office and media center.	4,800	SF	\$	1.00	\$	4,800
Flooring	VCT flooring	1,300	SF	\$	3.00	\$	3,900
Ventilation	requesting A/C . Not currently installed.	4,800	sf	\$	48.00	\$	230,400
Doors	consider for replacement	10	EA	\$	3,500.00	\$	35,000
Ceilings	12x12 and 24x48 present. 12x12 lower elevation around perimeter above bookshelves - needs to be replaced. 24x48 in fair condition.					\$	-
Ceilings	ACT 2x2	1,620	SF	\$	9.00	\$	14,580
Ceilings	ACT 2x4	2,880	SF	\$	8.50	\$	24,480
Ceilings	Gypboard Soffit Allowance	300	LF	\$	55.00	\$	16,500
Heating	Assume add diffuser with new ceilings	4,800	SF	\$	0.60	\$	2,880
Seating	Dated, but appears functional					\$	-
Shelving / Casework	Dated, but appears functional					\$	-
Pool	Auxiliary Spaces - Pool	6,900	SF			\$	-
Pool	Pool is out of service - not operational. Structural issue preventing removal of water. Room needs to be renovated and addressed.	6,900	SF	\$	75.00	\$	517,500
Auditorium	Auxiliary Spaces - Auditorium	9,100	SF			\$	-
Auditorium	Auditorium is a nice size room. Hazardous flooring present. Stage floor is in need of replacement. Barrier free access should be improved. Finishes and seating are in good condition but dated. Operable partition to close off seating not used. Acoustics are good. Lighting control system is no longer supported and will be difficult to "band aid" as equipment fails - should be replaced in the next 10 years - recommend ETC. No LED fixtures. Projector due to be replaced. Speakers/audio could be reworked for better coverage.					\$	-
Auditorium	Abatement allowance	9,100	SF	\$	2.00	\$	18,200
Auditorium	ADA Access Improvement allowance	1	ALLOW	\$	75,000.00	\$	75,000
Auditorium	Flooring replacement at ACM tile	3,000	SF	\$	3.00	\$	9,000
Auditorium	Remove/replace wood stage floor	2,100	SF	\$	50.00	\$	105,000
Auditorium	Remove/repalce operable partions					\$	-
Auditorium	Remove/replace wall finishes					\$	-
Auditorium	Remove/replace ceiling					\$	-
Auditorium	Remove/replace flooring					\$	-
Auditorium	Remove/replace seating					\$	-
Auditorium	Remove/replace lighting	9,100	SF	\$	7.50	\$	68,250
Auditorium	Projector and screen	1	LS	\$	13,500.00	\$	13,500
Auditorium	AV/Theatrical lighting upgrades	1	LS	\$	100,000.00	\$	100,000
Montessori Classrooms	Auxiliary Spaces - Montessori Classrooms	4,300	SF			\$	-
Montessori Classrooms	Montessori classrooms on the far east end of the building to be addressed - renovation desired by the district to meet their needs	4,300	SF	\$	75.00	\$	322,500
Montessori Classrooms	Remove/replace finishes					\$	-
Montessori Classrooms	Toilet room ADA modifications	180	SF	\$	250.00	\$	45,000
Montessori Classrooms	ADA Access Improvement allowance	3	LOC	\$	75,000.00	\$	225,000
Kitchen	Kitchen	2,300	SF			\$	-
Program	300 daily student meals served - full service kitchen. Cafeteria is too small, desire to expand. Issues with exterior receiving area - area small and difficult to access, long ramp and no double door access.					\$	-
Equipment	JRA to provide list for selecting new equipment. Space currently has nice equipment worth salvaging. Ovens/passthrough oven/prep tables	1	LS	\$	525,000.00	\$	525,000
Ceilings	ACT. Replace ceiling with cleanable ceiling and upgrade lights	2,300	SF	\$	12.00	\$	27,600
Cooler/Freezer	Cooler located in aux dining room. Mark suggested removing and considering this area a separate receiving area, made accessible by extending current service drive.					\$	-

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Floors	12x12 vct with rubber base - replace all. Drains/sinks/traps/ all need to be cleaned, maintained, serviced			see items below	\$	-
Plumbing Fixtures	Plumbing		1	LS	\$ 3,000.00	\$ 3,000
Flooring	Remove/replace VCT flooring	2,300		SF	\$ 3.50	\$ 8,050
Delivery Space	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection.				excluded new addition	\$ -
Storage Space	Lacking adequate storage space. Storage room too small. Mark Fargo suggested utilizing current outdoor maintenance storage room with garage door for adding new walk-in units. Expand space beyond boiler room for more storage/new receiving and maintenance area.				excluded new addition	\$ -
Kitchen Hood	Hood present above ovens. Small retrofit. Should replace.				with equipment above	\$ -
Make-up Air						\$ -
Serving Line	Need to redesign/reformat. Space closed off from Cafeteria (open up).					\$ -
Electrical	No issues noted - such as too few outlets/location/breaker capacity					\$ -
Lighting	Upgrade light fixtures	2,300		SF	\$ 7.50	\$ 17,250
Heating	Assume add diffuser with new ceilings	2,300		SF	\$ 0.60	\$ 1,380
Heating						\$ -
Secured	Yes					\$ -
Fire Suppression/FA	Not present in kitchen.				assume work not required	\$ -
Athletic Complex		Athletic Complex				\$ -
Concessions					assume work not required	\$ -
Ticket Booth					assume work not required	\$ -
Entrances					assume work not required	\$ -
Mechanical Closets					assume work not required	\$ -
Bathroom(s)					assume work not required	\$ -
Locker Rooms					assume work not required	\$ -
Fields	Issue noted with ADA access/sidewalks from parking lots to fields complex.		1	ALLOW	\$ 30,000.00	\$ 30,000
Fencing					assume work not required	\$ -
scoreboard					assume work not required	\$ -
Bleachers					assume work not required	\$ -
Walls					assume work not required	\$ -
Egress					assume work not required	\$ -
Press Box					assume work not required	\$ -
Roof Access					assume work not required	\$ -
						\$ -
MECHANICAL						\$ -
Heating Source and Condition	Building is served by (2) Cleaver Brooks boilers installed in '06.				assume work not required	\$ -
Heating Pumps and Piping	Pumps were installed in '06. No known issues with piping.				assume work not required	\$ -
Cooling Source and Condition	Building is served by (2) chillers installed in '06.				assume work not required	\$ -
Cooling Pumps and Piping	Pumps were installed in '06. No known issues with piping.				assume work not required	\$ -
Terminal Devices	Classrooms served by dual duct mixing boxes.				assume work not required	\$ -
AHUs and RTUs	(12) dual duct AHUs serve the building.		1	LS	\$ 1,972,000.00	\$ 1,972,000
Ventilation	Exhaust systems original to building. Upgrade/replace.		1	ALLOW	\$ 15,000.00	\$ 14,000
Building Management System/Controls	Building served by Trace Summit. Pneumatics throughout.	154,000		SF	\$ 5.00	\$ 772,000
Domestic Water Piping	Valves outside of group restroom are bad. Some leaks from roof drains. Basement floods from under door. Floor drain in Kitchen doesn't work.		1	ALLOW	\$ 25,000.00	\$ 25,000
Water Heaters	(2) newer units (around 10 years old)					\$ -
Plumbing Fixtures	Group restrooms remodeled in '19 and in good condition. All others are at end of life.				see toilet rooms	\$ -
Fire Protection	Coverage present at auditorium stage/boiler room and receiving dock.	154,000		SF	\$ 3.25	\$ 501,800
Pool equipment	N/A					\$ -
						\$ -
ELECTRICAL						\$ -
Transformer size						\$ -
Primary/Secondary Service						in panels below
Generator	N/A					\$ -
Lighting	Misc. areas unaccounted for	44,165		SF	\$ 7.00	\$ 309,155
Occupancy Sensors	N/A					\$ -
Lighting Control System	Toggle switches. Needs to be replaced.	154,000		SF	\$ 1.50	\$ 231,000
Panels	Panels are original to the building and degraded. Consider replacing.	154,000		SF	\$ 3.25	\$ 500,500
Panel Clearance	Remove storage items.					\$ -
Exit Signs	Exit signs are very old and letters are dim.					in above
Fire alarm		154,000		SF	\$ 0.75	\$ 115,500
Paging		154,000		SF	\$ 0.60	\$ 92,400
Master Clock		154,000		SF	\$ 0.25	\$ 38,500
Phone System		154,000		SF	\$ 2.00	\$ 308,000
Branch		154,000		SF	\$ 2.00	\$ 308,000
						\$ -

07 KINAWA 5-6 SCHOOL

		TECHNOLOGY					
IT Rooms	Most rooms are sharing space with electrical, janitorial equipment, mop sinks and/or storage. Rooms are sprinkled. Need AC installed.				included in "Phone System" above	\$	-
Fiber Optic Cabling (between buildings/IT rooms)	Older singlemode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.				included in "Phone System" above	\$	-
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.				included in "Phone System" above	\$	-
Bells/Paging System	Need to update paging for the district. Paging speakers not loud enough in gyms/large spaces.				included in "Paging" above	\$	-
Clock System	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.				included in "Mater Clock" above	\$	-
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.				assume no work required	\$	-
Large Space Audio/Video Systems	Audio for gym needs upgrade. Auditorium AV needs reworked for better audio coverage and control.		I	EA	\$ 25,000.00	\$	25,000
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)	154,000		SF	\$ 1.00	\$	154,000
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.				assume no work required	\$	-
						\$	-
	Direct Trade	154,000	GSF		\$ 128.80	\$	19,835,773

07 KINAWA 5-6 SCHOOL



Exterior eyebrows above windows



North elevation - cafeteria courtyard



Main Entrance



Main entrance interior vestibule doors



Tennis Courts



Exterior retaining walls - safety



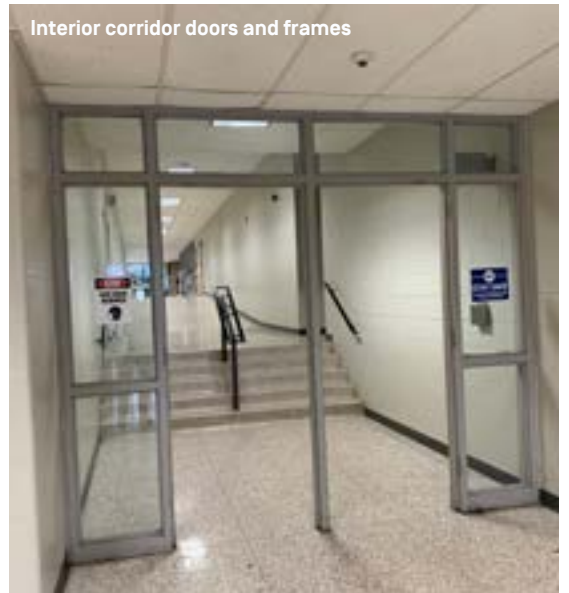
Existing loading dock



07 KINAWA 5-6 SCHOOL



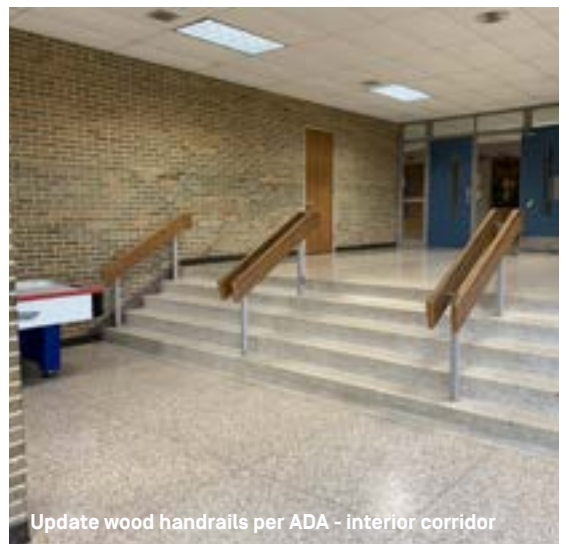
KIVA Room



Interior corridor doors and frames



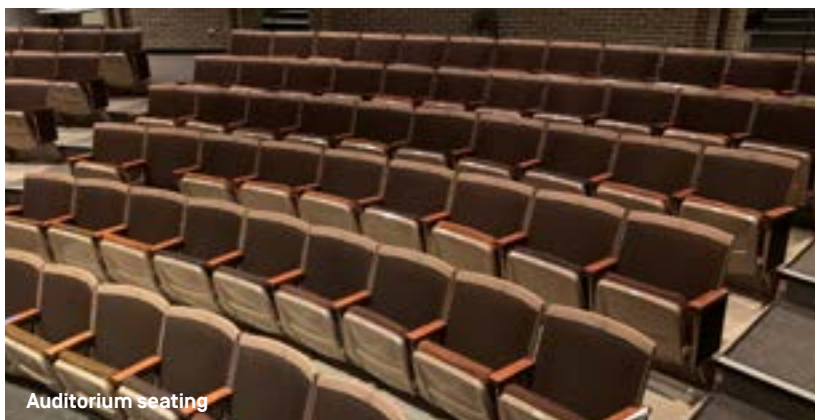
Typical interior corridor doors and frames



Update wood handrails per ADA - interior corridor



Pool - closed

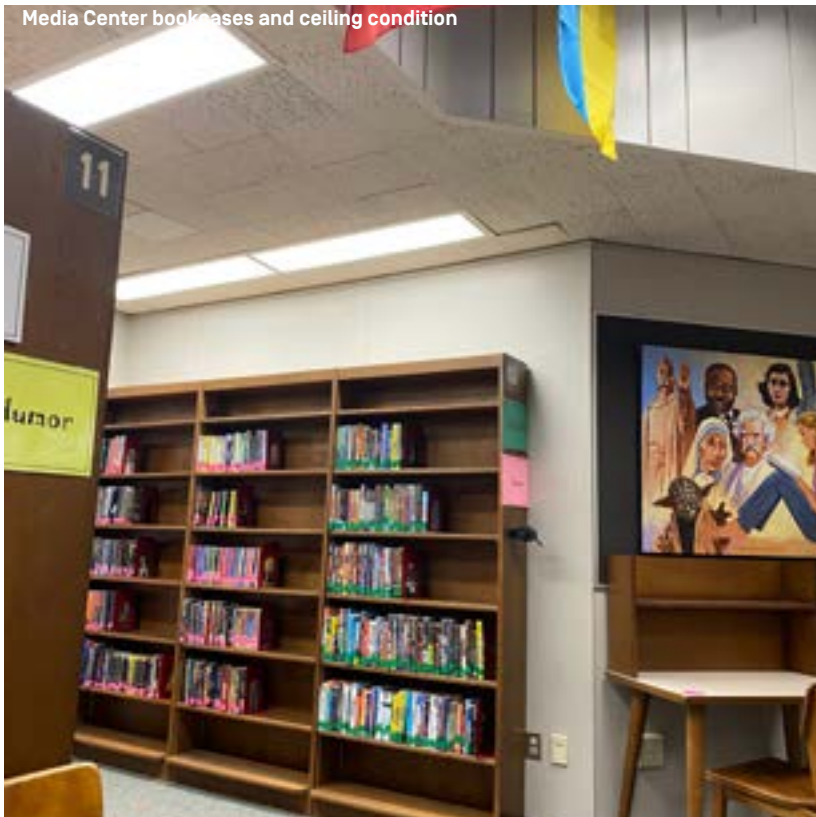


Auditorium seating

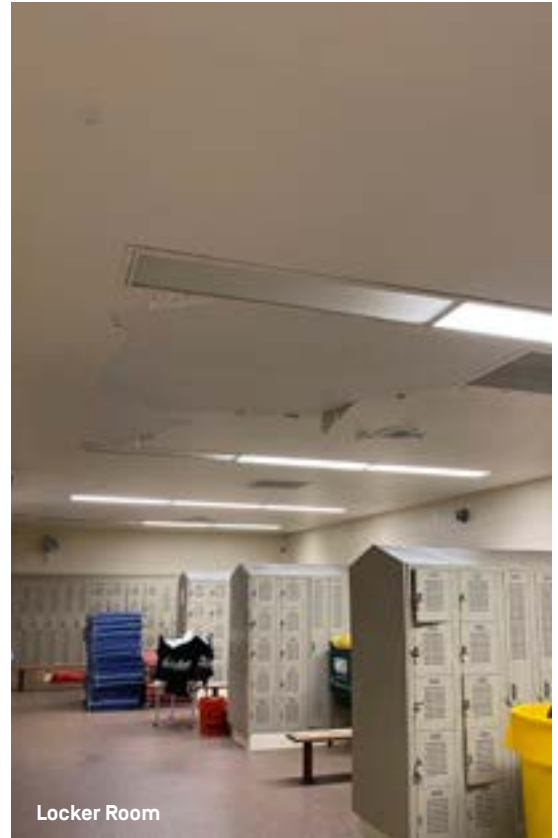


Main entrance reception casework / desks

07 KINAWA 5-6 SCHOOL



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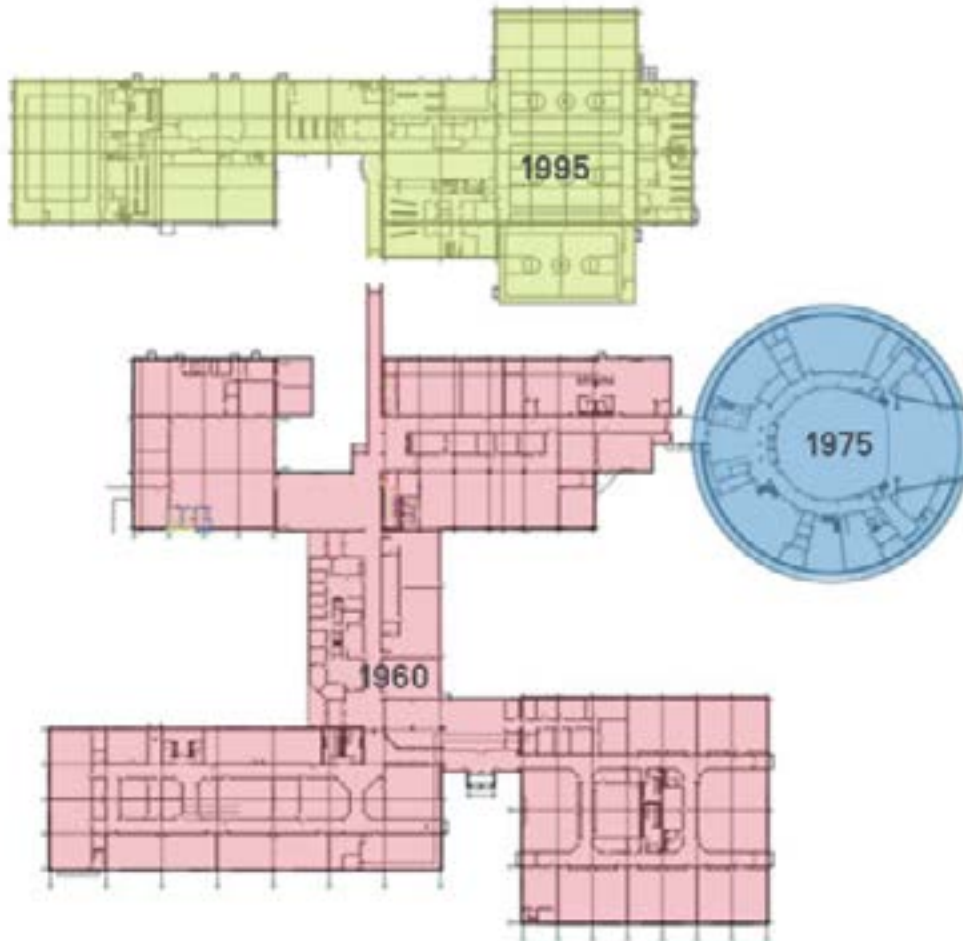


08 CHIPPEWA 7-8 SCHOOL



08 CHIPPEWA 7-8 SCHOOL

Use:	7-8
Built:	1958
Additions + Renovations:	1963 / 1966 / 1977 / 1995
Total Building Area:	196,000 SF
Site Area:	74.5 Acres
Enrollment:	712 students
Square Footage per Student:	275.3 sf/student
Renovation Cost:	\$58,909,697
Current Replacement Value [CRV]:	\$63,700,000
Facility Condition Index [FCI]:	82%



08 CHIPPEWA 7-8 SCHOOL



08 CHIPPEWA 7-8 SCHOOL

OBSERVATION HIGHLIGHTS

SITE

Sidewalks in poor condition throughout. Conflict between loading dock and parent drop-off functions. Structures at athletics facilities are unsafe and need to be demolished. New tennis courts are under construction. Receiving area needs redesign, improved access, and further attention to the area in the same location currently housing the main electrical service for the building.

ARCHITECTURE

Main entrance currently located on the east elevation of the school, directly adjacent to the main parking lot. Long distance from closest parking spaces to main entrance. Could be a hindrance for some visitors. The entrance is marked only by a small directional sign – no canopy to provide definition. The exterior design and materials of the building are not inviting. Secure vestibule present. Interior and exterior locations of hollow-metal frames and glass should be considered for replacement. Non-thermally broken framing and glass present at the main office area and some corridor locations. Consideration for upgrades and replacement are necessary. The team noticed some water infiltration at exterior window sills, and brick efflorescence present on the wall below most exterior windows. Noticed multiple locations where roof gravel stops conditions could be improved or repaired around the perimeter of the building. Further investigation needed to understand if water infiltration and damage present at these locations. In addition to the main classrooms, the school has a media center, gym, kitchen, cafeteria, auditorium and dedicated area for the Community Senior Center. The Senior Center has a dedicated parking lot with entrance off the southeast corner of C-wing just south of the auditorium. Current condition of the auditorium became a point of discussion on our site visit as an area to be further analyzed as a candidate for full removal or high level interior renovation of existing space.

INTERIORS

Classrooms appear to be relatively spacious, but most need new furniture for a flexible 21st century learning environment. The traditional double-loaded corridor design does not lend itself to the creation of learning communities or learning outside of the classroom. Science Labs lack appropriate casework or equipment for curriculum delivery.

The carpet should be considered for replacement throughout. It dates back to the mid-nineties and shows signs of wear and staining. VCT in the heavily trafficked hallway outside of the Media Center should be replaced. Terrazzo floors at the main entry are in good condition.

Most walls are painted CMU and are in good to fair condition. Corridor lockers should be considered for replacement.

Ceilings are in fair to poor condition. The majority of the panels are 24" x 48" are showing signs of age and warping. Wood doors are in fair to poor condition.

Some of the multi-use toilet rooms were recently renovated with troweled epoxy flooring and wall tile floor-to-ceiling and are in good condition. Many still need to be renovated. Interior signage is present, but ADA compliant signs are not available at all doors. This building has supplemental graphic signage to reinforce Okemos' brand and provide some wayfinding. Some of this will need to be replaced as a new mascot is defined.

MECHANICAL

Replace rooftop units [4-7.5-ton, Commons, 5-5-ton, 2-4-ton, 3-ton] and air-handling units [5-8,000 cfm, 16,000 cfm]. All exhaust fans should be replaced and ventilation added to the tunnel system. Replace partial pneumatic controls with new DDC and upgrade existing DDC.

08 CHIPPEWA 7-8 SCHOOL

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical system to be replaced. One of the existing services is outside and has overgrown vegetation in the equipment. The two services should be upgraded and combined into one. All of the existing panelboards are original to the building and degraded. The existing fire alarm system needs to be upgraded to include the entire building.

TECHNOLOGY

The IT rooms are a shared space with janitorial mop sinks & storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is not a good candidate for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating. Some portions of the building (i.e. northern athletic wing) are in better condition and would be advantageous to keep online while other portions of the building (i.e. the eastern fine arts wing) are past their useful life and are not set up well for current instructional methods and should be considered for retirement. The site is large and presents many opportunities for placement of building additions or new structures.

08 CHIPPEWA 7-8 SCHOOL

DATA SHEETS

Facility Assessment

Building Name Chippewa 7-8 School

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	good	fair	poor	
Drainage			x	Having issues with township backups (large stormwater events). Property sees back-ups floods from downstream within the system.
Asphalt Parking/ Drives	x			Main parking lot pavement is in good condition (resurfaced 10 years ago). Some curbs need to be repaired.
Sidewalks			x	Concrete sidewalks at the following locations are in cracked and in poor condition: west of loading dock, south of the gym, at south entrance, and adjacent to bus loop and parent drop-off. Asphalt adjacent to the track is in
Adequate Parking	x			
Bus Loop			x	Pavement at bus loop at south entrance is in poor condition.
Playgrounds				Not present.
Student Drop off Area		x	x	There is a conflict with the shared parent drop-off loop and service/loading access drive.
Landscaping			x	Landscaping at south entrance is in poor condition; recommend the addition of a maintenance strip around the building
Irrigation Systems				N/A except some athletic fields in the district.
Athletic fields		x		New tennis courts are currently under construction. Track is in poor condition. Athletics facilities adjacent to the track are unsafe and need to be replaced.
Fencing			x	The fence at the track is in fair/poor condition.
Service Entrance			x	There is a conflict with the shared parent drop-off loop and service/loading access drive.
Signage			x	Main entrance sign is in poor condition.
Dumpster Location			x	Located behind D wing - areas have electrical distribution (needs to be cleaned up/safety issues). The wood screen fence at the service yard needs to
Traffic Directions		x		
Parking Lot Lighting		x		Concrete poles, fixtures have not yet been replaced with LED.
Barrier Free Access		x		Barrier free parking is located far from entrances. No barrier free access from the school to the track.
Concrete Pads at Exterior Doors			x	landscape is overgrown and pads in poor condition; existing in-ground concrete door stops to be removed

ARCHITECTURAL				comments
	good	fair	poor	
Building Shell				
Roofing			x	District currently working on replacement. Existing membrane dates back to 2001, 2003, and 2010 based on location within building. Combination of rubber membranes manufactured by JP Stevens, Cooley, and Firestone. Many leaks visible in ceiling tiles

08 CHIPPEWA 7-8 SCHOOL

ARCHITECTURAL (CON'T)				comments
	good	fair	poor	
Exterior Windows		x		Some original windows have been replaced with special lite 'orange' storefront frames which are in good condition. Notice areas in wings. Recommend replacing remaining aluminum windows.
Positive Drainage		x		
Defined Entry			x	Main entrance not well defined or visible from the street. Recommend relocating the main entrance and office to the Kinawa Dr. entrance (currently
Accessibility		x		
Fascia/Soffits		x		Need to repair the coping/gravel stop fascia in some areas; soffits to be repainted
Brick / CMU		x		CMU at precast panel replacement locations showing signs of water intrusion - further investigation needed; CMU on south wall (Areas A & B) showing signs of water penetration below the window. Additions in northernmost wing not impressed with quality of exterior wall construction. Brick appears to be in good condition
Concrete Wall Panels			x	wall panels dirty/discolored - recommend cleaning or staining walls as appropriate
Metal Siding		x		Vertical metal siding dented in some locations; service and replace.
Caulk Joints			x	
Water Stains		x		present on exterior window sills, precast, aluminum framing and doors
Exterior Doors			x	original hollow metal or aluminum (not thermal) - need to be replaced, including overhead doors
Building Entrances			x	Hollow metal frames (from 1995 renovation) needs to be removed and replaced; no secure vestibule
Insulation			x	Insulation could be improved. Exterior walls are precast panels & CMU/Storefront (insulated and uninsulated)
Structural			x	Athletics facilities adjacent to the track are unsafe and need to be demolished or replaced.
Tunnels			x	present around this school, need further investigation. (served as high school after moving from Central campus location)

INTERIORS / FINISHES				comments
	good	fair	poor	
Corridors				
Flooring		x		terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C
Ceiling/Walls			x	sagging 2x4 suspended acoustical ceiling tiles - Recommend new 2x2 ceiling grid and tiles, brick walls need to be repainted in Area F
Lockers		x		should be considered for replacement - not uniform type throughout school. Original lockers rusted out at bottoms.
Doors		x		Many doors scratched / chipped. Recommend selective replacement - not uniform type throughout school.
Size of Corridor	x			
Flow of Corridor		x		School has wings with main corridors.
Emergency Egress		x		Have issues with current fire (cross corridor) doors. Need to investigate and address issues in A, B, & C wings or replace.
Locker Rooms			x	Original to this wing/addition/tired/dated/need upgrades
Interior Signage			x	Replace with consistent wayfinding and room signage.
Classrooms				
Flooring		x		Consider replacement with upcoming bond cycle.

08 CHIPPEWA 7-8 SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Ceiling			x	sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid
Egress Windows		x		some classrooms have exterior doors for egress.
Casework		x		Replace casework in the Teachers Lounge and Art Room. Consider selective replacement and repair in other locations. Home Ec casework is dated and should be replaced.
Marker/Chalkboards		x		
Overall Size		x		Big Spaces - Operable partitions need to be replaced.
Doors			x	Many doors scratched / chipped. Recommend selective replacement - not uniform type throughout school. Many doors need barrier free hardware
Classrooms adjacent to Cafeteria			x	Classrooms adjacent to cafeteria (D101, D102, & D103) in poor condition - in disrepair, acoustics poor, panel construction - recommend removal and
Furniture			x	
Science Labs			x	Operable partitions need to be replaced.
Music Rooms			x	Shape of room not conducive to efficient use, mezzanines are not barrier free accessible, overflow instrument storage in corridors (poor condition)
Home Ec			x	Original casework should be replaced, recommend replacement of suspended tectum ceilings, flooring to be replaced
Toilet Rooms				
Fixtures Operational		x		
Toilet Partitions	x			
Walls	x			Wall tile
Floors	x			Epoxy poured in place.
Floor Drains		x		
Lighting		x		
Ceilings	x			Hard drywall lids (peeling paint/stains)
Mirrors		x		
ADA Accessible		x		Some have been updated but some are outdated and in need of ADA compliance.
General Note		x		Some toilet rooms have been remodeled
Gymnasium				
Size	x			This auditorium is an appropriate size for a middle school
Flooring			x	existing wood floors need to be replaced (district already in progress with scheduling this work ahead of bond).
Walls/Ceilings		x		walls & ceilings need to be repainted
Lights		x		Light fixtures replaced as part of LED bulb replacement funds/speakers added.
HVAC			x	Need ventilation; one main gym/one aux gym connected to main gym and old pool turned into new gym.
Daylight			x	no natural light - perimeter windows/translucent panels not present.
Gym Equipment		x		Side hoops not glass, wall pads should be extended beneath the baskets (both gyms)
Doors			x	Hollow metal doors dented and in poor condition - recommend replacement. No barrier free hardware.
Size of Corridor	x			Corridor/Lobby area outside of gym recently renovated
Bleachers		x		need to operate and test function. Appearance looked dated, replacement should be considered. No bleachers present in aux gym (old pool) location.
Egress	x			
Locker Rooms				In good condition, paint touch up needed, original (26 years old)
Weight Room	x			recently renovated
Auxiliary gym (old pool)				All new finishes / sheet good flooring - good condition; consider alternative wall panels for acoustics.
Cafeteria				
Flooring			x	Needs to be replaced - cracking/separation present (district already underway with repairs).

08 CHIPPEWA 7-8 SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	Good	Fair	Poor	
Ceilings/Walls		x		Recommend replacement of the suspended tectum ceiling & grid. Walls need to be painted.
Accessibility		x		This cafeteria has classrooms present within the space, toilet rooms within the space, and interior access to the kitchen.
Lighting		x		upgrade. Retrofit bulb replacements being completed. Fixtures will need to be replaced - not efficient, not high performing.
Seating	x			district purchasing new tables/chairs/seating.
size		x		need more seating to accommodate occupancy.
Daylight			x	Recommend removing classrooms on west side to allow exterior exposure
Doors			x	Exterior doors need to be replaced. Some doors do not have barrier free hardware.
Offices				
Flooring		x		Carpet; consider replacement
Furniture			x	remove and replace.
Ceilings/Walls			x	sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; repaint walls
Doors		x		Wood doors - recommend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement
Paging			x	replace
Master Clock			x	replace
Phone System			x	replace
Lighting			x	replace
Copy/Work Room			x	Flooring, ceiling, and casework to be replaced
Coffee Break Area			x	Combined with workroom
Bathroom(s)			x	Toilet room needs to be updated
Visibility			x	poor visibility to the main entrance
Media Center				
Size				no issues noted.
Flooring		x		Powerbond carpet, mid-nineties
Lighting	x			
Doors		x		
Ceilings	x			Paint/drywall/CMU ceiling pads and grid.
Acoustics				no issues noted
Seating		x		dated tables and chairs. Chairs and tables not appropriately sized for each other.
Shelving		x		dated, but appeared functional.
Kitchen				
Program				300 daily student meals served. Full service kitchen at this school. Issues with exterior receiving area. No dock area. No ability to turnaround full size semi trailer. This location needs redesign/reformat this area for multiple reasons. Building has tunnels and basement below grade.
Equipment		x		JRA to provide list for selecting new equipment. All items need to be considered from replacement. School plumbing is old and new supply lines for domestic/gas/sanitary would be needed.
Ceilings			x	Currently gypsum ceiling below tectum roof deck. Cafeteria ceiling has (2 layers/levels) has upper tectum roof deck and lower tectum panels mounted to bottom of steel flanges. Install new drop ceiling with food service grade ceiling tiles. Need new diffusers and grills
Cooler/Freezer			x	Present - but old and should be replaced.
Floors			x	6x6 tile and rubber base. Drains/sinks/traps/ all need to be cleaned, maintained, serviced.

08 CHIPPEWA 7-8 SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Delivery Space			x	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.
Storage Space			x	Lacking adequate storage space. Storage room too small. Mark Fargo suggested utilizing current outdoor maintenance storage room with garage door for adding new walk-in units. Expand space beyond boiler room for more storage/new receiving and maintenance area.
Kitchen Hood			x	Hood present. Old. Replace.
Serving Line		x		Compact space - not fully functional. (2) lines presently. Reuse service food service casework, possibility.
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity.
Lighting		x		Upgrade light fixtures.
Heating			x	Issues - new units needed per building facilities.
Secured	x			Yes.
Fire Suppression/FA	x			Not present.
Overall		x		Kitchen needs to be fully renovated. Remove all equipment to be salvaged/dispose of items not to be reused. Remove floors/ walls/ceilings and redesign space.
Auditorium				
Size	x			good size for middle school auditorium (old high school auditorium)
Flooring			x	Stage floor in fair condition, carpet to be replaced
Ceilings / walls		x		dated, space needs to be updated
Lighting			x	House lighting is poor, house/stage lighting control system is no longer supported by the manufacturer and will need to be replaced within 10 years - recommend ETC, no aisle lighting, walk-through lights needed (not on stage lighting control)
Acoustics			x	Acoustics are poor - too much reverberation. Reconfiguration of walls/ceilings and the addition of acoustical panels recommended
Egress			x	Instrument storage in corridors causing emergency egress concerns, landing at egress doors by stage is too shallow (per today's code)
Accessibility			x	barrier free seating in auditorium is minimal, no barrier free access to the stage from the auditorium
Aux Rooms			x	practice rooms on mezzanine are not barrier free accessible, band lockers in corridors - fire code violation, poor condition,
Doors			x	Recommend replacement, narrow doors for auditorium access - does not meet barrier free standards (width & hardware).
Seating			x	Original seats do not meet current barrier free requirements; functional but dated
AV / stage lighting systems		x		Appears to be original speakers/lights in place, recommend updates; lighting console are sufficient but dated, no LED stage light fixtures, recommend new projector and screen no direct access to control booth from auditorium
Mechanical		x		Just added new RTUs for this space
Support Spaces			x	Not adequate - room shape inefficient, mezzanine practice rooms impractical, rooms are aged and should be replaced
Senior Center				
Size	x			District maintains this space in conjunction with users. Dedicated entrance and parking on the east side of school
Flooring		x		carpet; should be considered for replacement
Ceilings		x		Suspended tectum ceiling panels.
Lighting	x			Ok

08 CHIPPEWA 7-8 SCHOOL

INTERIORS / FINISHES (CON'T)	Good	Fair	Poor	comments
Doors			x	Not all doors have barrier free hardware, recommend replacement
General Note				located in Unit C - district responsible for repairs / decent shape / dated but functional

MECHANICAL	Good	Fair	Poor	comments
Heating Source and Condition		x		Building is served by two boiler rooms with two 1,000 MBH boilers in each. Boilers replaced in 2010 and 2013.
Heating Pumps and Piping		x		Pumps replaced in 2010 and 2013. No issues with piping. (2) 150 gpm @ 65' HD.
Cooling Source and Condition		x		Parts of the building served by DX cooling (gyms and auditorium are not cooled)
Cooling Pumps and Piping				N/A.
Terminal Devices		x		(36) Horizontal unit vents serve classrooms.
AHUs and RTUs		x		20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU
Ventilation			x	All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF
Building Management System/Controls			x	Older Trane SC with partial pneumatics in the building.
Domestic Water Piping		x		If system sits over the summer rusting occurs. Have some main breaks.
Sanitary Piping		x		Sectioned together in 60's and 70's. Known to have backups from Township - backup in gym (rubber floor), boiler room floods in big rains.
Water Heaters		x		85 gallon, 365 MBH water heater installed in '15, 100 gallon, 200 MBH water heater installed in '08.
Plumbing Fixtures		x		Plumbing fixtures are in decent condition. Some drinking fountains replaced with electric water coolers with bottle fillers.
Fire Protection			x	Area of building adjacent to the Auditorium is sprinkled (1995 renovation). Area B. The rest of the building is non-sprinkled.
Pool equipment				N/A.
Mechanical Tunnels			x	Tunnels may have asbestos - need to inspect/confirm - district needs to provide latest compliance/inspection report. Discussed areaways around perimeter of building/dangerous/closed off/ventilation issues.

ELECTRICAL	Good	Fair	Poor	comments
Transformer size			x	Building is served by two transformers. Need to replace the services and combine into one.
Primary/Secondary Service			x	The primary services are outside and overgrown with weeds. The exterior setup is extremely dangerous. Need to replace and bring indoors.
Generator				N/A
Occupancy Sensors				N/A
Lighting Control System			x	Toggle switches. Needs to be replaced.
Panels			x	All of the panels are original to the building and degraded. Most of them should be replaced. It will likely be difficult to find breakers for them.
Panel Clearance			x	
Exit Signs			x	Exit signs are very old and letters are dim.

08 CHIPPEWA 7-8 SCHOOL

ELECTRICAL (CON'T)	good fair poor			comments
	good	fair	poor	
Fire Alarm		x		Siemens (strobe & horn). Not complete in fine arts

TECHNOLOGY	good fair poor			comments
	good	fair	poor	
IT Rooms			x	Rooms are sharing space with electrical, janitorial equipment, mop sinks and/or storage. Rooms are sprinkled. Need AC installed.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district. Paging speakers not loud enough in gyms/large spaces.
Clock System			x	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Audio for gyms needs upgrade. One gym has no audio system. Auditorium needs new AV and lighting systems and acoustic treatment.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

08 CHIPPEWA 7-8 SCHOOL

BUDGET DETAIL

Facility Assessment
Cost Detail by Building

2/18/2022

ITEM #: 1		Acres: 78			
Chippewa Middle School - Sitework		Middle School			
Description	Quantity	UOM	Unit Cost	Total Cost	
Sitework	SITWORK				
Drainage		I ALLOW	\$ 150,000.00	\$ 150,000	
Asphalt Parking/ Drives			see item below	\$ -	
Asphalt Parking/ Drives			assume work not required	\$ -	
Concrete Curbs	1,000	LF	\$ 35.00	\$ 35,000	
Sidewalks			see items below	\$ -	
Asphalt Parking/ Drives		I ALLOW	\$ 25,000.00	\$ 25,000	
Sidewalks	15,000	SF	\$ 11.50	\$ 172,500	
Sidewalks	45,000	SF	\$ 4.00	\$ 180,000	
Adequate Parking			assume work not required	\$ -	
Bus Loop			see items below	\$ -	
Bus Loop	16,200	SF	\$ 6.39	\$ 103,500	
Bus Loop	3,000	SF	\$ 11.50	\$ 34,500	
Bus Loop	16,200	SF	\$ 0.14	\$ 2,260	
Bus Loop	1,100	LF	\$ 30.00	\$ 33,000	
Bus Loop	8	EA	\$ 800.00	\$ 6,400	
Bus Loop	1	LS	\$ 5,000.00	\$ 5,000	
Playgrounds			assume work not required	\$ -	
Student Drop off Area		I ALLOW	\$ 300,000.00	\$ 300,000	
Landscaping		I LS	\$ 35,000.00	\$ 35,000	
Irrigation Systems			assume work not required	\$ -	
Athletic fields			no work at tennis court	\$ -	
Athletic fields		I ls	\$ 15,000.00	\$ 15,000	
Athletic fields		I ls	\$ 150,000.00	\$ 150,000	
Athletic fields	600	SF	\$ 400.00	\$ 240,000	
Athletic fields			see item above	\$ -	
Fencing	2,000	LF	\$ 35.00	\$ 70,000	
Service Entrance			same drop-off item above	\$ -	
Signage		I ls	\$ 35,000.00	\$ 35,000	
Dumpster Location		I LS	\$ 15,000.00	\$ 15,000	
Dumpster Location			see building new electrical	\$ -	
Dumpster Location	100	lf	\$ 200.00	\$ 20,000	
Traffic Directions			assume work not required	\$ -	
Parking Lot Lighting			assume by owner	\$ -	
Retaining Walls			assume work not required	\$ -	
Barrier Free Access		I ls	\$ 50,000.00	\$ 50,000	
				\$ -	
Direct Trade	78 acres		\$ 21,502.05	\$ 1,677,160	

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ITEM #: 2		Gross Area: 196,000				
712 students		Chippewa Middle School - Building Improvements			Middle School	
Description	Quantity	UOM	Unit Cost	Total Cost		
BUILDING SHELL						
Roofing	District currently working on replacement. Existing membrane dates back to 2001, 2003, and 2010 based on location within building. Combination of rubber membranes manufactured by JP Stevens, Cooley, and Firestone. Many leaks visible in ceiling tiles	196,000	SF	\$ 28.00	\$ 5,488,000	
Exterior Windows	Some original windows have been replaced with special lite 'orange' storefront frames which are in good condition. Notice areas in wings. Recommend replacing remaining aluminum windows.	28,117	SF	\$ 95.00	\$ 2,671,115	
Positive Drainage				assume work not required	\$ -	
Defined Entry	Main entrance not well defined or visible from the street. Recommend relocating the main entrance and office to the Kinawa Dr. entrance (currently bus entrance)			see item below	\$ -	
Defined Entry	Move front office from west elevation to south elevation			consider as an improvement	\$ -	
Defined Entry	Add new canopy at south main entrance			consider as an improvement	\$ -	
Accessibility				assume work not required	\$ -	
Fascia/Soffits	Need to repair the coping/gravel stop fascia in some areas; soffits to be repainted - assume remove/replace coping/blocking, paint soffit	5,110	LF	\$ 65.00	\$ 332,150	
Brick / CMU	CMU at precast panel replacement locations showing signs of water intrusion - further investigation needed; CMU on south wall (Areas A & B) showing signs of water penetration below the window. Additions in northernmost wing not impressed with quality of exterior wall construction. Brick appears to be in good condition - assume patch and repair		I	ALLOW	\$ 200,000.00	\$ 200,000
Concrete Wall Panels	Wall panels dirty/discolored - recommend cleaning or staining walls as appropriate	78,320	SF	\$ 2.00	\$ 156,640	
Metal Siding	Vertical metal siding dented in some locations;		I	ALLOW	\$ 35,000.00	\$ 35,000
Caulk Joints	service and replace.	78,320	SF	\$ 0.75	\$ 58,740	
Water Stains	present on exterior window sills, precast, aluminum framing and doors	78,320	SF	\$ 0.20	\$ 15,664	
Exterior Doors	Original hollow metal or aluminum (not thermal) - need to be replaced, including overhead doors	44	EA	\$ 8,000.00	\$ 352,000	
Exterior Doors	Aluminum doors at classrooms	20		\$ 8,000.00	\$ 160,000	
Exterior Doors	FRP doors at main entry vestibules - exterior	28		\$ 8,000.00	\$ 224,000	
Exterior Doors	FRP doors at main entry vestibules - interior	26		\$ 8,000.00	\$ 208,000	
Building Entrances	Hollow metal frames (from 1995 renovation) needs to be removed and replaced; no secure vestibule			see item below	\$ -	
Building Entrances	HM sidelites/transoms	960	SF	\$ 75.00	\$ 72,000	
Exterior Lighting	exterior building-mounted lighting allowance		I	LS	\$ 20,000.00	\$ 20,000
Insulation	Insulation could be improved. Exterior walls are precast panels & CMU/Storefront (insulated and uninsulated)	50,000	SF	\$ 15.25	\$ 762,500	
Structural	Athletics facilities adjacent to the track are unsafe and need to be demolished or replaced.			moved to site athletic fields	\$ -	
Structural	Remove/replace concession stand			moved to site athletic fields	\$ -	
Structural	Remove/replace press box			assume same as item in sitework	\$ -	
Tunnels	present around this school, need further investigation. (served as high school after moving from Central campus location)		I	ALLOW	\$ 100,000.00	\$ 100,000
					\$ -	
					\$ -	
INTERIORS						
Walls	Paint/refresh entire building	196,000	SF	\$ 1.50	\$ 294,000	
Corridors	Corridors	30,095	SF		\$ -	
Lighting	Assume lights new with ceiling replacement	30,095	SF	\$ 7.50	\$ 225,713	
Mechanical Diffusers	Assume grilles/diffusers new with ceilings	30,095	SF	\$ 0.45	\$ 13,543	
Flooring	Terrazzo flooring in areas - in good shape - remove adhered brick base on CMU walls - owner request. Carpeted areas in need of replacement. There is a large floor crack between Area F and Area C			see items below	\$ -	
Flooring	Remove brick base	5,000	LF	\$ 10.00	\$ 50,000	
Flooring	Terrazzo floor patching allowance		I	ALLOW	\$ 5,000.00	\$ 5,000
Flooring	Remove/replace carpet - assume 50% area	15,048	SF	\$ 7.06	\$ 106,168	
Ceilings/Walls	Sagging 2x4 suspended acoustical ceiling tiles - Recommend new 2x2 ceiling grid and tiles, brick walls need to be repainted in Area F	30,095	SF	\$ 12.00	\$ 361,140	
Lockers	should be considered for replacement - not uniform type throughout school. Original lockers rusted out at bottoms.	800	EA	\$ 300.00	\$ 240,000	
Doors	should be considered for replacement - not uniform type throughout school.	112	EA	\$ 3,500.00	\$ 392,000	

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Size of Corridor			assume work not required	\$	-
Flow of Corridor	School has wings with main corridors.		assume work not required	\$	-
Emergency Egress	Have issues with current fire doors. Need to investigate and address issues in A, B, & C wings.		see item above	\$	-
Locker Rooms	Original to this wing/addition/tired/dated/need upgrades - finishes only	3,300	SF	\$ 25.00	\$ 82,500
Interior Signage	Signage for entire school	196,000	SF	\$ 0.55	\$ 107,800
Classrooms	Classrooms	49,800	SF		\$ -
Flooring	Consider replacement with upcoming bond cycle.	49,800	SF	\$ 7.06	\$ 351,588
Ceilings	sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid	49,800	SF	\$ 9.50	\$ 473,100
Egress Windows	did not inspect or test - some classrooms have exterior doors for egress.		assume work not required	\$	-
Casework	Replace casework in the Teachers Lounge and Art Room. Consider selective replacement and repair in other locations. Home Ec casework is dated and should be replaced.		see items below	\$	-
Casework	Millwork (Teachers Lounge & Art Room)	150	LF	\$ 450.00	\$ 67,500
Casework	Premium for tall storage cabinets	30	LF	\$ 450.00	\$ 13,500
Plumbing Fixtures	Countertop Mounted Sinks	3	EA	\$ 5,000.00	\$ 15,000
Casework	Millwork - other classrooms	960	LF	\$ 450.00	\$ 432,000
Casework	Premium for tall storage cabinets at other classrooms	384	LF	\$ 450.00	\$ 172,800
Casework	Millwork - science classrooms		not included	\$	-
Marker/Chalkboards			assume work not required	\$	-
Heating			see item below	\$	-
Air-Conditioning			assume work not required	\$	-
Daylight			assume work not required	\$	-
Overall Size	Big Spaces - Operable partitions need to be replaced.	322	LF	\$ 440.00	\$ 141,680
Overall Size	Ceiling modifications/patching/painting at operable partitions	322	LF	\$ 75.00	\$ 24,150
Doors	Many doors scratched / chipped. Recommend selective replacement - not uniform type throughout school. Many doors need barrier free hardware replacement	145	EA	\$ 3,500.00	\$ 507,500
Lighting	Assume new lighting at new ceilings	49,800	SF	\$ 7.00	\$ 348,600
Heating	Assume add diffuser with new ceilings	49,800	SF	\$ 0.45	\$ 22,500
Classrooms adjacent to Cafeteria	Classrooms adjacent to cafeteria (D101, D102, & D103) in poor condition - in disrepair, acoustics poor, panel construction - recommend removal and relocation - renovate classrooms back to cafeteria SF	2,080	SF	\$ 75.00	\$ 156,000
Classrooms adjacent to Cafeteria	Relocate/renovate classrooms in different location	2,080	SF	\$ 125.00	\$ 260,000
General Note 2			assume work not required	\$	-
Furniture			owner FF&E budget %	\$	-
Science Labs	Operable partitions need to be replaced.	160	LF	\$ 440.00	\$ 70,400
Science Labs	Ceiling modifications/patching/painting at operable partitions	160	LF	\$ 75.00	\$ 12,000
Music Rooms	Shape of room not conducive to efficient use, mezzanines are not barrier free accessible, overflow instrument storage in corridors (poor condition)	4	EA	\$ 15,000.00	\$ 60,000
Home Ec	Original casework should be replaced, recommend replacement of suspended tectum ceilings, flooring to be replaced		see items below	\$	-
Casework	Millwork - Home-EC classroom	180	LF	\$ 450.00	\$ 81,000
Casework	Premium for tall storage cabinets at Home-EC	40	LF	\$ 450.00	\$ 18,000
Plumbing Fixtures	Countertop Mounted Sinks - Home-Ec	12	EA	\$ 5,000.00	\$ 60,000
Toilet Rooms	Toilet Rooms	3,260	SF		\$ -
Fixtures Operational			assume work not required	\$	-
Toilet Partitions			assume work not required	\$	-
Walls	Wall tile		assume work not required	\$	-
Floors	Epoxy poured in place.		assume work not required	\$	-
Floor Drains			included with ADA accessible	\$	-
Lighting			included with ADA accessible	\$	-
Hand Dryers			assume work not required	\$	-
Ceilings	Hard drywall lids (peeling paint/stains) - paint ceiling only	1,130	SF	\$ 2.00	\$ 2,260
Mirrors			assume work not required	\$	-
ADA Accessible	Some have been updated but some are outdated and in need of ADA compliance.	3,260	SF	\$ 275.00	\$ 896,500
General Note	Some toilet rooms have been remodeled		assume work not required	\$	-
Gymnasium	Gymnasium	27,660	SF		\$ -
Size			assume work not required	\$	-
Flooring	existing wood floors need to be replaced (district already in progress with scheduling this work ahead of bond).		work by owner	\$	-
Walls/Ceilings	walls & ceilings need to be repainted	27,600	SF	\$ 4.00	\$ 110,400
Lighting	Light fixtures replaced as part of LED bulb replacement funds/speakers added.		not included	\$	-
HVAC	Need ventilation; one main gym/one aux gym connected to main gym and old pool turned into new gym.	27,660	SF	\$ 2.00	\$ 60,000
Daylight	perimeter windows/translucent panels not present.		assume work not required	\$	-

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Gym Equipment	Side hoops not glass, wall pads should be extended beneath the baskets (both gyms)		SF		\$	-
Gym Equipment	Wall pads	720	SF	\$	9.00	\$ 6,480
Gym Equipment	Basketball backstops	2	EA	\$	7,500.00	\$ 15,000
Doors	Hollow metal doors dented and in poor condition - recommend replacement. No barrier free hardware.	14	EA	\$	3,500.00	\$ 49,000
Size of Corridor	Corridor/Lobby area outside of gym recently renovated				assume work not required	\$ -
Bleachers	need to operate and test function. Appearance looked dated, replacement should be considered. No bleachers present in aux gym (old pool) location.	1,500	SEATS	\$	200.00	\$ 300,000
Egress					assume work not required	\$ -
Locker Rooms	Locker Rooms	15,500	SF			
Locker Rooms	In good condition, paint touch up needed, original (26 years old)	15,500	SF	\$	5.00	\$ 77,500
Weight Room	recently renovated					
Walls/Ceilings					with item above	\$ -
General Note	Original auxiliary gym location - filled in pool / all new finishes / sheet good flooring not wood / odd wall panels used for sound absorbing materials.				assume work not required	\$ -
Cafeteria	Cafeteria	6,200	SF			\$ -
Flooring	Needs to be replaced - cracking/separation present (district already underway with repairs).				work by owner	\$ -
Ceilings/Walls	Recommend replacement of the suspended tectum ceiling & grid. Walls need to be painted.				see items below	\$ -
Ceilings/Walls	Remove & replace tectum panels - cafeteria	6,200	SF	\$	22.00	\$ 136,400
Ceilings/Walls	Remove & replace tectum panels underside metal deck - cafeteria				excluded	\$ -
Ceilings/Walls	New ACT - cafeteria	6,200	SF	\$	9.50	\$ 58,900
Ceilings/Walls	Paint walls - cafeteria	6,200	SF	\$	2.00	\$ 12,400
HVAC	Remove/reinstall ductwork (to access tectum underside metal deck) - New diffusers	6,200	SF	\$	5.65	\$ 35,000
Accessibility	This cafeteria has classrooms present within the space, toilet rooms within the space, and interior access to the kitchen.				assume work not required	\$ -
Lighting	upgrade. Retrofit bulb replacements being completed. Fixtures will need to be replaced - not efficient, not high performing.	6,200	SF	\$	8.50	\$ 52,700
Seating	district purchasing new tables/chairs/seating.				assume work not required	\$ -
size	need more seating to accommodate occupancy.				assume work not required	\$ -
Air-Conditioning					assume work not required	\$ -
Daylight	Recommend removing classrooms on west side to allow exterior exposure				assume work not required	\$ -
Doors	Exterior doors need to be replaced. Some doors do not have barrier free hardware.				see building shell	\$ -
General Note					not applicable	\$ -
Offices	Offices	4,000	SF			\$ -
Flooring	Carpet; consider replacement	4,000	SF	\$	7.06	\$ 28,240
Furniture	remove and replace.				owner FF&E budget %	\$ -
Ceilings/Walls	sagging 2x4 suspended acoustical ceiling tiles - replace ceiling tiles, consider new 2x2 ceiling grid; exterior CMU/window.	4,000	SF	\$	9.50	\$ 38,000
Doors	Wood doors - recomend selective replacement, recommend replacing hardware with barrier free hardware; storefront entrance dated - recommend repainting or replacement	16	EA	\$	3,500.00	\$ 56,000
Paging	replace				see electrical	\$ -
Master Clock	replace				see electrical	\$ -
Phone System	replace				see electrical	\$ -
Lighting		4,000	SF	\$	8.00	\$ 32,000
Copy/Work Room					with item above	\$ -
Meeting Rooms					with item above	\$ -
Coffee Break Area					with item above	\$ -
Bathroom(s)	Toilet room needs to be updated	205	SF	\$	250.00	\$ 51,250
Visibility	poor visibility to the main entrance				with item above	\$ -
Media Center	Media Center	3,600	SF			\$ -
Size	no issues noted.				assume work not required	\$ -
Flooring	Powerbond carpet, mid-nineties	3,600	SF	\$	7.06	\$ 25,400
Lighting					assume work not required	\$ -
Office Space					assume work not required	\$ -
Ventilation					assume work not required	\$ -
Doors					assume work not required	\$ -
Ceilings/Walls	Paint/drywall/CMU ceiling pads and grid.	3,600	SF	\$	9.50	\$ 34,200
Acoustics	no issues noted				assume work not required	\$ -
Seating	dated tables and chairs. Chairs and tables not appropriately sized for each other.				owner FF&E budget %	\$ -
Shelving	dated, but appeared functional.				not included	\$ -
General Note	held pre-brief here (functional but could use updates/remove)				not included	\$ -

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Kitchen	Kitchen	5,300	SF		\$ -
Program	300 daily student meals served. Full service kitchen at this school. Issues with exterior receiving area. No dock area. No ability to turnaround full size semi trailer. This location needs redesign/reformat this area for multiple reasons. Building has tunnels and basement below grade.			see delivery area below	\$ -
Equipment	JRA to provide list for selecting new equipment. All items need to be considered from replacement. School plumbing is old and new supply lines for domestic/gas/sanitary would be needed.	1	LS	\$ 525,000.00	\$ 525,000
Ceilings	Currently gypsum ceiling below tectum roof deck. Cafeteria ceiling has (2 layers/levels) has upper tectum roof deck and lower tectum panels mounted to bottom of steel flanges. Install new drop ceiling with food service grade ceiling tiles. Need new diffusers and grills			see kitchen renovation below	\$ -
Ceilings	Remove & replace tectum panels - kitchen			see kitchen renovation below	\$ -
Ceilings	New ACT - kitchen			see kitchen renovation below	\$ -
HVAC	Remove/reinstall ductwork (to access tectum underside metal deck) - New diffusers			see kitchen renovation below	\$ -
Lighting	Remove & replace/install new lighting at new ACT/tectum removal			see kitchen renovation below	\$ -
Cooler/Freezer	Present - but old and should be replaced.			inc. w/equipment above	\$ -
Floors	6x6 tile and rubber base. Drains/sinks/traps/ all need to be cleaned, maintained, serviced.			see kitchen renovation below	\$ -
Floors	Remove & replace quarry tile flooring - kitchen			see kitchen renovation below	\$ -
Delivery Space	Receiving area attached to new west elevation bus loop service drive. No receiving dock. Need to add large entry for delivery/receiving/unloading. No covered protection currently.			exclude new addition	\$ -
Delivery Space	Sitework for new receiving area			exclude new addition	\$ -
Storage Space	Lacking adequate storage space. Storage room too small. Mark Fargo suggested utilizing current outdoor maintenance storage room with garage door for adding new walk-in units. Expand space beyond boiler room for more storage/new receiving and maintenance area.			exclude new addition	\$ -
Kitchen Hood	Hood present. Old. Replace.			inc. w/equipment above	\$ -
Make-up Air	Mark (building facilities director) mentioned to us that new units needed to provide heating/cooling to Kitchen and Cafeteria. Currently operating with limited heat capacity and lack of fresh air turnover.			see kitchen renovation below	\$ -
Serving Line	Compact space - not fully functional. (2) lines presently. Reuse service food service casework, possibility.			see kitchen renovation below	\$ -
Electrical	No issues noted - such as too few outlets/location/breaker capacity.			assume work not required	\$ -
Lighting	Upgrade light fixtures.			see kitchen renovation below	\$ -
Heating	Issues - new units needed per building facilities. Makeup air Unit?			included in other item	\$ -
Secured	Yes.			assume work not required	\$ -
Fire Suppression/FA	Not present.				\$ -
Overall	Kitchen needs to be fully renovated. Remove all equipment to be salvaged/dispose of items not to be reused. Remove floors/ walls/ceilings and redesign space.	5,300	SF	\$ 250.00	\$ 1,325,000
Auditorium	Auditorium (Includes Classrooms, Corridors & Mezzanine)	32,300	SF		\$ -
Size	good size for middle school auditorium (old high school auditorium)			see items below	\$ -
Flooring	Stage floor in fair condition, carpet to be replaced			see items below	\$ -
Flooring	Auditorium - assume carpet	5,650	SF	\$ 7.06	\$ 39,864
Flooring	Stage - wood flooring	4,000	SF	\$ 42.00	\$ 168,000
Flooring	Corridors & classrooms - assume carpet	17,650	SF	\$ 6.50	\$ 114,725
Flooring	Mezzanine - sealed concrete/waterproofing?	5,000	SF	\$ 2.50	\$ 12,500
Ceilings/Walls	dated, space needs to be updated			see items below	\$ -
Ceilings	Auditorium ceiling includes scaffolding	5,650	SF	\$ 70.00	\$ 395,500
Ceilings	Stage - clean & paint includes lifts	4,000	SF	\$ 12.50	\$ 50,000
Ceilings	Corridors & classrooms - assume ACT	17,650	SF	\$ 9.00	\$ 158,850
Ceilings	Mezzanine - exposed	5,000	SF	\$ 2.50	\$ 12,500
Walls	Auditorium - acoustical panel allowance	9,120	SF	\$ 40.00	\$ 364,800
Walls	Adjacent spaces	17,650	SF	\$ 2.00	\$ 35,300
Lighting	House lighting is poor, house/stage lighting control system is no longer supported by the manufacturer and will need to be replaced within 10 years - recommend ETC, no aisle lighting, walk-through lights needed (not on stage lighting control)	32,300	SF	\$ 7.50	\$ 242,250
Acoustics	Acoustics are poor - too much reverberation. Reconfiguration of walls/ceilings and the addition of acoustical panels recommended			see item above	
Heating	Assume add diffuser with new ceilings	32,300	SF	\$ 0.45	\$ 14,593

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Egress	Instrument storage in corridors causing emergency egress concerns, landing at egress doors by stage is too shallow (per today's code)	I	ALLOW	\$	10,000.00	\$	10,000
Accessibility	barrier free seating in auditorium is minimal, no barrier free access to the stage from the auditorium	I	ALLOW	\$	50,000.00	\$	50,000
Aux Rooms	practice rooms on mezzanine are not barrier free accessible, band lockers in corridors - fire code violation, poor condition.		see items below			\$	-
Aux Rooms	ADA lifts	4	EA	\$	50,000.00	\$	200,000
Aux Rooms	Enclose mezzanines/lift shaft	5,000	SF	\$	25.00	\$	125,000
Doors	Recommend replacement, narrow doors for auditorium access - does not meet barrier free standards (width & hardware).	74	EA	\$	3,500.00	\$	259,000
Doors	Remove/repalce auditorium doors	6	EA	\$	8,000.00	\$	48,000
Seating	Original seats do not meet current barrier free requirements; functional but dated	600	EA	\$	450.00	\$	270,000
AV / stage lighting systems	Appears to be original speakers/lights in place, recommend updates; lighting console are sufficient but dated, no LED stage light fixtures, recommend new projector and screen no direct access to control booth from auditorium	I	LS	\$	100,000.00	\$	100,000
AV / stage lighting systems	New projector and screen	I	LS	\$	13,500.00	\$	13,500
Accessibility	Add access from auditorium to control room	I	LS	\$	150,000.00	\$	150,000
Mechanical	Just added new RTUs for this space		assume work not required				
Support Spaces	Discuss current auditorium/music/performing arts needs at this middle school and consider alternatives.						
Senior Center		10,700	SF			\$	-
Size	District maintains this space in conjunction with users. Dedicated entrance and parking on the east side of school		assume work not required			\$	-
Flooring	carpet; should be considered for replacement	10,700	SF	\$	7.06	\$	75,542
Ceilings	Suspended tectum ceiling panels.		assume work not required			\$	-
Lighting	Ok		assume work not required			\$	-
Ventilation			assume work not required			\$	-
Doors	Not all doors have barrier free hardware, recommend replacement	23	EA	\$	1,000.00	\$	23,000
General Note	located in Unit C - district responsible for repairs / decent shape / dated but functional		assume work not required			\$	-
						\$	-
MECHANICAL		196,000	SF				
Heating Source and Condition	Building is served by two boiler rooms with two boilers in each. Boilers replaced in 2010 and 2013.		assume work not required				
Heating Pumps and Piping	Pumps replaced in 2010 and 2013. No issues with piping.		assume work not required			\$	-
Cooling Source and Condition	Parts of the building served by DX cooling (gyms and auditorium are not cooled)		assume work not required			\$	-
Cooling Pumps and Piping	N/A.		assume work not required			\$	-
Terminal Devices	Horizontal unit vents serve 36 classrooms.		assume work not required			\$	-
AHUs and RTUs	20 ton RTU serves Cafeteria ('15), Classroom (2) 13,000 cfm AHU's ('19), Media Center 7.5 ton RTU ('19), Bus Ext. 10,000 cfm AHU ('19), Locker Room (2) 5,000 cfm AHU's ('15), G wing 10,000 cfm AHU ('19), and old pool 12,000 cfm RTU ('15) all in good condition. (4) Gym 8,000 cfm AHU's, Main Office 7.5 ton RTU, Commons RTU, Stage 8,000 cfm AHU, and Auditorium 16,000 cfm AHU are all at their end of life. (5) 5 ton RTU, (2) 4 ton RTU, (3) 7.5 ton RTU, (1) 3 ton RTU	I	LS	\$	825,000.00	\$	825,000
Ventilation	All exhaust is original and at end of life. No ventilation in tunnels. (6) 200 cfm EF's, (5) 600 cfm EF's, (2) 300 cfm EF's, (2) 1,200 cfm EF's, (5) 400 cfm EF's, (2) 2,000 cfm EF's, (1) 2,500 cfm EF, and (1) 1,800 cfm EF	196,000	SF	\$	0.15	\$	28,500
Building Management System/Controls	Older Trane SC with partial pneumatics in the building.	196,000	SF	\$	5.00	\$	980,000
Domestic Water Piping	If system sits over the summer rusting occurs. Have some main breaks.		assume work not required			\$	-
Sanitary Piping	Sectioned together in 60's and 70's. Known to have backups from Township - backup in gym (rubber floor), boiler room floods in big rains.					\$	-
Water Heaters	85 gal, 365 MBH WH installed in '15, 100gal, 200MBH installed in '08					\$	-
Plumbing Fixtures	Plumbing fixtures are in decent condition. Some drinking fountains replaced with electric water coolers with bottle fillers.					\$	-
Fire Protection	Area of building adjacent to the Auditorium is sprinkled (1995 renovation). The rest of the building is non-sprinkled.		assume work not required			\$	-
Pool equipment	N/A.		not applicable			\$	-
Mechanical Tunnels	Tunnels may have asbestos - need to inspect/confirm - district needs to provide latest compliance/inspection report. Discussed areaways around perimeter of building/dangerous/closed off/ventilation issues.	I	ALLOW	\$	100,000.00	\$	100,000
						\$	-
ELECTRICAL		196,000	SF				
Transformer size	Building is served by two transformers. Need to replace the services and combine into one.	196,000	SF	\$	6.50	\$	1,274,000

08 CHIPPEWA 7-8 SCHOOL



Mech Room



Exterior window wall conditions



Mech Room



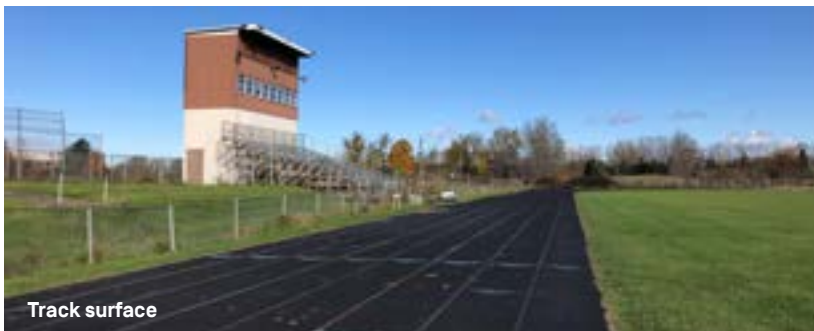
School Entrance Signage



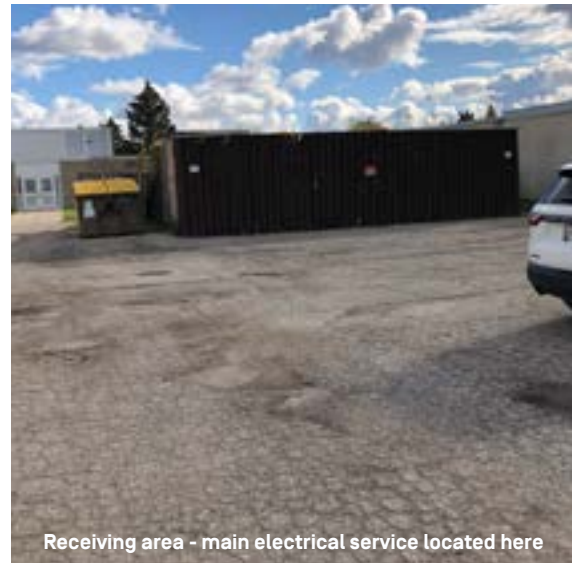
Exterior courtyard space



South entrance - not main entrance location



Track surface

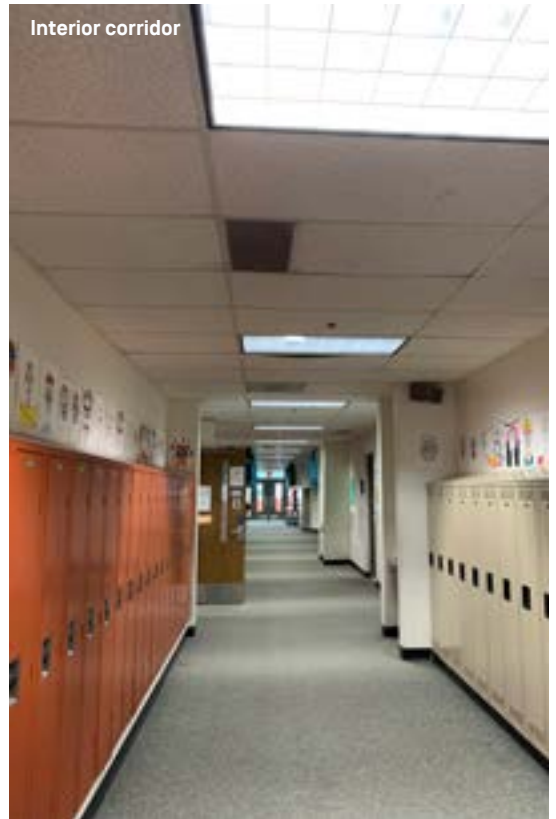


Receiving area - main electrical service located here

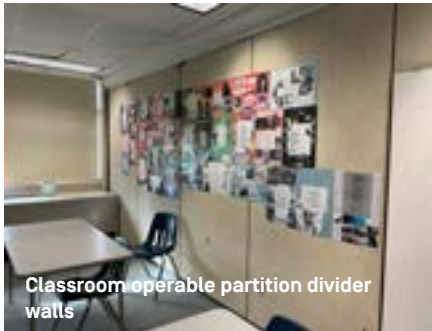
08 CHIPPEWA 7-8 SCHOOL



Classroom casework



Interior corridor



Classroom operable partition divider walls



Science classroom desks



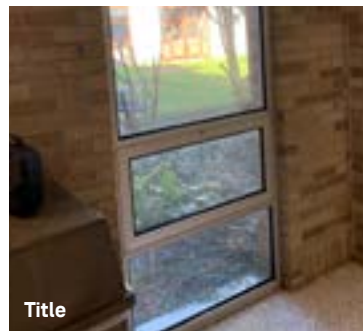
Main entrance office / reception



Typical classroom entrance door

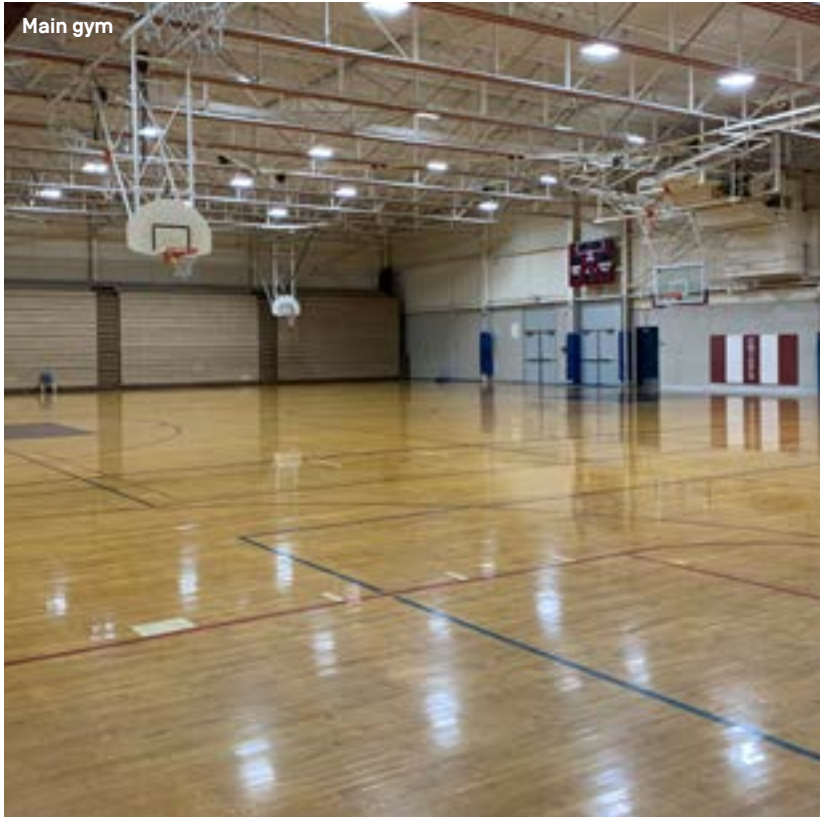


Title



Title

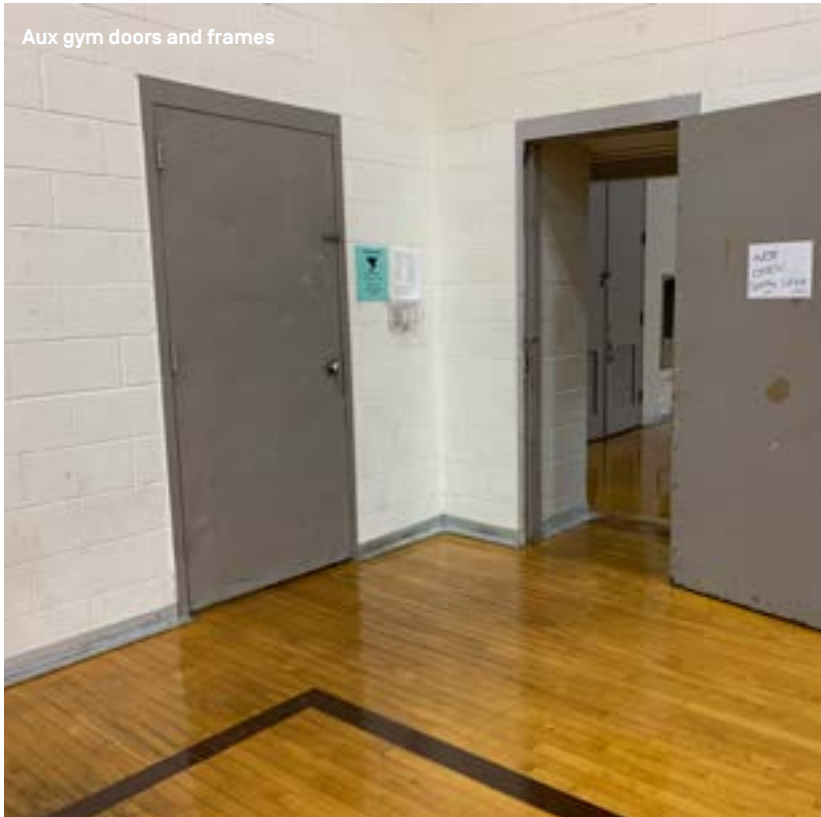
08 CHIPPEWA 7-8 SCHOOL



Main gym



Auditorium/perimeter room mezzanine



Aux gym doors and frames



Exterior walls - north elevation

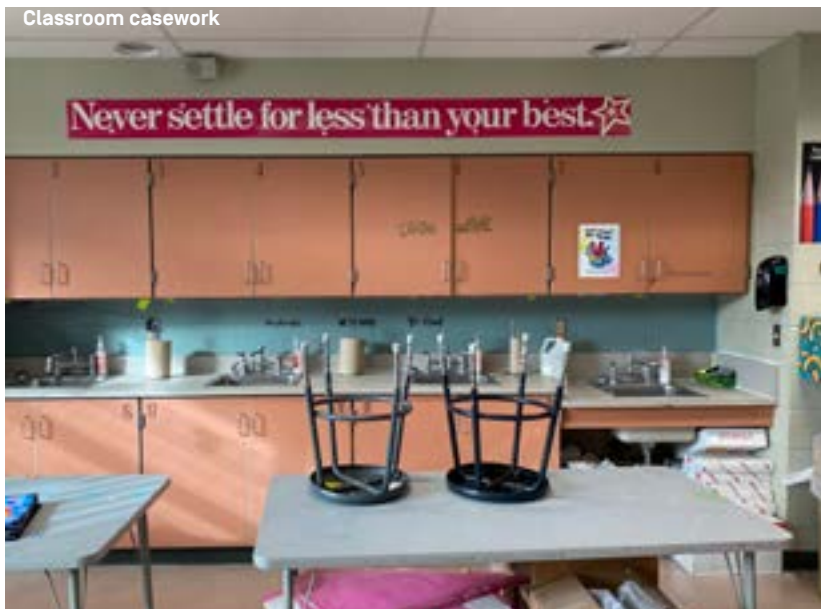
08 CHIPPEWA 7-8 SCHOOL



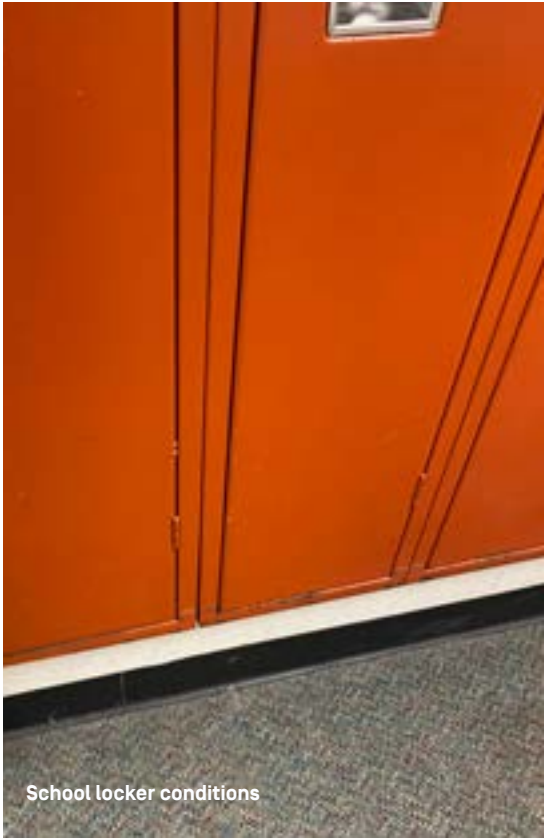
Auditorium stage receiving



Exterior window wall conditions



Classroom casework



School locker conditions



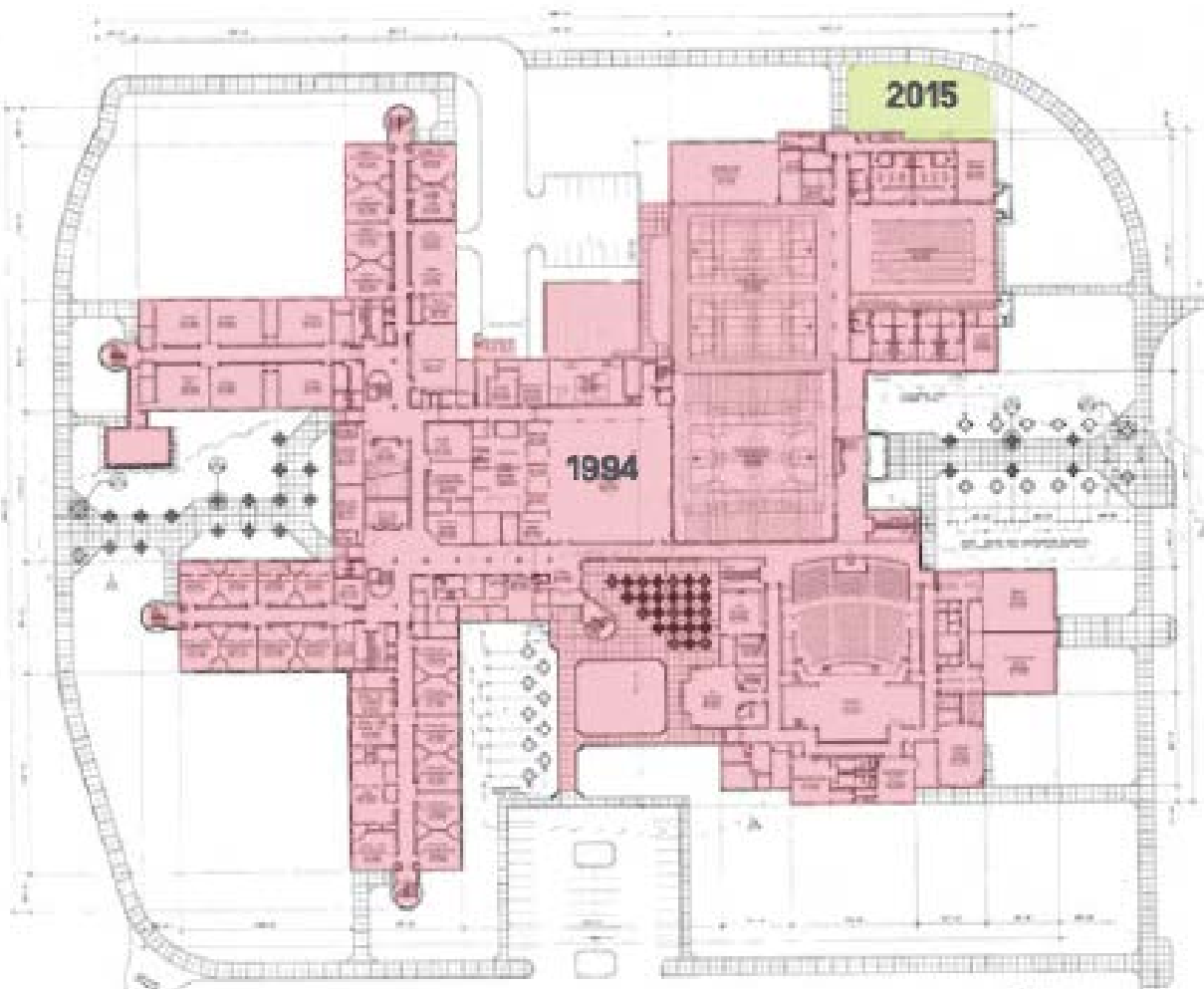
Interior corridor

09 OKEMOS HIGH SCHOOL



09 OKEMOS HIGH SCHOOL

Use:	9-12
Built:	1994
Additions + Renovations:	2015
Total Building Area:	320,000 SF
Site Area:	89.5 Acres
Enrollment:	1,457 students
Square Footage per Student:	219.6 sf/student
Renovation Cost:	\$44,299,036
Current Replacement Value [CRV]:	\$107,200,000
Facility Condition Index [FCI]:	41%



09 OKEMOS HIGH SCHOOL



09 OKEMOS HIGH SCHOOL

OBSERVATION HIGHLIGHTS

SITE

Drainage issues near Door 1 and outside of auditorium. Drainage issues also present on the exterior of south elevation near service doors outside the auditorium. Site circulation needs to be reviewed to study circulation conflicts in multiple locations.

ARCHITECTURE

The high school serves as the newest building in the district. In addition to the classrooms, the school has a media center with news production center located on the 2nd floor, gym with locker rooms, large kitchen, cafeteria, auditorium with green room and stage production areas, six lane 25 meter pool with locker rooms, exterior greenhouse and additional dedicated areas for band, choir, music, and orchestra. It lacks a clearly defined main entry and/or site directional signs, with many first time visitors approaching the athletics entry incorrectly. There is no secure vestibule at the Main Office. The building features a good amount of exterior glazing, offering lots of natural light into common areas within the building. Some improvements to be evaluated for upgrades are the current condition of the large barrel gutters, replacement of exterior translucent panels near natatorium, some aluminum exterior doors could use new hardware and adjustments. The metal roofing is noted as being in good condition as it approaches an age of 30 years, just some slight fading present. There are some areas where leaks are present and they cannot find them. The maintenance staff expressed interest during our site visit exterior improvements to the main service drive, and loading located on the north elevation of the school. Some repairs or cleaning required on exterior limestone [mildew present] located around window openings on the exterior. Greenhouse in good condition, just some cleaning and masonry maintenance and repairs needed to extend the life of current products.

INTERIORS

The layout of the building is fairly well organized and easy to navigate. General classrooms are oddly shaped due to the inclusion of an underutilized small group space within the classrooms. The cafeteria is too small for the current student body and recent furniture adds have created tight circulation paths. There is a good deal of damage at the bulkheads along the perimeter of the room.

The Media Center is a nice space with borrowed light from the cafeteria and a high ceiling. The flooring should and lighting should be replaced, but it is in otherwise good condition. As a traditional library, modifications should be considered evaluating the need for book volumes vs. available student break-out space. The large size of the circulation desk should also be evaluated.

The fine arts wing is spacious and has nice access to natural light. Music and instrument storage is insufficient and located outside of the classrooms. The Auditorium may be undersized for the student population. The athletics wing is in good condition. There is some damage to the acoustic block walls in the auxiliary gym that should be repaired. The railings that define the pool spectator area, as well as the drinking fountains, are rusted and corroded.

The building features more durable finishes overall. The corridor walls are in good condition where there is DCMU and glazed CMU present. Above the lockers there are wall surfaces finished with a multi-spec coating, which is durable yet difficult to repair. Some of the classroom walls are gypsum board with a multi-spec coating and in need of repair and/or refinishing. The carpet throughout the building should be replaced. It is in particularly bad condition in the hallways as it is fairly light in color. The terrazzo at the athletics entry has scratches, scuffs, and some areas of heaving. This should be considered for re-finished and/or repair. Vinyl tile in classrooms should be replaced.

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Ceilings are in good to fair condition. The ceiling panels are 24" x 48" in classrooms. Wood doors are in fair condition with card access throughout. Toilet rooms feature 2" x 2" porcelain tile on the floors with 4" x 4" gloss ceramic tiles on the walls. These should be considered for updates.

ADA compliant interior signs are present, but have not been properly maintained over the years as updates have been made to room use or name inserts. Wayfinding signage is only present as laminated signs created by the District.

MECHANICAL

Replace two heating hot water system pumps. Existing original 289 chiller needs to be replaced. Provide additional isolation valves on heating and cooling systems. Replace air-handling units (12,000 cfm, 8-21,000 cfm, 2-14,000 cfm, 2-34,000 cfm, 2-11,000 cfm, 30,000 cfm, 8,000 cfm, 6,000 cfm, 4-15,000 cfm). VAV boxes should be replaced with new and hydronic reheat coil in lieu of electric. All exhaust fans should be replaced. Upgrade existing DDC system. Replace plumbing fixtures with auto flush valves and faucets in the group restrooms. Pool equipment (18,000 cfm AHU and 500 MBH boiler) with associated pumps need to be replaced.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The building has two services that should be upgraded and combined into one. The majority of the existing panelboards are in fair condition. The existing fire alarm system should be upgraded.

TECHNOLOGY

The IT rooms are a shared space with janitorial mop sinks & storage and should be a dedicated space. Fiber optic cabling between IT rooms is antiquated and needs updating. Synchronized clock system does not exist. Paging system needs to be upgraded. Gym & cafe need new AV systems. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a "good" condition. Overall, the High School is a relatively young building compared to many other facilities in the inventory. The site is large and presents many opportunities for placement of building additions or new structures.

09 OKEMOS HIGH SCHOOL

DATA SHEETS

Facility Assessment

Building Name Okemos High School

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	good	fair	poor	
Drainage		x		There is a low spot south of the building along sidewalk just outside Auditorium green room and scene shop. Also potential drainage issues on south facade by Door 1 parking lot and access drive - insufficient slope to wetland area.
Asphalt Parking/ Drives	x			
Sidewalks	x			
Adequate Parking		x		District would like to have traffic study performed at high school for further discussion/analysis/use of lots. Staff parking lot was full with overflow parking along access drive to loading dock.
Bus Loop		x		parking lot.
Playgrounds				N/A - not present on site.
Student Drop off Area	x			
Landscaping	x			
Irrigation Systems				N/A - not present onsite.
Service Entrance			x	Drive - curb and pavement up for replacement/redesign per district requests.
Signage			x	Poor and needs to be addressed (directional/entrance/wayfinding)
Parking Lot Lighting		x		District continuing to replace bulbs and exterior pole fixture fixtures prior to bond updates.
Site Circulation		x		Conflict noted between the service drive and west staff parking lot and bus loop organization. Site circulation needs to be reviewed.
Loading Dock/Receiving			x	Curb cuts are needed at the loading dock. Dumpsters located here. Manual dock lift needs to be replaced. District would like to consider 'covered' addition to protect employees and delivery drivers.
Natural/Wetland Area		x		located between road and main visitor entry. Hard to maintain and look presentable. Well installed to feed wetland area.
Exterior Lighting			x	Dusk to dawn operation of site lighting desired for security and monitoring. District request to add additional site lighting around perimeter sidewalks. Parking lot lighting upgrades/replacements in progress currently with facilities.
Parking Lot Gates			x	The district would like gates located at entrance of parking lots removed. Replace remaining gates.

09 OKEMOS HIGH SCHOOL

ARCHITECTURAL	good	fair	poor	comments
Building Shell				
Roofing		x		Combination of metal standing seam roofing and PVC membrane roof. Rubber membrane roof areas recently installed in 2007, 2008, and 2011. Combination of Carlisle/Firestone membranes. Gutters (large barrel style) are sagging and twisted. Low points appear to be in the middle of the run causing overflows and inability for water to reach downspouts. District commented on metal roof and aluminum framing finish 'looks faded'.
Exterior Windows	x			Aluminum framed / insulated glass units / interior screens and vents / integral blinds. Products all original to building. Seem to be aging and performing well. All interior and exterior glass received applied/sealed impact resistant film in 2020.
Positive Drainage	x			No major leaks noticed in corridors or classrooms during walk through. Stained ceiling tiles present in areas but not sure if exterior or mechanical related.
Defined Entry		x		Main entrance currently on south elevation with dedicated visitor lot. Some confusion noted from people arriving to school between whether building main entrance is south entrance OR east student/athletic entrance.
Accessibility	x			Automatic operators present at east student entrance and south visitor entrance.
Fascia/Soffits		x		paint). Exterior soffits minimal around perimeter of building. Building maintenance having issues with west elevation courtyard entrances at B-wing. Ice dams/water runoff all described due to large roof area and valleys directing water/snow off roof above these entrances. Downspouts do exist at these locations.
Brick	x			(2) colors of exterior brick (installed on interior too) and limestone accent bands and sills. Exterior limestone needs to be cleaned and sealed (mildew growth present in multiple areas). Brick and limestone in good physical and structural condition. (30 years old) Weight room addition on NE corner of building (brick matches used here look good). Efflorescence present in areas on exterior (greenhouse).
EIFS				N/A
Cast Stone sills		x		Algae or staining present, especially on north side locations
Caulk Joints	x			No failures or adhesion issues noticed on exterior walkthrough.
Water Stains	x			Water staining not noticed on walkthrough, no hard water stains noticed around exterior (no irrigation though).
Exterior Doors		x		Fair to poor condition. Most are original to building construction in 1994. Hardware, hinges and door closer function should be addressed in upcoming bond work. Some parts need to be corrected or replaced. Noticed many doors with visible gaps at thresholds and along vertical door rail (latching side) during walk through. Multiple door locations look damaged due to wind (loose frames/hinges/closers) should be fixed or replaced. Doors on the north side of the building accessing the tennis courts are heavy and hard to operate.
Vestibule Entries		x		Present at south visitor entrance, east student entrance, west B wing (2) small vestibules for egress). All perimeter stair towers have emergency egress exterior doors. Did see some 'reinforcement plates' fastened to aluminum framing at exterior door locations (east entrance) - high traffic area/framing should be considered for replacement.
Exterior Light	x			Good, function, bulb replacements in progress. Noticed some fixture/bulb replacements needed in soffits. District currently working through additional fixture replacements and adding additional parking lot and exterior building lighting ahead on bond work. Should be revisited with district in the future.

09 OKEMOS HIGH SCHOOL

ARCHITECTURAL (CON'T)				comments
	good	fair	poor	
Green House	x			Good condition, exterior aluminum framing and insulated glass units. No major signs or rust/staining on structure. Exterior brick (efflorescence) and limestone (mildew) should be cleaned. Function of automatic ceiling operated windows needs to be verified. Light fixture should be upgraded.
Loading Dock		x		(2) exterior dock lifts (manual operation only) need to be replaced. Lifts may get replaced prior to bond work. Pavement in bad condition around this area. Mechanical units housed adjacent to this lot. Maintenance drive (curb and pavement) not replaced recently and could be upgraded.
Skylights	x			Multiple areas/rooms have skylights - time to review flashing/sealants condition at exterior - does maintenance work need to be addressed with upcoming bond. Further inspection should be completed by industry expert.
Structural	x			No issues reported. We did noticed some interior wall CMU repair needed (cracks/movement) need in some classrooms. Minimal occurrences.

INTERIORS / FINISHES				comments
	good	fair	poor	
Corridors				
Lights			x	2x2 fixtures present in suspended ACT ceilings. 2x4 light fixtures present in ACT suspended ceilings. Linear hanging fixtures present at 2nd floor corridors. Lighting and ceiling upgrades would make a large impact in the corridors.
Flooring		x		Mixture of terrazzo and carpet. Terrazzo in good condition (some cracking was visible and should be repaired). Carpet is worn and ready for replacement.
Ceiling/Walls		x		Combination of gypsum bulkheads. 2x4 ACT suspended ceilings with (2x2 grid appearance). Tegular edge ceiling tiles present at all corridors. Ceilings are showing their age. Many stained tiles - investigate roof leaks in these locations. New ceilings and fixtures would be a nice upgrade. walls need
Lockers		x		Original. Function seems ok. Have integrated combination locks. Recessed in wall.
Doors		x		Hollow metal interior door frames (some borrowed sidelights with wired glass present). Wood doors with upgrade electronic locking hardware. Door closers need to be replaced. Interior wood doors showing age, some metal doors (wood look) present in school. Selective door replacement recommended.
Size of Corridor	x			No issues reported, seems adequate for all corridors.
Flow of Corridor	x			No issues with flow - just a large school and locker vs. class location could be a long distance to cover during passing time.
Emergency Egress	x			Present. All major entrances. All perimeter stairwells for both first floor and second floor provide emergency egress.
Glass Transoms				N/A
Vestibules		x		Present at south visitor entrance, east student entrance, west B wing (2) small vestibules for egress). All perimeter stair towers have emergency egress exterior doors. Did see some 'reinforcement plates' fastened to aluminum framing at exterior door locations (east entrance) - high traffic area/framing should be considered for replacement.

09 OKEMOS HIGH SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Casework		x		Casework appears to be original. Ready for upgrade/update/function analysis.
Expansion Joints		x		Note: Lots of floor/wall/ceiling expansion joints present in all major corridors and classrooms. Need to be cleaned, no signs of major movement (expansion/contraction). Be aware that these are present for coordination with future upgrades/redesign.
Drinking Fountains			x	Need to be replaced (some original to building)
Acoustics			x	2nd floor science wing - acoustics with vaulted ceiling design could be improved - high noise level.
Elevators	x			Keyed use only (3 locations present) no issues reported by facilities.
Stairwells		x		Turret style (round) stairwells at the end of each corridor - tile flooring/ painted steel stairs /wood handrails (could be addressed and updated) / CMU walls / Gypsum ceilings. Replace pendant light fixture for ease of bulb replacement (no easy way to access currently).
Interior Signage		x		Modular acrylic signage
Classrooms				
Flooring		x		12x12 VCT present (good condition). Carpet present at other locations (worn/replace)
Ceiling/walls	x			Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building.
Windows	x			Windows are operable (integral blinds/windows/screens).
Casework		x		Original. Functional and in good condition. Upgrade could make a large impact.
Marker/Chalkboards	x			Some smart boards present - ok condition. Large white boards in other science classrooms - ok condition. Need to discuss with teachers on replacement/preference.
Heat			x	Issues discussed with team for science wings (west end - 1st and 2nd floors) - Need to perform test and balancing update / diagnosis. See radiant heat present in most classrooms - need to verify performance.
Air-Conditioning		x		Present - district always expresses issues with controls/function/verification. Buildings could use updated TAB to help with prognosis.
Daylight	x			Good - exterior windows with integral blinds.
Overall Size	x			Good - no issues reported. Some classrooms always seem better organized/layout than others. Small group room within does not seem well utilized.
Doors		x		No issues reported - original frames and doors. Door closers need replacement. District upgraded electronic (key fob) access recently to all building - uniform across district.
Lighting			x	1st floor classrooms 2x4 fixtures that look to be original. Time to upgrade fixtures and lighting controls.
Heating				
Power Outlets	x			District has not mentioned during walkthroughs that power was a constraint or issue to be addressed going forward. Redesign/repurposing rooms may cause for the need to address outlet location/frequency
Bergman Suite				District currently upgrading presenting - space was originally technology/photography classrooms. Located on 1st floor (south elevation) by 3d art studio and back of house audit stage corridor.
Desks			x	Classrooms could use desk and table upgrades/replacements.
Toilet Rooms				

09 OKEMOS HIGH SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Fixtures Operational	x			Original (sinks/urinals/toilets/partitions), but functional and clean.
Toilet Partitions	x			Original but in good shape (minimal damage/abuse) present.
Walls	x			Cove tile base (off-white) ; 3x3 glazed wall tile on CMU. Clean and in good shape.
Floors	x			2x2 'teal' unglazed tile.
Floor Drains	x			No issues reported and present in each bathroom.
Lighting			x	1x4 fixtures along wall above toilets/sinks/mirrors location.
Hand Dryers				NA (usually just manual paper towel dispensers present.
Ceilings	x			Painted Drywall ceilings. Diffusers, lights, fire suppression present.
Mirrors		x		Original, framed mirrors could be upgraded.
ADA Accessible	x			Yes ... occasionally find missing grab bars. Further review needed of bathrooms.
Adequate Size	x			Most gang common bathrooms had (3) sinks and 5-6 toilets present at each location.
Janitorial Closet	x			Note, Bathrooms are separated by accessible common space (small door always present) in corridor at entrance. Did not walk into one of these spaces during walkthrough.
Gymnasium				
Flooring	x			Main Gym has wood floor (good condition). Auxiliary gym has new rubber floor.
Lights	x			New fixtures in main gym.
HVAC		x		No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps)
Daylight	x			Skylights present (no leaks or issues reported).
Gym Equipment	x			Bleachers / hoops / padding - no issues reported.
Doors		x		Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced
Size	x			No issues/discussion noted.
Bleachers	x			Ok - no issues reported in main gym. No bleachers present in Aux Gym or weight room.
Egress	x			No issues noted.
Locker Rooms	x			Dated finishes but in good condition
Walls/Ceilings	x			Padding present. CMU walls with acoustic block. Some damaged acoustical block in the auxiliary gym needs to be replaced. Main gym has large hollow metal frames and glass - with large overhead coiling fire shutters (mounted on gym side). Auxiliary Gym walls to be repainted.
Weight Room	x			Large space due to 2015 expansion. Equipment is dated. Organization of space should be evaluated. Baseball/softball cage with synthetic turf for pitching area present. Located next to aux gym. Rubber floor with mats. CMU walls with padding. Vaulted ceilings with exposed MEP. Exterior aluminum windows provide natural light. Hollow-metal frames and windows provide . Existing lights need to be replaced. Locker room and toilets rooms present.
Training Room		x		Small space - finishes/equipment/casework could be upgraded and updated for the school.
Cafeteria				
Flooring	x			Terrazzo. Good condition. Maintenance seems good as well.
Ceilings/Walls				Combination of ceiling tiles (drop ceilings) and bulkheads. Bulkheads showing some signs of water damage and/or paint peeling.

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INTERIORS / FINISHES (CON'T)				comments
	Good	Fair	Poor	
Accessibility	x			No issues reported. Additional tables/seating added to the cafeteria for high volume of student use (tight ways and access in seating areas designed to accommodate maximum capacity).
Lighting			x	Lighting located in both drop ceilings (ACT) and gypsum bulkheads. Natural lighting also from multiple skylights in this room. Discussed fixture types and bulb replacement upgrades.
Seating		x		New tables (attached bench seating). Perimeter tables and chairs. Condition is good. Quality is ok. Comfort is minimal.
Size			x	Capacity currently at 800. Having issues with capacity (2 shifts/lunch times currently). Over capacity both in seating and attendance. Exterior courtyard (overflow/auxiliary location) discussed as possibility to add/enclose additional cafeteria space in the future.
Daylight	x			Good. Skylights and large hollow/metal perimeter frames/glazing.
Doors		x		Hollow-metal frames and wood doors. Doors are starting to approach end of life-cycle, but are in function/ok condition. Door hardware (closers) at multiple locations need to be adjusted or replaced.
Egress	x			(4-5) main egress locations at each corner of the cafeteria. No issues reported.
Offices				
Flooring			x	Carpet at all locations (worn and ready for replacement).
Furniture			x	Old/possible original - needs to be replaced.
Ceilings/Walls		x		Original grid and tile - time to remove and replace. Acoustic fabric wallcovering present at main office (remove and replace). Painted impact gypsum resistant panels present also.
Paging			x	Upgrade/ original.
Master Clock			x	Upgrade/ original.
Phone System			x	Upgrade/ original.
Lighting		x		Bulb replacements (retrofits/ballasts) in process. Ceilings and fixtures should be replaced from a performance/efficiency/visibility/controls and function standpoint.
Copy/Work Room		x		Size is ok. Original casework. Interior room - no natural daylight. Update and upgrade.
Meeting Rooms		x		Dated. Multiple small rooms with dated finishes. Time to upgrade.
Coffee Break Area		x		Present (one room at main office). No common break areas in buildings for staff/teachers. Seems like rooms available in each wing for this use. Is this a need to be addressed for teachers/staff ??
Health Room w/Toilet		x		Present at main office. Dated.
Accessibility		x		No issues noted. Most door hardware upgraded to prevent any issues. Automatic operators (interior and exterior) doors seem limited both at the high school and other building within the district. Do new codes mandate more frequent locations?
Visibility			x	Limited at main office - we noticed this as a common theme at all schools (main office lacks visibility/welcoming appearance/no secure vestibules)
Media Center				
Size	x			Nice space (large vaulted ceilings) ... perimeter overlooks cafeteria.
Flooring	x			Carpet throughout. Ready for replacement.
Lighting			x	Replace fixtures/update lighting plan.
Office Space		x		Finishes should be updated.
Ventilation		x		No issues reported. Time for TAB analysis though.
Doors		x		

09 OKEMOS HIGH SCHOOL

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Ceilings/Walls	x			Large translucent panel skylights (inspect exterior condition). Roof deck, exposed MEP systems. No other issues reported. Combination of CMU (starts off finish floor - above 8 feet at vaulted ceilings seems to be EIFS which is sound absorbing and clean. Exposed brick and limestone in good shape at structural columns.
Gallery - Aux Seating Space		x		and news production room. Good space for to add furniture upgrades for students
Aux Rooms		x		News TV production/Film rooms present - space study recommended prior to upgrades/redesign.
IT Room		x		Racks / Hot / address with future HVAC upgrades.
Roof Access		x		Note - Located roof hatch in Janitor closet at the end of gallery corridor in media center
Egress	x			No issues reported. MC is located on 2nd level - overlooking cafeteria
Auditorium				
Size		x		Auditorium is average size, auditorium manager noted the size is adequate for its use
Flooring		x		Carpet should be replaced, stage floor in good condition
Walls / Ceiling	x			Auditorium would benefit from updated finishes
Lighting		x		Appear to be original light fixtures - recommend upgrade to LED. Lighting dimming racks are approaching end of life and are no longer supported - will need to be replaced with a new/different lighting control system for house and stage lights; recommend ETC.
Acoustics		x		The room is not great for music, there is no absorption on the back wall
Control Room		x		No practicable access to control room outside of the auditorium, no audio booth in open auditorium
Ventilation		x		
Doors	x			
Seating		x		Functional but dated
AV / stage lighting systems		x		Clear com and paging not working, extensive catwalk system provides accessibility to A/V from control room and stage, projector needs to be upgraded, lighting console could be upgraded soon, audio console is not user-friendly, speakers appear to be original and should be upgraded, recommend added LED lighting for stage.
Support Spaces			x	Scene shop is too small, additional storage needed; recessed orchestra pit does not have access from auditorium (under stage only)
Accessibility		x		Barrier free access to stage from mid level. Access from the lower section is difficult - lift not operating properly.
Egress		x		Auditorium entrance not visible from Event entrance, recommend improvements to lobby space and signage
Choir/Band				
Size	x			lots of room - some instrument storage present
Flooring	x			12x12 VCT in good condition. Better condition in choir room then band room.
Ceilings/Walls	x			SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade
Acoustics	x			Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district.
Lighting			x	Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible
Office Space				N/A
Seating	x			Risers and chairs

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INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
HVAC	x			perimeter radiant heat present in both rooms
Fire Separation	x			Won Doors operation should be tested at equipment storage areas outside band and choir rooms.
Instrument Storage	x			Function of Equipment/Instrument storage area near band and orchestra rooms to be reconsidered. Consider replacement.
Kitchen				
Program				1000 daily student meals (2 lunch periods) for high school. Baking area with walk-in oven produces 1200 meals daily for distribution to all other schools within the district. Add more sanitizing/handwashing stations per COVID protocols?
Equipment	x			JRA to provide list for selecting new equipment. Large dishwashing area present, but new dishwashers preferred. Kitchen has new sink disposals.
Ceilings			x	Replace with wipeable ceiling tiles. Need new diffusers and grills.
Cooler/Freezer		x		Walk-in cooler and freezer present (30 years old). Clear/glass viewable cooler door. Consensus was to consider replacement of both walk-ins. Need more freezer storage space.
Floors	x			8x8 quarry tile and base. Drains/sinks/traps/ all need to be cleaned, maintained, serviced.
Delivery Space			x	Receiving area attached to north elevation service drive. Dock levelers need to be replaced (manual operation and not covered). Receiving area at High School needs updates and reconfiguration
Storage Space			x	Lacking adequate storage space. Storage room too small. Product being stored in service corridor separating kitchen from receiving area.
Kitchen Hood	x			Present and large - center of kitchen with 2 sides.
Make-up Air				
Serving Line		x		Multiple lines available/Compact but enough space available. Need new serving equipment/food service casework. JRA would like to reformat traffic flow/redesign area and function. Terrazzo flooring here and cafeteria. Need ceiling updates here. New signage and presentation for users.
Electrical		x		No issues noted - such as too few outlets/location/breaker capacity.
Lighting			x	Upgrade light fixtures.
Secured	x			Yes.
Fire Suppression/FA	x			Yes, present. Fully sprinkled with fire alarm coverage.
Overall				This is the 'HUB' for district production and distribution. JRA to recommend list of new equipment for consideration, upgrade storage room areas and layout. Consider delivery/receiving area, amount of storage space, transition to recycle/compost program.
Concessions			x	Concessions for indoor events at HS utilize cafeteria and kitchen area. Items served at ticket booth outside Gym.
Pool				
Size		x		6 lane 25 meter pool.
Flooring	x			Tile in good condition. Upgrades/replacements needed at drinking fountains near locker room entrances.
Ceilings/walls		x		No signs of major rust/deterioration. Steel trusses and roof deck could be repainted. Paint CMU (scored block present). Tile present from floor to 8 AFF (CMU then above). Interior Aluminum frames with glass - in good condition.
Lighting	x			Large skylights. Large elevation of translucent panels (old/yellowed - need to be replaced). Ceiling fixtures pointed upward to avoid swimmer conflict.) Good overall lighting. Fixtures are new.
Equipment Storage		x		One small storage room present near north west entrance
Locker Rooms		x		Tile floors and ceiling ok condition. toilet room fixtures and lockers should be upgraded.

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INTERIORS / FINISHES (CON'T)	good	fair	poor	comments
Office Space				Not present.
Ventilation	x			No issues reported. Time for TAB analysis though.
Doors		x		Same issues as reported in other areas. Doors and closers should be replaced. Hollow metal frames in ok condition but are original and approach 30 years old.
Spectator Seating			x	ADA ramps and steps present. Needs to be upgraded. Benches need to be replaced. SST glass railing and handrails need to be replaced. Signs of rust visually present. CMU /concrete present at this location
Egress	x			Emergency egress to exterior present at East elevation (2 separate locations)
Dehumidification		x		Need to verify performance of dehumidification unit - room temperature is too warm.
Drinking Fountains			x	Chlorine damage - need to be replaced

MECHANICAL	good	fair	poor	comments
Heating Source and Condition	x			Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014.
Heating Pumps and Piping			x	Building is served by (2) Taco based mounted pumps that are original. Would like more isolation valves.
Cooling Source and Condition		x		Building is served by a chilled water system. The 289-ton BAC cooling tower was installed around 2014. The Trane chiller is original and does not work. System is fully redundant.
Cooling Pumps and Piping			x	Building is served by (2) Taco pumps that are original. Would like more isolation valves.
Terminal Devices			x	Building is served by VAV boxes with electric reheat and are original.
AHUs and RTUs		x		Building is served by Trane VAV AHU's and are original. Office is served by a Trane 12,000 cfm AHU with DX cooling. Science wing electric reheat does not work. (8) 21,000 cfm AHU's, (2) 14,000 cfm AHU , (2) 34,000 cfm AHU, (2) 11,000 cfm AHU, (1) 30,000 cfm AHU, (1) 8,000 cfm AHU, (1) 6,000 cfm AHU, and (4) 15,000 cfm AHU's.
Ventilation			x	Exhaust fans are original. (12) Science wing exhaust hoods not working. (2) 1,500 cfm EF's, (6) 1,200 cfm EF's, (1) 600 cfm EF, (1) 200 cfm EF, and (2) 300 cfm EF's.
Building Management System/Controls			x	Building is served by Trane DDC BMS that is original. Recommissioning needed.
Domestic Water Piping		x		No known issues.
Water Heaters		x		Building is served by a PK boiler, 2,000 MBH installed in 2007 with 500 gallon storage tank.
Plumbing Fixtures		x		Plumbing fixtures are original. Group restrooms do not have auto flush valves.
Fire Protection		x		Building is fully sprinkled with combination wet and dry system and a 30 hp fire pump.
Pool equipment			x	Pool is served by 18,000 cfm Poolpak and a 500 MBH boiler. Both are original. Controls were redone around 2003. Have control issues. Problems with priming pumps once drained. Would like unit that has better service availability.

ELECTRICAL	good	fair	poor	comments
Transformer size	x			
Primary/Secondary Service	x			2 services to school (one back up with auto transfer), Switchgear is burned out,

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ELECTRICAL (CON'T)				comments
	good	fair	poor	
Generator				There is no generator on site.
Occupancy Sensors				There are no occupancy sensors.
Lighting Control System			x	Toggle switches. Upgrade lighting system.
Panels	x			
Panel Clearance	x			Need to remove storage items.
Lighting			x	Lighting overall needs to be replaced. Most of the lighting is fluorescent. There is currently no emergency egress fixtures in the building. Lights in exterior soffits to be replaced. Owner would like to replace glass wall sconces - expensive to repair.
Fire Alarm Panels				Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust
Panels	x			

TECHNOLOGY				comments
	good	fair	poor	
IT Rooms			x	Most rooms are sharing space with electrical, janitorial equipment & mop sinks. Rooms are sprinkled. Need AC installed.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently.
Bells/Paging System			x	Need to update paging for the district. Currently Informacast via Cisco IP phones
Clock System			x	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.
Classroom Audio/Video Systems	x			Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.
Large Space Audio/Video Systems			x	Audio for gyms needs upgrade, mainly speakers. Rack equipment needs relocated closer to space it serves. Need new audio system for cafeteria.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

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BUDGET DETAIL

ITEM #: 17		Acres:		96	
Okemos High School - Sitework					
					Total Cost
Sitework	SITWORK				\$ -
Drainage	There is a low spot south of the building along sidewalk just outside Auditorium green room and scene shop. Also potential drainage issues on south facade by Door 1 parking lot and access drive - insufficient slope to wetland area.	1	LS	\$ 25,000.00	\$ 25,000
Asphalt Parking/ Drives				assume work not required	\$ -
Sidewalks				assume work not required	\$ -
Adequate Parking	District would like to have traffic study performed at high school for further discussion/analysis/use of lots. Staff parking lot was full with overflow parking along access drive to loading dock.			excluded new parking	\$ -
Bus Loop	Located at west entrance/loop around and through west teacher/staff parking lot.				\$ -
Playgrounds	N/A - not present on site.			not applicable	\$ -
Student Drop off Area				assume work not required	\$ -
Landscaping				assume work not required	\$ -
Irrigation Systems	N/A - not present onsite.			not applicable	\$ -
Service Entrance	Drive - curb and pavement up for replacement/redesign per district requests.	2,000	SY	\$ 100.00	\$ 200,000
Signage	Facilities Manager requesting upgrades. Poor and needs to be addressed. Exterior signage (directional/entrance/wayfinding) all to be included in upcoming bond work.	2	EA	\$ 35,000.00	\$ 70,000
Dumpster Location					\$ -
Traffic Directions	District considering performing a traffic study for this location.				\$ -
Parking Lot Lighting	District continuing to replace bulbs and exterior pole fixture fixtures prior to bond updates.			assume by owner	\$ -
Retaining Walls					\$ -
Site Circulation	Conflict noted between the service drive and west staff parking lot and bus loop organization. Site circulation needs to be reviewed.				\$ -
Loading Dock/Receiving	Curb cuts are needed at the loading dock. Dumpsters located here. Manual dock lift needs to be replaced. District would like to consider 'covered' addition to protect employees and delivery drivers.			see items below	\$ -
Loading Dock/Receiving	Loading dock curb cuts needed. Dumpsters located here.	2	EA	\$ 10,000.00	\$ 20,000
Loading Dock/Receiving	Manual docks need replacement.	2	EA	\$ 10,000.00	\$ 20,000
Loading Dock/Receiving	Loading dock area pavement replacement	2,500	SY	\$ 100.00	\$ 250,000
Loading Dock/Receiving	District would like to consider 'covered' addition to protect employees and delivery drivers.		SF		\$ -
Natural/Wetland Area	Designed and included during original building construction. Please revisit/discuss further/make more presentable (overgrown) - located between road and main visitor entry. Well installed to feed wetland area.	1	LS	\$ 10,000.00	\$ 10,000
Exterior Lighting	Dusk to dawn operation of site lighting desired for security and monitoring. District request to add additional site lighting around perimeter sidewalks. Parking lot lighting upgrades/replacements in progress currently with facilities.	25	EA	\$ 3,000.00	\$ 75,000
Parking Lot Gates	The district would like gates located at entrance of parking lots removed. Replace remaining gates.	1	LS	\$ 15,000.00	\$ 15,000
					\$ -
					\$ -
Direct Trade		96		\$ 7,135.42	\$ 685,000

ITEM #: 18		Gross Area:		320,000	
Okemos High School - Building Improvements					
					Total Cost
Building Shell	BUILDING SHELL				\$ -
Roofing	Combination of metal standing seam roofing and PVC membrane roof. Rubber membrane roof areas recently installed in 2007, 2008, and 2011. Combination of Carlisle/Firestone membranes. Gutters (large barrel style) are sagging and twisted. Low points appear to be in the middle of the run causing overflows and inability for water to reach downspouts. District commented on metal roof and aluminum framing finish 'looks faded'.	1	sf	\$ 150,000.00	\$ 150,000
Exterior Windows	Aluminum framed / insulated glass units / interior screens and vents / integral blinds. Products all original to building. Seem to be aging and performing well. All interior and exterior glass received applied/sealed impact resistant film in 2020.			assume work not required	\$ -

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Positive Drainage	No major leaks noticed in corridors or classrooms during walk through. Stained ceiling tiles present in areas but not sure if exterior or mechanical related.				\$	-
Defined Entry	Main entrance currently on south elevation with dedicated visitor lot. Some confusion noted from people arriving to school between whether building main entrance is south entrance OR east student/athletic entrance. Team thought new signage and small entrance improvements would help define this.			excluded new entry	\$	-
Accessibility	Automatic operators present at east student entrance and south visitor entrance.				\$	-
Fascia/Soffits	East student entrance - existing canopy needs attention (clean steel/glass and paint). Exterior soffits minimal around perimeter of building. Building maintenance having issues with west elevation courtyard entrances at B-wing. Ice dams/water runoff all described due to large roof area and valleys directing water/snow off roof above these entrances. Downspouts do exist at these locations.	I	LS	\$ 150,000.00	\$	150,000
Maintenance Room Entry					\$	-
Brick	(2) colors of exterior brick (installed on interior too) and limestone accent bands and sills. Exterior limestone needs to be cleaned and sealed (mildew growth present in multiple areas). Brick and limestone in good physical and structural condition. (30 years old) Weight room addition on NE corner of building (brick matches used here look good). Efflorescence present in areas on exterior (greenhouse).	I	LS	\$ 20,000.00	\$	20,000
EIFS Fascia/Soffits	N/A				\$	-
Cast Stone sills	Algae or staining present, especially on north side locations	I	LS	\$ 5,000.00	\$	5,000
Caulk Joints	No failures or adhesion issues noticed on exterior walkthrough.				\$	-
Water Stains	Water staining not noticed on walkthrough, no hard water stains noticed around exterior (no irrigation though).				\$	-
Exterior Doors	Fair to poor condition. Most are original to building construction in 1994. Hardware, hinges and door closer function should be addressed in upcoming bond work. Some parts need to be corrected or replaced. Noticed many doors with visible gaps at thresholds and along vertical door rail (latching side) during walk through. Multiple door locations look damaged due to wind (loose frames/hinges/closers) should be fixed or replaced. Doors on the north side of the building accessing the tennis courts are heavy and hard to operate.	60	EA	\$ 15,000.00	\$	900,000
Vestibule Entries	Present at south visitor entrance, east student entrance, west B wing (2) small vestibules for egress). All perimeter stair towers have emergency egress exterior doors. Did see some 'reinforcement plates' fastened to aluminum framing at exterior door locations (east entrance) - high traffic area/framing should be considered for replacement.			see item above	\$	-
Exterior Lighting	Good, function, bulb replacements in progress. Noticed some fixture/bulb replacements needed in soffits. District currently working through additional fixture replacements and adding additional parking lot and exterior building lighting ahead on bond work. Should be revisited with district in the future.				\$	-
Green House	Good condition, exterior aluminum framing and insulated glass units. No major signs or rust/staining on structure. Exterior brick (efflorescence) and limestone (mildew) should be cleaned. Function of automatic ceiling operated windows needs to be verified. Light fixture should be upgraded.				\$	-
Loading Dock	(2) exterior dock lifts (manual operation only) need to be replaced. Lifts may get replaced prior to bond work. Pavement in bad condition around this area. Mechanical units housed adjacent to this lot. Maintenance drive (curb and pavement) not replaced recently and could be upgraded.				\$	-
Skylights	Multiple areas/rooms have skylights - time to review flashing/sealants condition at exterior - does maintenance work need to be addressed with upcoming bond. Further inspection should be completed by industry expert.	I	ALLOW	\$ 50,000.00	\$	50,000
Structural	No issues reported. We did noticed some interior wall Came repair needed (cracks/movement) need in some classrooms. Minimal occurrences.				\$	-
					\$	-
INTERIORS						
					\$	-
Walls	Paint/refresh entire building	320,000	SF	\$ 1.50	\$	480,000
Corridors	Corridors	48,333	SF		\$	-

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Lighting	2x2 fixtures present in suspended ACT ceilings. 2x4 light fixtures present in ACT suspended ceilings. Linear hanging fixtures present at 2nd floor corridors. Lighting and ceiling upgrades would make a large impact in the corridors.	48,333	SF	\$ 7.50	\$ 362,498
Flooring	Mixture of terrazzo and carpet. Terrazzo in good condition (some cracking was visible and should be repaired. Carpet is worn and ready for replacement.	3,222	SY	\$ 63.54	\$ 204,739
Ceilings/Walls	Combination of gypsum bulkheads. 2x4 ACT suspended ceilings with (2x2 grid appearance). Tegular edge ceiling tiles present at all corridors. Ceilings are showing their age. Many stained tiles - investigate roof leaks in these locations. New ceilings and fixtures would be a nice upgrade. walls need new look/updates.	48,333	SF	\$ 12.00	\$ 579,996
Heating	Add diffuser and grilles with new ceilings	48,333	SF	\$ 0.50	\$ 24,167
Lockers	Original. Function seems ok. Have integrated combination locks. Recessed in wall.				\$ -
Doors	Hollow metal interior door frames (some borrowed sidelights with wired glass present). Wood doors with upgrade electronic locking hardware. Door closers need to be replaced. Interior wood doors showing age, some metal doors (wood look) present in school. Selective door replacement recommended.	27	EA	\$ 3,500.00	\$ 94,500
Size of Corridor	No issues reported, seems adequate for all corridors.				\$ -
Flow of Corridor	No issues with flow - just a large school and locker vs. class location could be a long distance to cover during passing time.				\$ -
Emergency Egress	Present. All major entrances. All perimeter stairwells for both first floor and second floor provide emergency egress.				\$ -
Glass Transoms	N/A				\$ -
Vestibule Entries	Present at south visitor entrance, east student entrance, west B wing (2) small vestibules for egress). All perimeter stair towers have emergency egress exterior doors. Did see some 'reinforcement plates' fastened to aluminum framing at exterior door locations (east entrance) - high traffic area/framing should be considered for replacement.				\$ -
Casework	Casework appears to be original. Ready for upgrade/update/function analysis. - Assume new glass front display cases	50	LF	\$ 750.00	\$ 37,500
Expansion Joints	Note: Lots of floor/wall/ceiling expansion joints present in all major corridors and classrooms. Need to be cleaned, no signs of major movement (expansion/contraction). Be aware that these are present for coordination with future upgrades/redesign.	1	LS	\$ 25,000.00	\$ 25,000
Drinking Fountains	Need to be replaced (some original to building)	8	EA	\$ 4,000.00	\$ 64,000
Acoustics	2nd floor science wing - acoustics with vaulted ceiling design could be improved - high noise level.	2,589	SF	\$ 41.00	\$ 106,149
Elevators	Keyed use only (3 locations present) no issues reported by facilities.				\$ -
Stairwells	Turret style (round) stairwells at the end of each corridor - tile flooring/ painted steel stairs /wood handrails (could be addressed and updated) / CMU walls / Gypsum ceilings. Please update/replace pendant light fixture for ease of bulb replacement (no easy way to access currently)- per district request.	500	SF	\$ 60.00	\$ 30,000
Interior Signage	Modular acrylic signage	320,000	SF	\$ 0.55	\$ 176,000
Building Entrances	No prominent main entrance				
Classrooms	Classrooms		SF		\$ -
Flooring	12x12 VCT present (good condition). Carpet present at other locations (worn/replace)	8,168	SY	\$ 63.54	\$ 518,988
Ceilings/Walls	Vaulted ceilings at 1st floor classrooms (exposed roof deck and steel trusses. Hanging linear light fixtures. Exposed MEP services. Walls need new look/updates. Sagging ceiling tiles in some areas should be replaced. Signs of moisture problem in PE classroom wall to be investigated. Signs of roof leaks in ceiling tiles throughout building.	42,911	SF	\$ 8.00	\$ 343,288
Windows	Windows are operable (integral blinds/windows/screens).				\$ -
Casework	Original. Functional and in good condition. Upgrade could make a large impact. Allowance for miscellaneous repairs	1,040	LF	\$ 250.00	\$ 260,000
Marker/Chalkboards	Some smart boards present - ok condition. Large white boards in other science classrooms - ok condition. Need to discuss with teachers on replacement/preference.				\$ -
Heating	Issues discussed with team for science wings (west end - 1st and 2nd floors) - Need to perform test and balancing update / diagnosis. See radiant heat present in most classrooms - need to verify performance.			covered with other item	\$ -

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Air-Conditioning	Present - district always expresses issues with controls/function/verification. Buildings could use updated TAB to help with prognosis.		I	LS	\$	160,000.00	\$	160,000
Daylight	Good - exterior windows with integral blinds.						\$	-
Overall Size	Good - no issues reported. Some classrooms always seem better organized/layout than others. Small group room within does not seem well utilized.						\$	-
Doors	No issues reported - original frames and doors. Door closers need replacement. District upgraded electronic (key fob) access recently to all building - uniform across district.	65		EA	\$	1,000.00	\$	65,000
Lighting	1st floor classrooms 2x4 fixtures that look to be original. Time to upgrade fixtures and lighting controls.	98,016		SF	\$	7.00	\$	686,112
Heating							\$	-
Power Outlets	District has not mentioned during walkthroughs that power was a constraint or issue to be addressed going forward. Redesign/repurposing rooms may cause for the need to address outlet location/frequency						\$	-
Bergman Suite	District currently upgrading presenting - space was originally technology/photography classrooms. Located on 1st floor (south elevation) by 3d art studio and back of house audit stage corridor.						\$	-
Desks	Classrooms could use desk and table upgrades/replacements.						with owner FF&E budget %	\$ -
Toilet Rooms	Toilet Rooms	4,606		SF				\$ -
Fixtures Operational	Original (sinks/urinals/toilets/partitions), but functional and clean.							\$ -
Toilet Partitions	Original but in good shape (minimal damage/abuse) present.						assume work not required	\$ -
Walls	Cove tile base (off-white) ; 3x3 glazed wall tile on CMU. Clean and in good shape.							\$ -
Floors	2x2 'teal' unglazed tile.							\$ -
Floor Drains	No issues reported and present in each bathroom.							\$ -
Lighting	1x4 fixtures along wall above toilets/sinks/mirrors location.	4,606		SF	\$	8.00	\$	36,848
Hand Dryers	NA (usually just manual paper towel dispensers present.							\$ -
Ceilings	Painted Drywall ceilings. Diffusers, lights, fire suppression present.	4,606		SF	\$	2.00	\$	9,212
Heating	Add diffuser and grilles with new ceilings	4,606		SF	\$	0.50	\$	2,303
Mirrors	Original, framed mirrors could be upgraded.	45		EA	\$	200.00	\$	9,000
ADA Accessible	Yes ... occasionally find missing grab bars. Further review needed of bathrooms.		I	LS	\$	5,000.00	\$	5,000
Adequate Size	Most gang common bathrooms had (3) sinks and 5-6 toilets present at each location.							\$ -
Common Mechanical Space	Note, Bathrooms are separated by accessible common space (small door always present) in corridor at entrance. Did not walk into one of these spaces during walkthrough.							\$ -
Gymnasium	Gymnasium			SF				\$ -
Flooring	Main Gym has wood floor (good condition). Auxiliary gym has new rubber floor.							\$ -
Lighting	New fixtures in main gym.							\$ -
HVAC	No A/C presently (district wide). Need to perform TAB/Commissioning update and verify function of all units. District describes moisture/humidity problems during summer use (warm temps)							\$ -
Daylight	Skylights present (no leaks or issues reported).							\$ -
Gym Equipment	Bleachers / hoops / padding - no issues reported.						assume work not required	\$ -
Doors	Hollow metal frames and wood doors consistent. Doors need new closers and adjustment. Consider replaced exterior frames. Damaged overhead door in Auxiliary Gym to be replaced	25		EA	\$	1,400.00	\$	35,000
Doors	remove/replace overhead door		I	EA	\$	5,000.00	\$	5,000
Size	No issues/discussion noted.							\$ -
Bleachers	Ok - no issues reported in main gym. No bleachers present in Aux Gym or weight room.							\$ -
Egress	No issues noted.							\$ -
Locker Rooms								\$ -
Walls/Ceilings	Padding present. CMU walls with acoustic block. Some damaged acoustical block in the auxiliary gym needs to be replaced. Main gym has large hollow metal frames and glass - with large overhead coiling fire shutters (mounted on gym side). Auxiliary Gym walls to be repainted.		I	LS	\$	75,000.00	\$	75,000
Weight Room	Large space due to 2015 expansion. Equipment is dated. Organization of space should be evaluated. Baseball/softball cage with synthetic turf for pitching area present. Located next to aux gym. Rubber floor with mats. CMU walls with padding. Vaulted ceilings with exposed MEP. Exterior aluminum windows provide natural light. Hollow-metal frames and windows provide . Existing lights need to be replaced. Locker room and toilets rooms present.							\$ -

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Training Room	Small space - finishes/equipment/casework could be upgraded and updated for the school.	550	SF	\$	115.00	\$	63,250	
Cafeteria	Cafeteria	8,365	SF			\$	-	
Flooring	Terrazzo. Good condition. Maintenance seems good as well.					\$	-	
Ceilings/Walls	Combination of ceiling tiles (drop ceilings) and bulkheads. Bulkheads (Boswaphon? EIFS? Acoustic gyp?) show some signs of water damage and/or paint peeling.	8,365		\$	12.00	\$	100,380	
Accessibility	No issues reported. Additional tables/seating added to the cafeteria for high volume of student use (tight ways walk and access in seating areas designed to accommodate maximum capacity).					\$	-	
Lighting	Lighting located in both drop ceilings (ACT) and gypsum bulkheads. Natural lighting also from multiple skylights in this room. Discussed fixture types and bulb replacement upgrades.	8,365	SF	\$	8.50	\$	71,103	
Heating	Add diffuser and grilles with new ceilings	8,365	SF	\$	0.50	\$	4,183	
Seating	New tables (attached bench seating). Perimeter tables and chairs. Condition is good. Quality is ok. Comfort is minimal.					\$	-	
Size	Capacity currently at 800. Having issues with capacity (2 shifts/lunch times currently). Over capacity both in seating and attendance. Exterior courtyard (overflow/auxiliary location) discussed as possibility to add/enclose additional cafeteria space in the future.					\$	-	
Air-Conditioning						\$	-	
Daylight	Good. Skylights and large hollow/metal perimeter frames/glazing.					assume work not required	\$	-
Overall Size						assume work not required	\$	-
Doors	Hollow-metal frames and wood doors. Doors are starting to approach end of life-cycle, but are in function/ok condition. Door hardware (closers) at multiple locations need to be adjusted or replaced.	8	EA	\$	1,000.00	\$	8,000	
Egress	(4-5) main egress locations at each corner of the cafeteria. No issues reported.					assume work not required	\$	-
Offices	Offices		SF			\$	-	
Flooring	Carpet at all locations (worn and ready for replacement).	1,727	SY	\$	63.54	\$	109,719	
Furniture	Old/possible original - needs to be replaced.					with owner FF&E budget %	\$	-
Ceilings/Walls	Original grid and tile - time to remove and replace. Acoustic fabric wallcovering present at main office (remove and replace). Painted impact gypsum resistant panels present also.	15,541	SF	\$	12.00	\$	186,492	
Paging	Upgrade/ original.					in elec below	\$	-
Master Clock	Upgrade/ original.					in elec below	\$	-
Phone System	Upgrade/ original.					in elec below	\$	-
Lighting	Bulb replacements (retrofits/ballasts) in process. Ceilings and fixtures should be replaced from a performance/efficiency/visibility/controls and function standpoint.	15,541	SF	\$	8.00	\$	124,328	
Heating	Add diffuser and grilles with new ceilings	15,541	SF	\$	0.50	\$	7,771	
Copy/Work Room	Size is ok. Original casework. Interior room - no natural daylight. Update and upgrade.	500	SF	\$	100.00	\$	50,000	
Meeting Rooms	Dated. Multiple small rooms with dated finishes. Time to upgrade.	1,000	SF	\$	100.00	\$	100,000	
Coffee Break Area	Present (one room at main office). No common break areas in buildings for staff/teachers. Seems like rooms available in each wing for this use. Is this a need to be addressed for teachers/staff ??					\$	-	
Health Room with Toilet	Present at main office. Dated.					\$	-	
Accessibility	No issues noted. Most door hardware upgraded to prevent any issues. Automatic operators (interior and exterior) doors seem limited both at the high school and other building within the district. Do new codes mandate more frequent locations?					\$	-	
Visibility	Limited at main office - we noticed this as a common theme at all schools (main office lacks visibility/welcoming appearance/no secure vestibules)	1	LS	\$	150,000.00	\$	150,000	
Media Center	Media Center	9,464	SF			\$	-	
Size	Nice space (large vaulted ceilings) ... perimeter overlooks cafeteria.	9,464		\$	4.00	\$	37,856	
Flooring	Carpet throughout. Ready for replacement.	1,052	SY	\$	63.54	\$	66,816	
Lighting	Replace fixtures/update lighting plan.	9,464	SF	\$	11.00	\$	104,104	
Office Space	Finishes should be updated.					\$	-	
Ventilation	No issues reported. Time for TAB analysis though.					\$	5,000	
Doors						assume work not required	\$	-
Ceilings/Walls	Large translucent panel skylights (inspect exterior condition). Roof deck, exposed MEP systems. No other issues reported. Combination of CMU (starts off finish floor - above 8 feet at vaulted ceilings seems to be EIFS which is sound absorbing and clean. Exposed brick and limestone in good shape at structural columns.					\$	-	
Gallery - Aux Seating Space	Study/Quiet area not utilized and located along east corridor between cafe and news production room. Good space for to add furniture upgrades for students					\$	-	

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Aux Rooms	News TV production/Film rooms present - space study recommended prior to upgrades/redesign.					\$ -
IT Room	Racks / Hot / address with future HVAC upgrades.					\$ 10,000
Roof Access	Note - Located roof hatch in Janitor closet at the end of gallery corridor in media center			assume work not required		\$ -
Egress	No issues reported. MC is located on 2nd level - overlooking cafeteria					\$ -
Auditorium	Auditorium	9,265	SF			\$ -
Size	Auditorium is average size, auditorium manager noted the size is adequate for its use					\$ -
Flooring	Carpet should be replaced, stage floor in good condition	1,029	SY	\$ 63.54		\$ 65,411
Walls / Ceiling	Auditorium would benefit from updated finishes	9,265	SF	\$ 14.00		\$ 129,710
Lighting	Appear to be original light fixtures - recommend upgrade to LED. Lighting dimming racks are approaching end of life and are no longer supported - will need to be replaced with a new/different lighting control system for house and stage lights; recommend ETC.	9,265	SF	\$ 7.50		\$ 69,488
Acoustics	The room is not great for music, there is no absorption on the back wall					
Control Room	No practicable access to control room outside of the auditorium, no audio booth in open auditorium					
Ventilation						\$ -
Doors				assume work not required		\$ -
Seating	Functional but dated					\$ -
AV / stage lighting systems	Clear com and paging not working, extensive catwalk system provides accessibility to A/V from control room and stage, projector needs to be upgraded, lighting console could be upgraded soon, audio console is not user-friendly, speakers appear to be original and should be upgraded, recommend added LED lighting for stage.	1	LS	\$ 200,000.00		\$ 200,000
Support Spaces	Scene shop is too small, additional storage needed; recessed orchestra pit does not have access from auditorium (under stage only)	1,000	SF	\$ 75.00		\$ 75,000
Accessibility	Barrier free access to stage from mid level. Access from the lower section is difficult - lift not operating properly.	1	LS	\$ 10,000.00		\$ 10,000
Egress	Auditorium entrance not visible from Event entrance, recommend improvements to lobby space and signage	1	LS	\$ 10,000.00		\$ 10,000
Choir/Band	Choir/Band	6,500	SF			\$ -
Size	lots of room - some instrument storage present					\$ -
Flooring	12x12 VCT in good condition. Better condition in choir room than band room.					\$ -
Ceilings/Walls	SAB panels present. Exterior windows (aluminum frames and glass) . Exterior LARGE/WIDE aluminum doors present in both rooms. Different conditions in band and choir rooms. Vaulted ceiling with suspended SAB panels in choir rooms - good condition. Band room has vaulted ceiling with ACT grid/ceiling tiles and sound panels - ceiling could be candidate for replacement/upgrade	6,500	SF	\$ 9.00		\$ 58,500
Acoustics	Not bad, no issues reported. Music teachers not present for visit. Should be further reviewed and discussed with district.					\$ -
Lighting	Fixtures should be review for upgrades - recommend fixture/bulb/control replacements possible	6,500	SF	\$ 8.00		\$ 52,000
Heating	Add diffuser and grilles with new ceilings	6,500	SF	\$ 0.50		\$ 3,250
Office Space	N/A					\$ -
Seating	bleacher sections and chairs					\$ -
HVAC	perimeter radiant heat present in both rooms				assume work not required	\$ -
Function	Discussed option to turn existing rooms into equipment/instrument storage and add on to this wing with new rooms.					\$ -
Fire Separation	Won Doors operation should be tested at equipment storage areas outside band and choir rooms. Assume full replacemtn 4 locations	4	EA	\$ 35,000.00		\$ 140,000
Lockers	Equipment/Instrument storage area near band and orchestra rooms - please replace and consider layout redesign.	50	EA	\$ 3,000.00		\$ 150,000
Storage	Instrument storage needed. Lockers/casework should be replaced and reconfigured.	50	EA	\$ 3,500.00		\$ 175,000
Kitchen	Kitchen	3,826	SF			\$ -
Program	1000 daily student meals (2 lunch periods) for high school. Baking area with walk-in oven produces 1200 meals daily for distribution to all other schools within the district. Add more sanitizing/handwashing stations per COVID protocols?					\$ -
Equipment	JRA to provide list for selecting new equipment. Large dishwashing area present, but new dishwashers preferred. Kitchen has new sink disposals.	1	LS	\$ 900,000.00		\$ 900,000
Ceilings	Replace with wipeable ceiling tiles. Need new diffusers and grills.	3,826	SF	\$ 9.00		\$ 36,250
Cooler/Freezer	Walk-in cooler and freezer present (30 years old). Clear/glass viewable cooler door. Consensus was to consider replacement of both walk-ins. Need more freezer storage space.				with equipment above	\$ 36,250

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Floors	8x8 quarry tile and base. Drains/sinks/traps/ all need to be cleaned, maintained, serviced.				\$	-
Delivery Space	Receiving area attached to north elevation service drive. Dock levelers need to be replaced (manual operation and not covered). Receiving area at High School needs updates and reconfiguration			covered in site costs	\$	-
Storage Space	Lacking adequate storage space. Storage room too small. Product being stored in service corridor separating kitchen from receiving area.	1	LS	\$ 150,000.00	\$	150,000
Kitchen Hood	Present and large - center of kitchen with 2 sides.				\$	-
Make-up Air					\$	-
Serving Line	Multiple lines available/Compact but enough space available. Need new serving equipment/food service casework. JRA would like to reformat traffic flow/redesign area and function. Terrazzo flooring here and cafeteria. Need ceiling updates here. New signage and presentation for users.	975	SF	\$ 20.00	\$	19,500
Electrical	No issues noted - such as too few outlets/location/breaker capacity.				\$	-
Lighting	Upgrade light fixtures.	3,826	SF	\$ 8.00	\$	30,608
Heating	Add diffuser and grilles with new ceilings	3,826	SF	\$ 0.50	\$	1,913
Secured	Yes.				\$	-
Fire Suppression/FA	Yes, present. Fully sprinkled with fire alarm coverage.				\$	-
Overall	This is the 'HUB' for district production and distribution. JRA to recommend list of new equipment for consideration, upgrade storage room areas and layout. Consider delivery/receiving area, amount of storage space, transition to recycle/compost program.				\$	-
Concessions	Concessions for indoor events at HS utilize cafeteria and kitchen area. Items served at ticket booth outside Gym. Need to have further conversations with boosters regarding redesign/new layout	1	LS	\$ 150,000.00	\$	150,000
Field House	(2) identical 'kitchens' present at fieldhouse for event concessions. Move kitchens out of locker rooms which currently require more storage space. District would like improvement/redesign/face lift/add areas for serving visitors to school events with athletic complex field updates	1	LS	\$ 500,000.00	\$	500,000
Pool	Pool		SF		\$	-
Size	6 lane 25 meter pool.				\$	-
Flooring	Tile in good condition. Upgrades/replacements needed at drinking fountains near locker room entrances.	250	SF	\$ 50.00	\$	12,500
Ceilings/Walls	No signs of major rust/deterioration. Steel trusses and roof deck could be repainted. Paint CMU (scored block present). Tile present from floor to 8 AFF (CMU then above). Interior Aluminum frames with glass - in good condition.	9,183	SF	\$ 4.00	\$	36,732
Lighting	Large skylights. Large elevation of translucent panels (old/yellowed - need to be replaced). Ceiling fixtures pointed upward to avoid swimmer conflict.) Good overall lighting. Fixtures are new.	784	SF	\$ 85.00	\$	66,640
Equipment Storage	One small storage room present near north west entrance				\$	-
Locker Rooms	Ready for upgrades. Tile floors and ceiling ok condition. toilet room fixtures and lockers should be upgraded.	3,321	SF	\$ 250.00	\$	830,250
Office Space	Not present.				\$	-
Ventilation	No issues reported. Time for TAB analysis though.				\$	-
Doors	Same issues as reported in other areas. Doors and closers should be replaced. Hollow metal frames in ok condition but are original and approach 30 years old.	7	EA	\$ 2,500.00	\$	17,500
Spectator Seating	ADA ramps and steps present. Needs to be upgraded. Benches need to be replaced. SST glass railing and handrails need to be replaced. Signs of rust visually present. CMU /concrete present at this location	1,000	EA	\$ 300.00	\$	300,000
Egress	Emergency egress to exterior present at East elevation (2 separate locations)				\$	-
Dehumidification	Need to verify performance /controls of current installed Dehumidify poolpak unit.				\$	-
Drinking Fountains	Chlorine damage - need to be replaced	1	EA	\$ 9,000.00	\$	9,000
MECHANICAL						
Heating Source and Condition	Building is served by (3) PK heating hot water boilers, 3,000 MBH each and installed in 2014.			assume work not required	\$	-
Heating Pumps and Piping	Building is served by (2) Taco based mounted pumps that are original. Would like more isolation valves.				\$	55,750
Cooling Source and Condition	Building is served by a chilled water system. The 289-ton BAC cooling tower was installed around 2014. The Trane chiller is original and does not work. System is fully redundant.	1	LS	\$ 200,000.00	\$	200,000
Cooling Pumps and Piping	Building is served by (2) Taco pumps that are original. Would like more isolation valves.				\$	55,750
Terminal Devices	Building is served by VAV boxes with electric reheat and are original.				\$	676,000

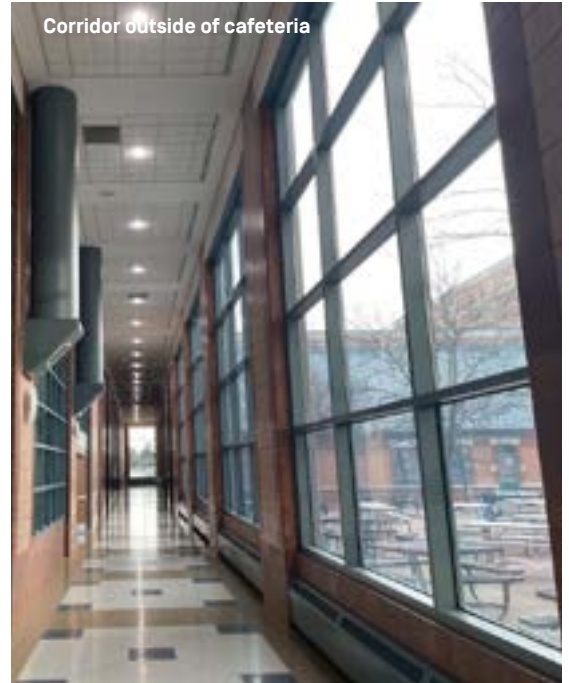
09 OKEMOS HIGH SCHOOL

AHUs and RTUs	Building is served by Trane VAV AHU's and are original. Office is served by a Trane 12,000 cfm AHU with DX cooling. Science wing electric reheat does not work. (8) 21,000 cfm AHU's, (2) 14,000 cfm AHU , (2) 34,000 cfm AHU, (2) 11,000 cfm AHU, (1) 30,000 cfm AHU, (1) 8,000 cfm AHU, (1) 6,000 cfm AHU, and (4) 15,000 cfm AHU's.		I	LS	\$	4,460,000.00	\$	4,460,000
Ventilation	Exhaust fans are original. (12) Science wing exhaust hoods not working. (2) 1,500 cfm EF's, (6) 1,200 cfm EF's, (1) 600 cfm EF, (1) 200 cfm EF, and (2) 300 cfm EF's.		I	LS	\$	97,500.00	\$	97,500
Building Management System/Controls	Building is served by Trane DDC BMS that is original. Recommissioning needed.		I	LS	\$	1,600,000.00	\$	1,600,000
Domestic Water Piping	No known issues.							assume work not required \$ -
Water Heaters	Building is served by a PK boiler, 2,000 MBH installed in 2007 with 500 gallon storage tank.							assume work not required \$ -
Plumbing Fixtures	Plumbing fixtures are original. Group restrooms do not have auto flush valves.							assume work not required \$ -
Fire Protection	Building is fully sprinkled with combination wet and dry system and a 30 hp fire pump.							assume work not required \$ -
Pool equipment	Pool is served by 18,000 cfm Poolpak and a 500 MBH boiler. Both are original. Controls were redone around 2003. Have control issues. Problems with priming pumps onced drained. Would like unit that has better service availability.		I	LS	\$	121,000.00	\$	121,000
								\$ -
ELECTRICAL								
Transformer size								\$ -
Primary/Secondary Service	2 services to school (one back up with auto transfer), Switchgear is burned out		I	ALLOW				\$ -
Generator	There is no generator on site.							\$ -
Occupancy Sensors	There are no occupancy sensors.							\$ -
Lighting Control System	Toggle switches. Upgrade lighting system.	320,000	SF		\$	1.50	\$	480,000
Panels								\$ -
Panel Clearance	Need to remove storage items.							\$ -
Lighting	Lighting overall needs to be replaced. Most of the lighting is fluorescent. There is currently no emergency egress fixtures in the building. Lights in exterior soffits to be replaced.Owner would like to replace glass wall sconces - expensive to repair.							in areas above \$ -
Lighting	Misc. areas unaccounted for	50,000	SF		\$	7.00	\$	350,000
Fire Alarm Panels	Simplex panels located in vestibule at visitor entrance. District would like to upgrade to voice activation, issue with smoke detectors in corridor tripping from dust	320,000	SF		\$	1.75	\$	560,000
Panels								\$ -
Clocks		320,000	SF		\$	0.25	\$	80,000
Paging		320,000	SF		\$	0.60	\$	192,000
Phone System		320,000	SF		\$	2.00	\$	640,000
Branch		320,000	SF		\$	1.50	\$	480,000
								\$ -
TECHNOLOGY								
IT Rooms	Most rooms are sharing space with electrical, janitorial equipment & mop sinks. Rooms are sprinkled. Need AC installed.							included in "Phone System" above \$ -
Fiber Optic Cabling (between buildings/IT rooms)	Older single mode fiber between buildings, multimode between IT rooms, some CAT6 tie lines between racks.							included in "Phone System" above \$ -
Data Cabling (within buildings)	CAT 6 cabling. Switches were upgraded recently.							included in "Phone System" above \$ -
Bells/Paging System	Need to update paging for the district. Currently Informacast via Cisco IP phones.							included in "Paging" above \$ -
Clock System	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.							included in "Mater Clock" above \$ -
Classroom Audio/Video Systems	Standard throw projectors being replaced with 75" interactive displays. Plan to replace Lightspeed audio with Audio Enhancement systems.							assume no work required \$ -
Large Space Audio/Video Systems	Audio for gyms needs upgrade, mainly speakers. Rack equipment needs relocated closer to space it serves. Need new audio system for cafeteria.	3	EA		\$	25,000.00	\$	75,000
Security Camera System	Need to update Sony cameras and VMS (currently exacqvision software)	320,000	SF		\$	1.00	\$	320,000
Access Control System	Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.							assume no work required \$ -
Direct Trade		320,000	sf		\$	67.34	\$	21,547,800

09 OKEMOS HIGH SCHOOL



Overall east drone photo



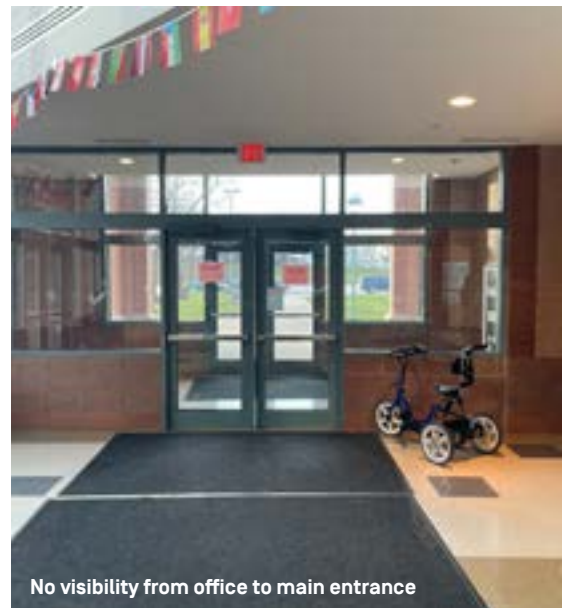
Corridor outside of cafeteria



Overall west drone photo



Tennis court condition



No visibility from office to main entrance



Student Plaza



Art Room

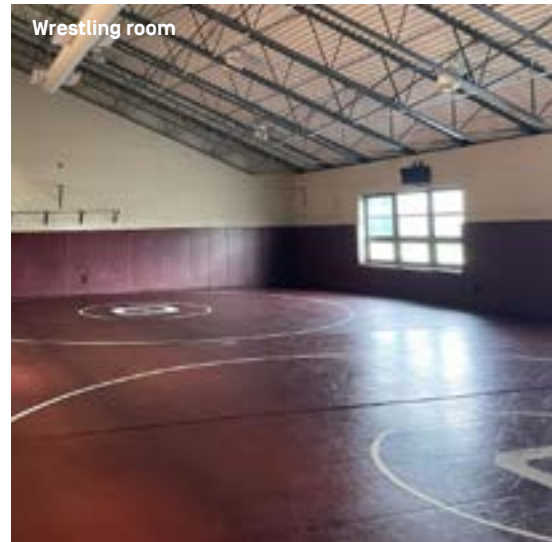


Auditorium

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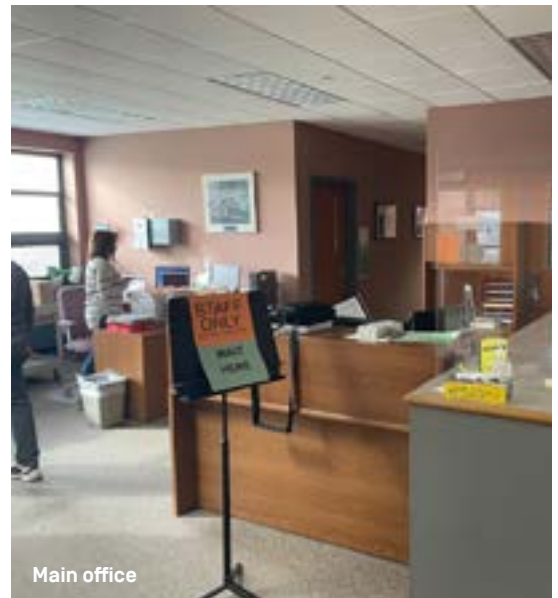
Orchestra Room



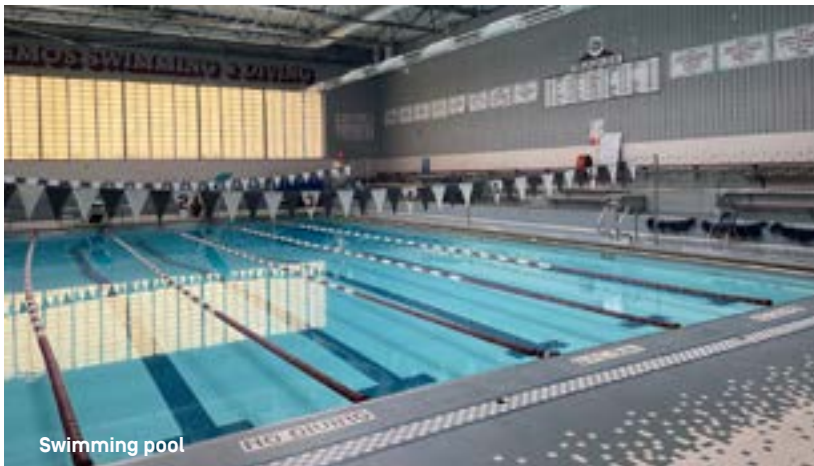
Wrestling room



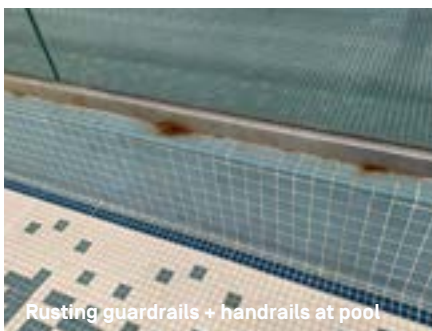
Typical restroom



Main office



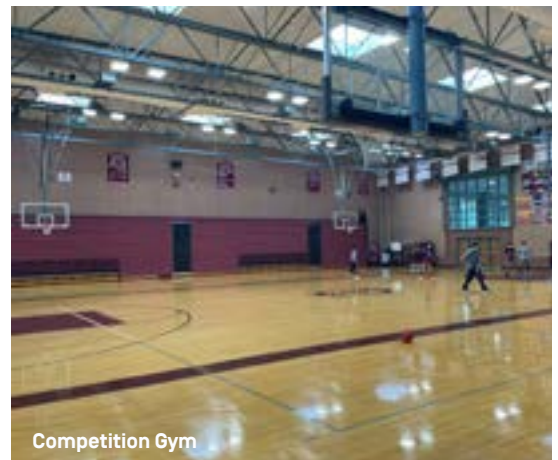
Swimming pool



Rusting guardrails + handrails at pool



Rusting drinking fountain signage



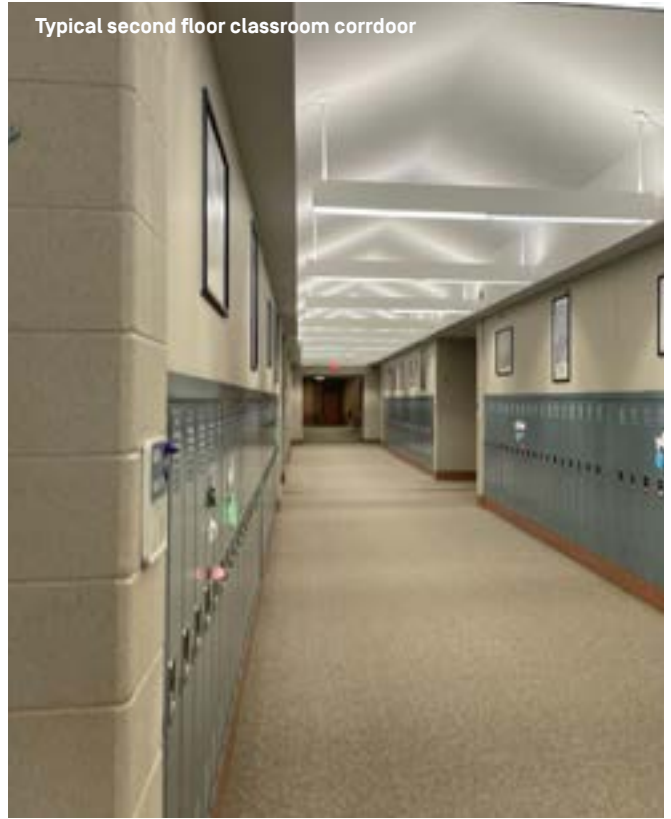
Competition Gym

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Typical Classroom



Typical second floor classroom corridor



Media center



Main entrance



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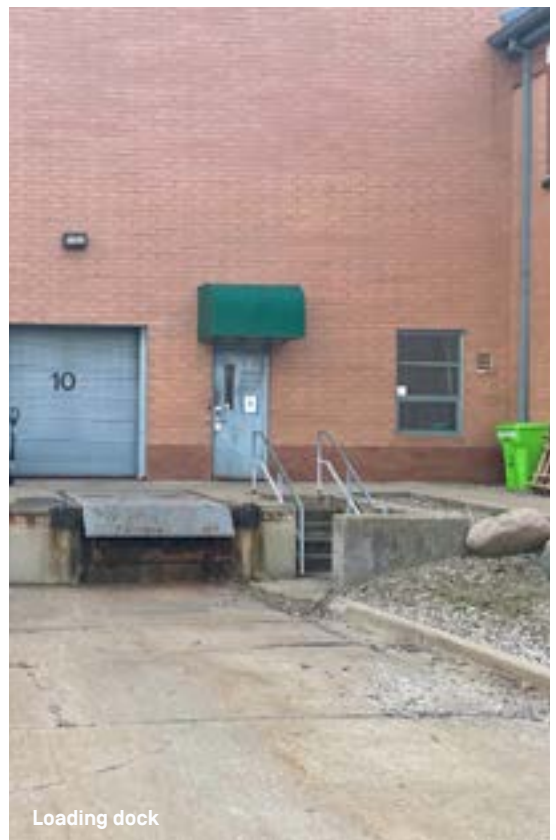
Water issues at west courtyard



Limestone sills to be cleaned and sealed



Greenhouse



Loading dock

09 OKEMOS HIGH SCHOOL



Signs of gutter failure



Signs of leak



Athletic / Fine Arts Entrance



Grading issue south of the school



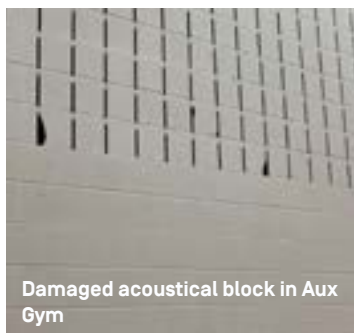
Scene shop too small



Some doors need to be replaced



Exterior doors and frames corroding

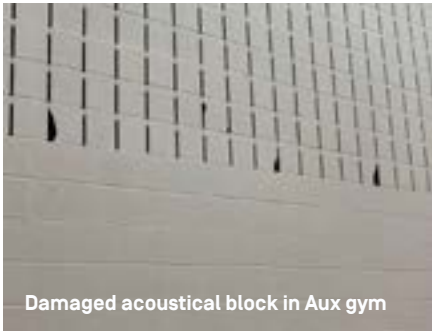


Damaged acoustical block in Aux Gym

09 OKEMOS HIGH SCHOOL



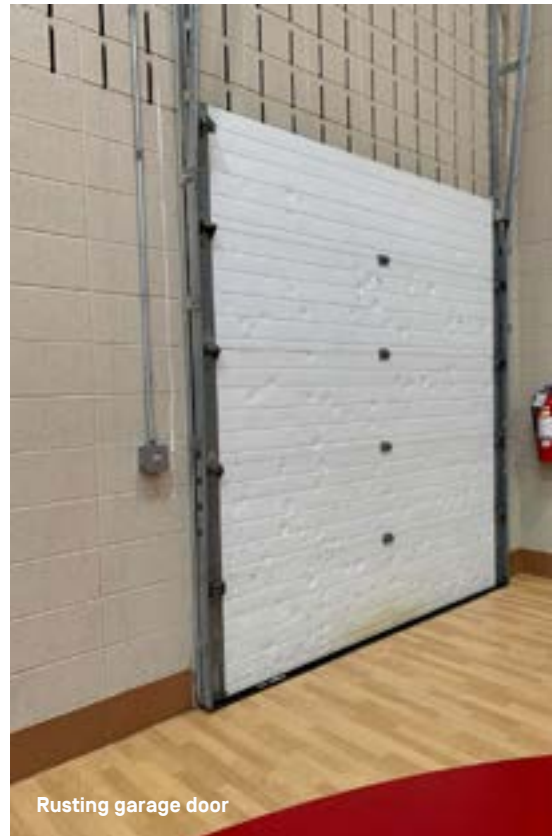
Exterior doors and frames corroding



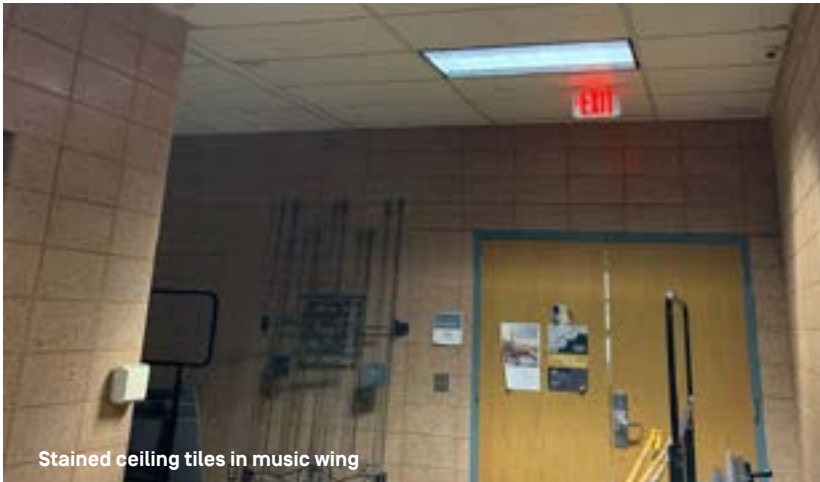
Damaged acoustical block in Aux gym



Locker room



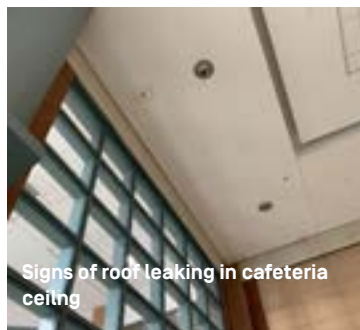
Rusting garage door



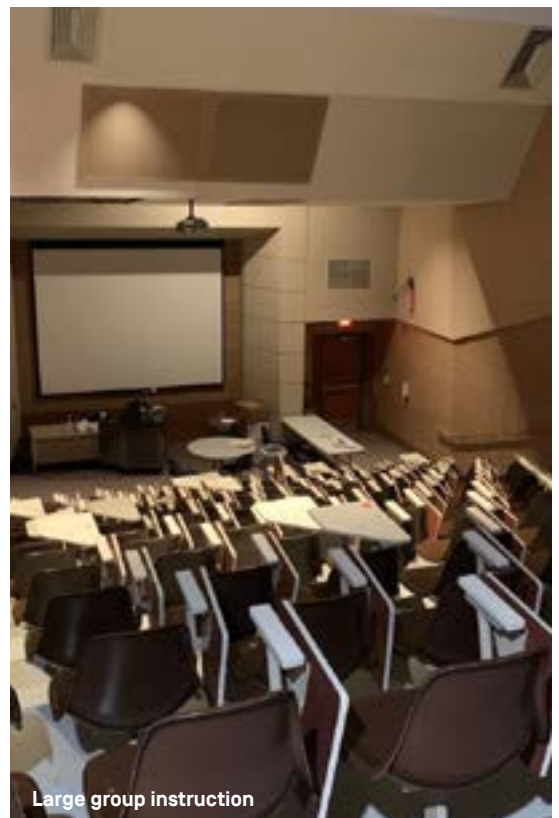
Stained ceiling tiles in music wing



Damaged overhead door in Aux Gym



Signs of roof leaking in cafeteria ceiling



Large group instruction

09 OKEMOS HIGH SCHOOL



Carpet to be replaced



Better accommodations needed at teachers lounge



Cafeteria



Typical science room

10

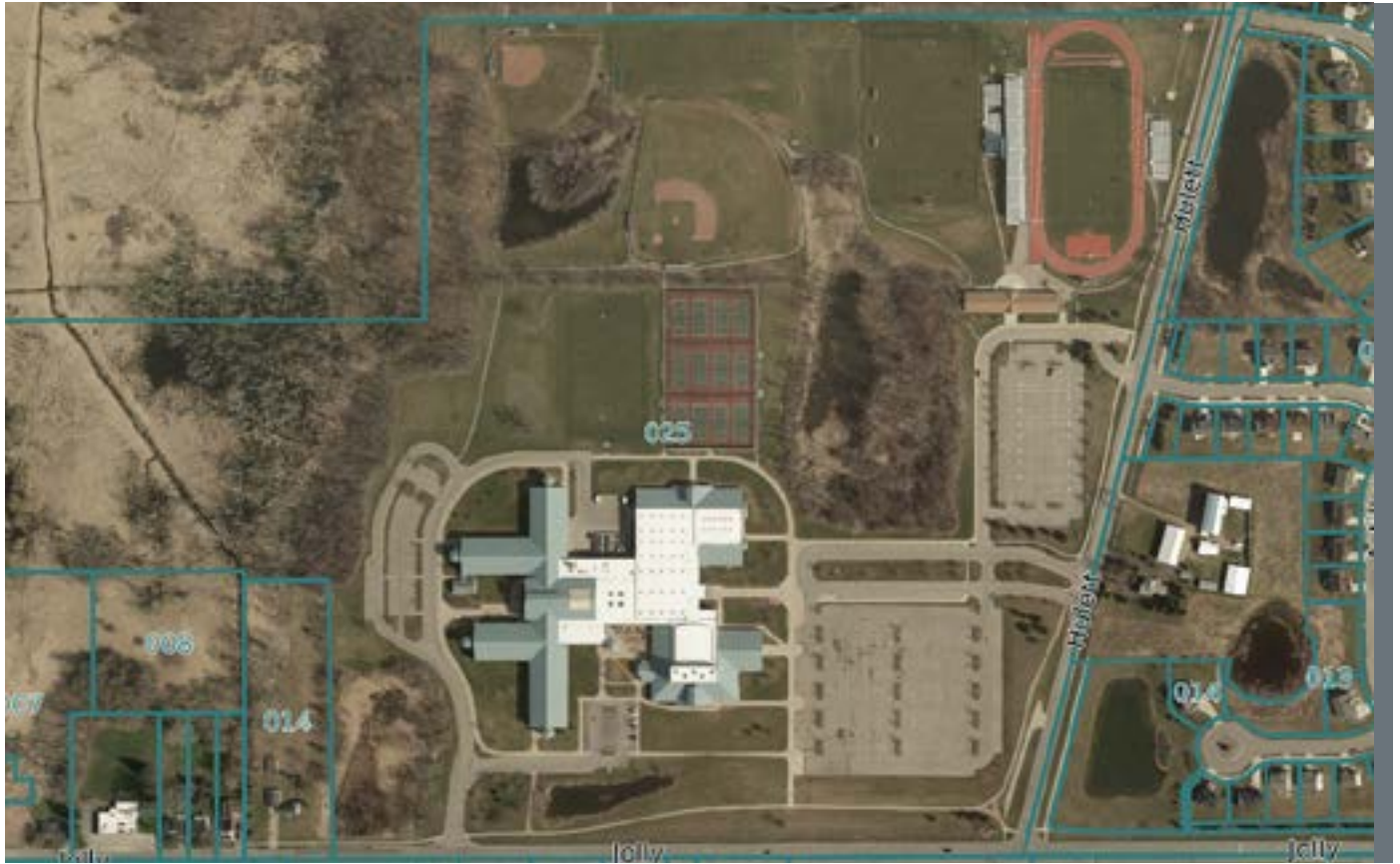
**OKEMOS HIGH
ATHLETICS**

10 OKEMOS HIGH ATHLETICS

Use:	District Athletics
Built:	1995
Additions + Renovations:	N/A
Total Building Area:	9,600 SF
Site Area:	23 Acres
Enrollment:	N/A
Square Footage per Student:	N/A
Renovation Cost:	\$8,950,347
Current Replacement Value [CRV]:	N/A
Facility Condition Index [FCI]:	N/A



10 OKEMOS HIGH ATHLETICS



10 OKEMOS HIGH ATHLETICS

OBSERVATION HIGHLIGHTS

SITE

Issue noted with ADA access/sidewalks from parking lots to fields complex. Long distance from parking lot to BB/SB/ Soccer fields and not currently ADA accessible. ADA safe access does not exist from High School to the Athletic complex. Football field has had recent turf and track updates. Tennis courts and perimeter fencing needs to be replaced. Baseball and Softball fields need new fencing and dugouts.

ARCHITECTURE

The athletic complex has a football field, track, bleachers and press box, tennis courts, varsity soccer field, baseball and softball fields and other fields for team practice. The complex's main building has a ticket booth for entry, two concession areas with small kitchens, team locker rooms, maintenance equipment garages and other storage areas. Asphalt shingles and exterior brick masonry walls are in good condition. Exterior hollow-metal doors and frame are in good condition. Focus for upgrades should be placed on both concession areas, ticket booth size and location, site perimeter fencing, and the overall appearance of exterior structural steel and canopy at the main entrance as you gain access to the complex.

INTERIORS

Interior locker room vinyl tile flooring in all locker rooms could be considered for replacement. Interior ceilings are in decent condition, ceiling pads could be considered for replacements and upgrades. Lockers are in functional and decent condition. Toilet room fixtures, including sinks, partitions, toilets and urinals could be considered for upgrades to new more efficient fixtures. Toilet room ceilings and wall and floor tile all in good condition.environment for staff or students.

MECHANICAL

Add building to BMS.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical system is in fair condition.

TECHNOLOGY

N/A

RECOMMENDATION SUMMARY

The athletic complex certainly has some strengths and some needs for improvement. The level of improvements necessary don't rise to the level of exploring a complete replacement or relocation of the facility. Although some components of the complex will require improvement it is not advisable to substantially change the general location of the individual components of the various athletic courts and fields.

10 OKEMOS HIGH ATHLETICS

DATA SHEETS

Facility Assessment

Building Name Okemos High School Athletic Complex

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

Athletic Complex	good	fair	poor	comments
Orientation		x		Athletic complex located on property adjacent (west of Huelett Rd.) to Okemos High School. Main parking lot located south of Athletic Complex entrance and building. Athletic complex building has (2) separate sides. Each side has mechanical space, locker rooms, bathrooms, storage areas for equipment and facilities maintenance. West side does have commercial/industrial laundry equipment for team uniforms and equipment. Athletic complex building has main entrance, gates, ticket booth and concessions location in breezeway between buildings. Walking directly through you enter football complex and field.
Concessions		x		(2) concessions locations in the athletic building (similar layout and equipment present at both locations). Warming (no cooking) kitchens currently. Floors, walls, ceilings, and countertops in good condition. Reference food service report prepared by JRA for concessions equipment.
Ticket Booth			x	Located in the middle of main entrance to complex. Octagonal shape building with adjacent gates. Building finishes match athletic complex. Brick/coiling doors and asphalt shingles to match adjacent buildings. Exterior Sill brick in need of repair. Facilities prefers to remove and relocate location of ticket booth.
Entrance		x		Main entrance drive (directly off Huelett Rd.) runs between athletic complex building entrance and main visitor parking lot. ADA parking access, safe access from parking lot to complex could be improved. Exposed structural steel at entrance canopy needs to be cleaned and refinished. Cracked concrete under covered entrance to be addressed
Mechanical Closets		x		Located on far west end and far east end of athletic complex buildings. (2) closets exist - serve each end of the complex where they are located. Hot Water Heater replaced in 2021 in west mech closet.
Bathroom(s)		x		Plumbing fixtures, tile, toilet partitions, showers, mirrors, countertops are all functional but dated. Consider updates.
Locker Rooms		x		Replace flooring, ceilings, and lighting. Walls and existing lockers in good condition. District mentioned they need more storage inside of athletic complex.
Fields			x	Issue noted with ADA access/sidewalks from parking lots to fields complex. Long distance from parking lot to BB/SB/Soccer fields and not currently ADA accessible. ADA safe access does not exist from High School to the Athletic complex. Football field has recent turf and track updates. Tennis courts and perimeter fencing needs to be replaced. Baseball and Softball fields need new fencing and dugouts.
Exterior Doors & Fencing			x	Consider exterior door replacement/rusted frames and doors. Most of the fencing (black chain link) needs to be removed and replaced.

10 OKEMOS HIGH ATHLETICS

Athletic Complex (CON'T)	Good	Fair	Poor	Comments
Scoreboard/lighting/WIFI			x	Consider upgrade/cleaning/ to signage and scoreboard at football field. Flagpoles located here. Brick piers and cast stone (clean). Scoreboard ok. WIFI service just added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields.
Bleachers		x		Newer bleachers at Football and Soccer fields. Asphalt pavement at bleachers is in poor condition.. Bleacher/seating/press box updates needed at BB and SB fields.
Fencing				Asphalt pavement heaving around concrete fence pole foundations at the football field. Need to address for visitor safety and appearance; Chain-link fence and gate at ticketed entrance needs to be replaced
Lighting		x		Uncertain of latest exterior lighting updates. Exterior lighting does exist at football and soccer field. Did not see exterior stadium lighting at BB/SB fields. Exterior fixtures need updates or bulb replacements.
Egress			x	ADA access present to bleachers of football field (once safely inside athletic complex). Condition of perimeter sidewalks and ADA access to Soccer/BB/SB fields is an issue and needs to be addressed. Replace perimeter asphalt and concrete walks. Perimeter asphalt paths around the athletic building need to be replaced and widened.
Press Box			x	The door to the press box is not aligned with an aisle - difficult to access when spectators are present. Needs a facelift or update. Sound equipment mounted to press box.
Roof Access		x		Present with perimeter fencing at press box. Looks like 2nd floor of press box has been taken out of service? Asphalt shingles look in good condition at main athletic complex building.

10 OKEMOS HIGH ATHLETICS

BUDGET DETAIL

ITEM #: 23		Gross Area:			
Okemos High School Athletic Complex					
					Total Cost
					\$ -
Orientation	Athletic complex located on property adjacent (west of Huelett Rd.) to Okemos High School. Main parking lot located south of Athletic Complex entrance and building. Athletic complex building has (2) separate sides. Each side has mechanical space, locker rooms, bathrooms, storage areas for equipment and facilities maintenance. West side does have commercial/industrial laundry equipment for team uniforms and equipment. Athletic complex building has main entrance, gates, ticket booth and concessions location in breeze way between buildings. Walking directly through you enter football complex and field.				\$ -
Athletic fields	No barrier free access from parking lot to the baseball and softball fields. Tennis court pavement is settling, cracking and heaving throughout. Baseball and Softball Dugout structures are in poor condition.	2	LOC	\$ 100,000.00	\$ 200,000
Athletic fields	Tennis court pavement is settling, cracking and heaving throughout - Assume Full Replacement of 12 courts - Asphalt courts	12	EA	\$ 250,000.00	\$ 3,000,000
Athletic fields	Baseball and Softball Dugout structures are in poor condition. - Assume new dugouts	4	EA	\$ 25,000.00	\$ 100,000
Fencing	District wants fencing replaced at athletic fields.			with items below	\$ -
Fencing	Replace Baseball Field Fencing - Includes new backstop	1,500	LF	\$ 40.00	\$ 60,000
Fencing	Replace Football Field Fencing	2,000	LF	\$ 32.00	\$ 64,000
Concessions	(2) concessions locations in the athletic building (similar layout and equipment present at both locations). Warming (no cooking) kitchens currently. Floors, walls, ceilings, and countertops in good condition. Reference food service report prepared by JRA for concessions equipment.	1	LS	\$ 100,000.00	\$ 100,000
Ticket Booth	Located in the middle of main entrance to complex. Octagonal shape building with adjacent gates. Building finishes match athletic complex. Brick/coiling doors and asphalt shingles to match adjacent buildings. Exterior Sill brick in need of repair. Facilities prefers to remove and relocate location of ticket booth.	1	LS	\$ 25,000.00	\$ 25,000
Entrance	Main entrance drive (directly off Huelett Rd.) runs between athletic complex building entrance and main visitor parking lot. ADA parking access, safe access from parking lot to complex could be improved. Exposed structural steel at entrance canopy needs to be cleaned and refinished. Cracked concrete under covered entrance to be adressed	1	LS	\$ 15,000.00	\$ 15,000
Mechanical Closets	Located on far west end and far east end of athletic complex buildings. (2) closets exists - serve each end of the complex where they are located. Hot Water Heater replaced in 2021 in west mech closet.				\$ -
Bathroom(s)	Plumbing fixtures, tile, toilet partitions, showers, mirrors, countertops are all functional but dated. Consider updates.	1	LS	\$ 100,000.00	\$ 100,000
Locker Rooms	Replace flooring. Replace ceilings. Walls and existing lockers in good condition. District mentioned they need more storage inside of athletic complex.	1	LS	\$ 50,000.00	\$ 50,000
Fields	Issue noted with ADA access/sidewalks from parking lots to fields complex. Long distance from parking lot to BB/SB/Soccer fields and not currently ADA accessible. ADA safe access does not exist from High School to the Athletic complex. Football field has recent turf and track updates. Tennis courts and perimeter fencing needs to be replaced. Baseball and Softball fields need new fencing and dugouts.	1	LS	\$ 500,000.00	\$ 500,000
Exterior Doors & Fencing	Consider exterior door replacement/rusted frames and doors. Most of the fencing (black chain link) needs to be removed and replaced.			with high school costs	\$ -
Scoreboard/lighting/WIFI	Consider upgrade/cleaning/ to signage and scoreboard at football field. Flagpoles located here. Brick piers and cast stone (clean). Scoreboard ok. WIFI service just added to the stadium complex in 2021. Scoreboards (small) do exist at Soccer/BB/SB fields.	1	LS	\$ 50,000.00	\$ 50,000
Bleachers	Newer bleachers at Football and Soccer fields. Asphalt pavement at bleachers is in poor condition.. Bleacher/seating/press box updates needed at BB and SB fields.	1	LS	\$ 100,000.00	\$ 100,000
Asphalt Paving	Asphalt pavement heaving around concrete fence pole foundations at the football field. Need to address for visitor safety and appearance; Chainlink fence and gate at ticketed entrance needs to be replaced	1	LS	\$ 50,000.00	\$ 50,000

10 OKEMOS HIGH ATHLETICS

Lighting	Uncertain of latest exterior lighting updates. Exterior lighting does exist at football and soccer field. Did not see exterior stadium lighting at BB/SB fields. Exterior fixtures need updates or bulb replacements.				\$ -
Egress	ADA access present to bleachers of football field (once safely inside athletic complex). Condition of perimeter sidewalks and ADA access to Soccer/BB/SB fields is an issue and needs to be addressed. Replace perimeter asphalt and concrete walks. Perimeter walks used by maintenance and facilities around the complex need to be replaced.		see item above		\$ -
Press Box	The door to the pressbox is not aligned with an aisle - difficult to access when spectators are present. Needs a facelift or update. Sound equipment mounted to press box.		LS	\$ 78,000.00	\$ 78,000
Roof Access	Present with perimeter fencing at press box. Looks like 2nd floor of press box has been taken out of service? Asphalt shingles look in good condition at main athletic complex building.				\$ -
					\$ -
					\$ -
Direct Trade					\$ 4,492,000

10 OKEMOS HIGH ATHLETICS



Main entrance at complex



Football field scoreboard



Athletic building aux space - mech and facilities storage



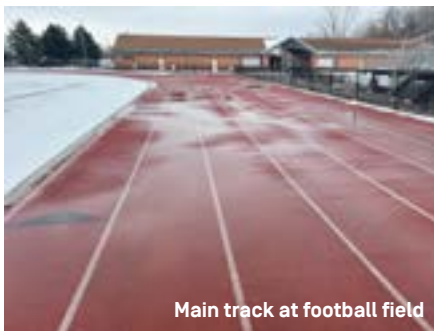
Perimeter fencing at football field



Main concessions location



Toilet room in locker room



Main track at football field



Team locker room

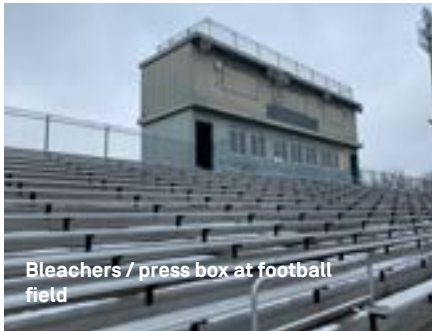
10 OKEMOS HIGH ATHLETICS



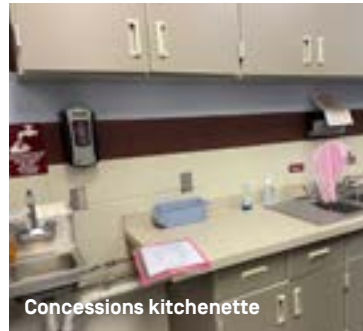
Football field scoreboard



Pavement / fence condition at football field bleachers



Bleachers / press box at football field



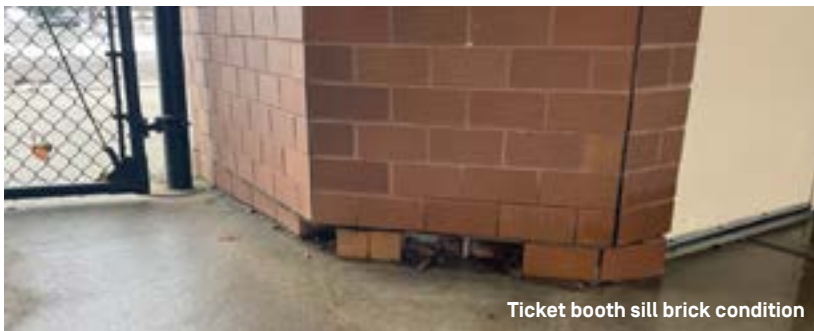
Concessions kitchenette



Main entrance to the complex

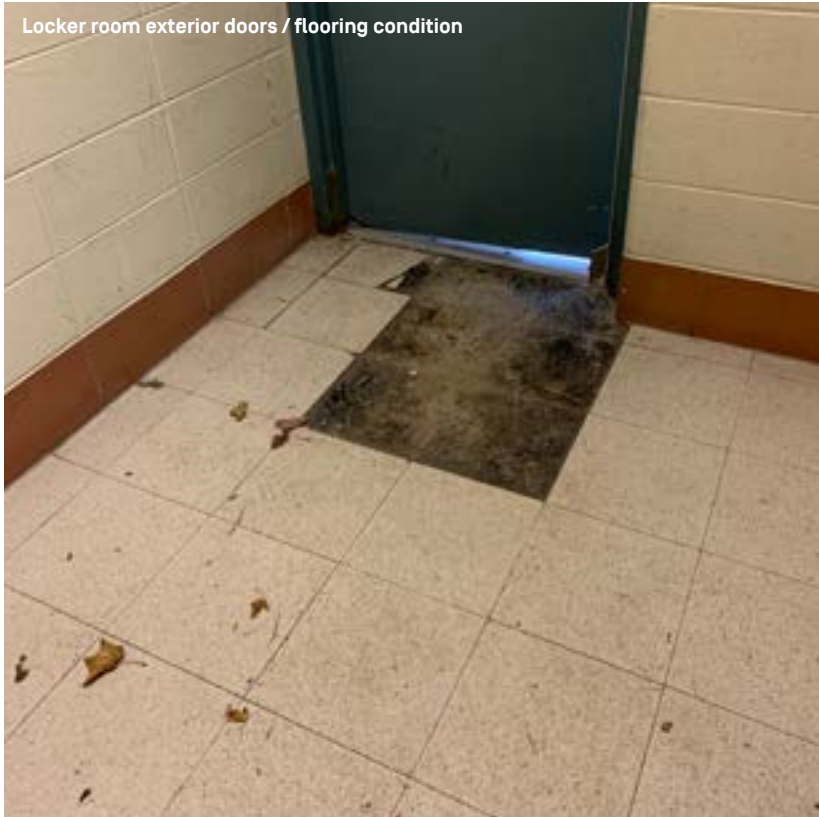


Exterior (west end) - grade beyond sidewalk



Ticket booth sill brick condition

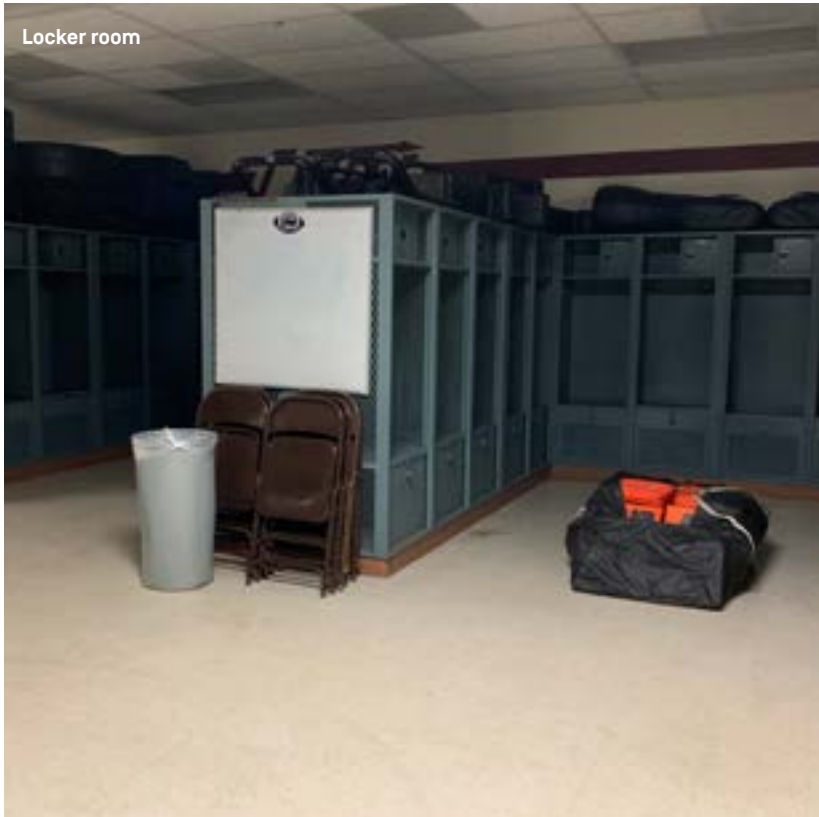
10 OKEMOS HIGH ATHLETICS



Locker room exterior doors / flooring condition



Locker room showers



Locker room



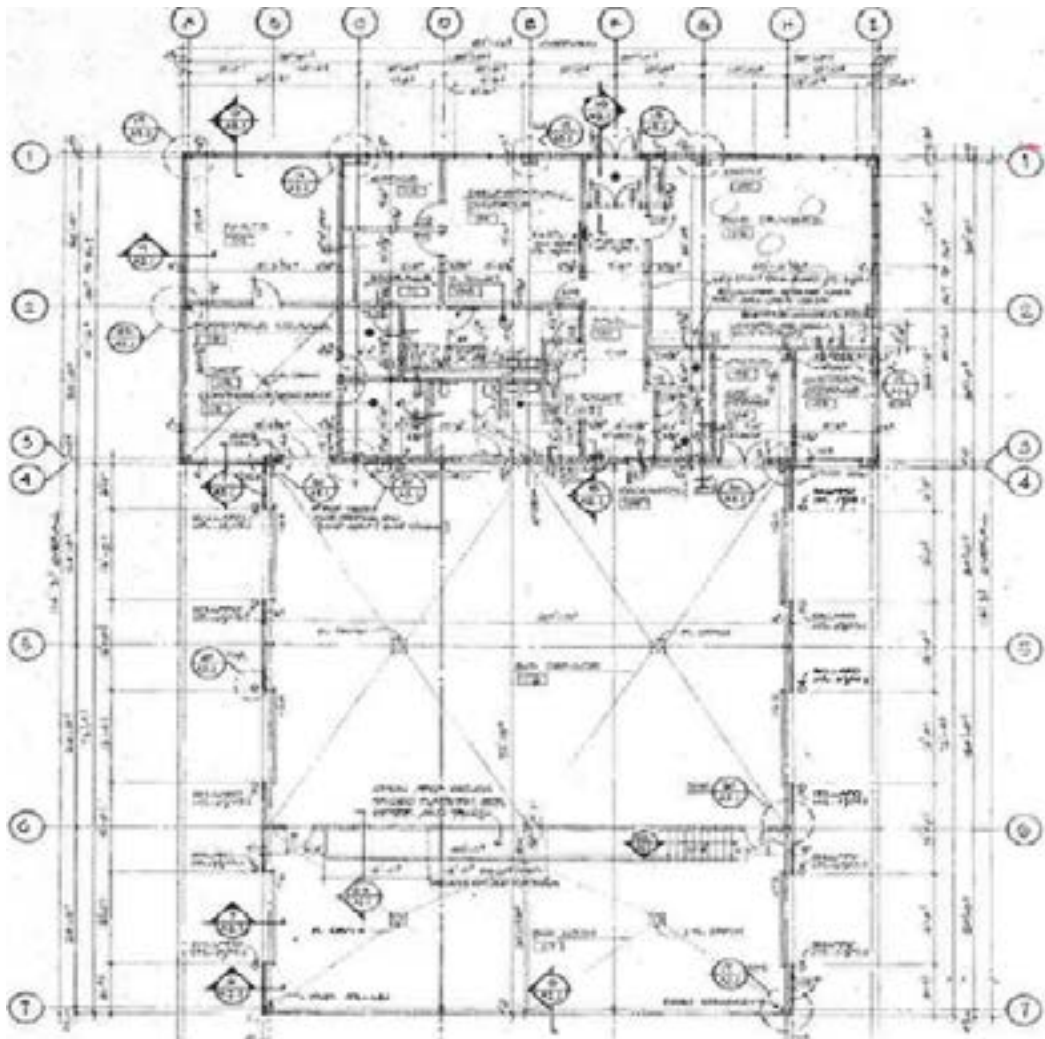
Concessions kitchen

11

TRANSPORTATION BUILDING

11 TRANSPORTATION BUILDING

Use:	Bus Service + Transportation
Built:	1993
Additions + Renovations:	N/A
Total Building Area:	8,000 SF
Site Area:	15 Acres
Enrollment:	N/A
Square Footage per Student:	N/A
Renovation Cost:	\$1,456,711
Current Replacement Value [CRV]:	\$2,000,000
Facility Condition Index [FCI]:	73%



11 TRANSPORTATION BUILDING



11 TRANSPORTATION BUILDING



OBSERVATION HIGHLIGHTS

SITE

Fuel storage should be relocated from underground storage tanks to above grade onsite with a new open canopy for protection.

ARCHITECTURE

The facility is secure and has an enclosed gated perimeter. The bus fleet ranges from 20-30 active buses in use during the school year. The buses sit north of the building in a parking lot, not covered, with site lighting and dedicated electrical power for winter engine requirements. The main garage has (3) bays and corresponding two sided egress totaling (6) garage doors. (2) bays are dedicated for service with the last bay dedicated for washing. District expressed interest in updating the exterior appearance of vertical corrugated siding on the exterior of the building. Some signs of rust and deterioration present at the sill condition around the perimeter of the building. Interest in redesign of exterior north entrance with possibility of adding covered canopy and upgrades to meet current ADA barrier free standards for access of sidewalks. All aluminum exterior doors and frames in good condition at offices, district had not included this facility in recent updates to access control. Hollow metal doors and frames at garage locations need to be removed and replaced due to heavy use, functionality and rust present from winter salt application. Garage doors conditions deteriorating, district interest in new operators for all six door locations.

INTERIORS

The facility has a command center with dispatch area, break rooms and toilet rooms for employees, and a garage for maintenance. Interior flooring, including all carpet and tile, at the main offices, employee break area and toilet rooms all in good condition. Toilet room fixtures in good condition and ADA barrier free compliance also acceptable based on our site visit. District interested in improving current appliances and kitchenette area at employee break area.

MECHANICAL

Replace unit heaters, rooftop unit (4-ton), and make-up air units (3-4,300 cfm, 2-1,100 cfm). All exhaust fans need to be replaced. Upgrade DDC system. Add trench drain to bus service area. Replace water heater and plumbing fixtures.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical panels are in fair condition.

TECHNOLOGY

N/A

RECOMMENDATION SUMMARY

This building is a good candidate for renovations and should be considered to keep online as an operational facility. Some minor to moderate renovations are recommended to improve the facility to a "good" condition.

11 TRANSPORTATION BUILDING

DATA SHEETS

Facility Assessment

Building Name Bus Garage

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE	Good	Fair	Poor	comments
Drainage	x			
Asphalt Parking/ Drives		x		Entrance drive, staff parking lot and facility lot repaved in 2016. Some patchy/cracks present in select areas but overall condition in good shape.
Sidewalks		x		No ADA access into the building.
Adequate Parking	x			
Bus Loop	x			Open lot for (22) Bus fleet. Site lighting and pole mounted electrical service currently installed for block heaters. District mentioned desire to add canopy for exterior bus protection and coverage (Ref: Portland Schools example).
Landscaping			x	Landscaping around the building needs improvement.
Irrigation Systems				N/A - not present
Fencing	x			Main vehicle egress gate operated by driver remotes.
Signage				
Dumpster Location		x		One dumpster present on exterior (north of fueling tanks).
Traffic Directions	x			
Parking Lot Lighting				To be replaced with LED fixtures by the district
Security		x		Exterior wall mounted cameras present. District has discussed system wide upgrades across the district.
Fuel Storage			x	Located on west side of facility in parking lot. Underground fuel (Gas and Diesel) requires monthly environmental inspections and expense. District would prefer to remove underground tanks and relocate above grade onsite with new open canopy for protection.
Fuel Stations		x		Curb/platform mounted units for gas and diesel. Operated by exterior keypad access. Appear to be older, more signs of use on gas unit. Fire extinguisher mounted on site lighting

ARCHITECTURAL	Good	Fair	Poor	comments
Building Shell				
Roofing	x			Built in 1993. Roof replaced over office area in 2014. Additional repair work done on gutters and downspouts in 2014. Office building has flat/PVC membrane roof, garage has sloped insulated metal roof. Some evidence of leaks inside office building. No issues reported or seen in garage under metal roof.
Exterior Windows	x			Good condition at office building. Aluminum framed/insulated glass units with operable vents/integral blinds and interior screens. No exterior windows on main garage area. Window lights for visibility and daylight on garage doors.

11 TRANSPORTATION BUILDING

ARCHITECTURAL (CON'T)	good	fair	poor	comments
Positive Drainage		x		No major issues noted around the perimeter of the building. Building could use maintenance strip around office building. Building could use update/removal of existing landscaping.
Defined Entry		x		Main Entrance on north elevation - sidewalks are not ADA compliant and the condition of the concrete is beginning to deteriorate. Cracks/heaving/expansion all present. Improvement to sidewalks (approach design and ADA requirements) should be updated.
Accessibility			x	Exterior ADA accessibility to complex is not up to current codes. Sidewalks/curbs/doors/automatic operator hardware all need to be incorporated to meet current guidelines.
Fascia/Soffits	x			No soffits/canopies present around the perimeter of the building. Canopies desired at fueling location/ bus parking / and main entry to office.
Prefab. Metal Building Structure		x		Prefabricated metal building structure with vertical corrugated metal siding (insulated at both office and garage). CMU interior back-up at office only. Signs of rust at base of building. Recommend repair and repaint.
Caulk Joints		x		Present only at exterior door frame locations. Doors and frames (2 locations only) damaged from age/salt/rust at maintenance garage area and should be replaced.
Water Stains			x	Exterior vertical corrugated siding has exposed rust and deterioration around the perimeter of the building. Worst locations located on north elevation at office building. Siding bears on steel angle that is also rust and contributing to rust on siding.
Exterior Doors		x		Exterior pair of doors at main entry (aluminum frame) is good condition. Want to add key card electronic hardware access to main entrance doors. Hollow metal doors and frames at maintenance garage exterior should be removed and replaced (rust present at bottom of door and frame).
Vestibule Entries	x			Vestibule pair of doors only at main entrance to office space. These aluminum doors are in good condition but no operators for ADA present. Add walk off mats at this location.
Exterior Light	x			District currently in progress with bulb replacements at all current exterior site fixtures. LED replacements.

INTERIORS / FINISHES	good	fair	poor	comments
Corridors				
Lights		x		Update.
Flooring		x		12x12 VCT to be replaced. Walk off CPT preferred at door.
Ceiling/Walls		x		Sagging ceiling tiles to be replaced
Lockers			x	Small bank of lockers in break area - remove and replace.
Doors	x			Wood doors (with light kits) - good condition. No electronic locking hardware update at this facility. Hollow metal interior frames in good condition.
Emergency Egress		x		No issues reported other than ADA updates required. Select areas has fire suppression.
Toilet Rooms				
Fixtures Operational		x		Original, no issues reported but ready for upgrade.
Toilet Partitions		x		Original, clean, functional.
Walls		x		Original wall tile along with painted CMU present above tile to ceiling. Toilet Rooms ready for finishes upgrades.

11 TRANSPORTATION BUILDING

INTERIORS / FINISHES (CON'T)				comments
	good	fair	poor	
Floors		x		Original tile (2x2). Floors and walls could be updated along with fixtures. Could entertain same finish updates as seen recently at other buildings in the district.
Floor Drains		x		No issues with floor drains reported.
Lighting		x		Original fixtures, could be replaced for better performance, lighting and adding controls.
Ceilings		x		Gypsum ceilings, no issues reported, ready for repair and fresh coat of paint.
Mirrors		x		Original, dated, ready for replacement.
ADA Accessible			x	Grab bars present both mounting heights /locations of toilet paper holders not correct. Would need to be corrected.
Adequate Size	x			Yes, no issues with size. shower currently in Men's restroom, but not one located in Women's restroom.
Offices				
Flooring		x		Carpet to be replaced in offices. 12x12 VCT throughout corridors, break room and storage rooms to be replaced.
Furniture		x		Update.
Walls / Ceilings		x		Ceiling tiles to be replace(recommend replacing grid with a 2x2 grid). Replace other light fixtures/diffusers. CMU walls in good condition.
Casework	x			
Marker/Chalkboards	x			
Phone System	x			No issues reported with dispatch operator system.
Lighting		x		Fixture updates preferred.
General Note				Storage closet, Janitorial closet, Break Room, Main office, Director office all present on interior of office space. Office has electrical service, gas service and large antenna all located along the east elevation of the building.
Visibility	x			Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility.
Accessibility			x	Some concerns noted around accessibility inside/outside building
Shop				
Size	x			No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing.
Flooring		x		Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room.
Ceilings	x			No issues noted with steel/insulated metal roof panels. Small fans present
Doors		x		Corrosion at base of HM frames in some locations - Recommend replacement
Lighting	x			New light fixture upgrades recently completed by district.
Tire Storage		x		Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced.
HVAC/Ventilation		x		Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Rooftop unit mounted above office space.
Garage Doors			x	(6) Original doors and operators. Having issues operating doors recently. Some exposed gasketing/ worn seals/draft areas present. Good candidate for new operators and possible new doors as well.
Roof		x		Sloped metal insulated panel roof, no leaks present or noted. Exterior gutters and downspouts present.

11 TRANSPORTATION BUILDING

INTERIORS / FINISHES (CON'T)	Good	Fair	Poor	comments
Waste Oil Tank			x	Need new waste oil tank (produce 350 gallons of waste oil per year. Tank mounted on west elevation outside garage.
Vehicle Exhaust		x		No issues reported by staff onsite.
Mechanical Lifts		x		New, mobile hydraulic lifts located in garage
Wash Bay		x		Has carbon monoxide monitoring unit wall mounted. Has stairs/platform to assist with washing. Unit Heaters need to be replaced in this bay. Floor drains need to be replaced.
Accessibility		x		Ramp into Shop - confirm with Barrier Free requirements
Other	x			Flammable storage located near tool shop in garage. Room is protected with fire suppression coverage.
Break Room				
Seating		x		Update furniture - round tables and chairs present in break room
Equipment		x		Standard Fridge, sink, cabinets, toaster, cabinets and lockers present in room. Should all be updated - plenty of space available in break room for updates. Employee appreciation opportunity here.
Casework		x		Casework in good condition. Additional casework / counter space would be beneficial for microwave/refrigerator / coffee maker
Ceilings/Walls		x		Ceilings (2x4 tiles and fixtures) in ok condition but office area is ready for ceilings/fixtures update. Interior CMU with aluminum framed windows. Good condition. Rubber floor base and paint updates preferred.
Floors		x		12x12 VCT ok condition but ready for flooring upgrade.
Lighting		x		Update original fixtures.

MECHANICAL	Good	Fair	Poor	comments
Heating Source and Condition			X	Building is served by gas-fired equipment. Interested in waste oil heat (use around 350 gallons per year).
Heating Pumps and Piping				N/A.
Cooling Source and Condition			X	Individual DX cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices			X	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters. (6) 200 MBH UH's, (1) 2 kW electric UH
AHUs and RTUs			X	4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired, not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life.
Ventilation			X	All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF.
Building Management System/Controls			X	Trane 4-ton RTU is only thing on Trane BMS.
Domestic Water Piping			X	No known piping issues. Floor drains in Garage don't collect properly.
Water Heaters			X	Building is served by a 50 gallon, 50 MBH water heater and is at end of life.
Plumbing Fixtures			X	All plumbing fixtures are at end of life.
Fire Protection				N/A.
Pool equipment				N/A.

ELECTRICAL	Good	Fair	Poor	comments
Transformer size	x			
Primary/Secondary Service	x			
Generator				There is no generator on site.
Occupancy Sensors				N/A
Lighting Control System			x	Toggle switches. Needs updating.

11 TRANSPORTATION BUILDING

ELECTRICAL (CON'T)	good	fair	poor	comments
Panels	x			Majority of panels are in good shape.
Panel Clearance	x			Need to remove storage items.
Fire Alarm	x			Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)
Interior Lighting			x	Fluorescent fixtures throughout need to be replaced.
Exit Sign			x	Exit signs are very old and letters are dim.

11 TRANSPORTATION BUILDING

BUDGET DETAIL

ITEM #: 19		Acres: 15	
Transportation Building - Sitework			
Sitework	SITWORK		Total Cost
Drainage			\$ -
Asphalt Parking/ Drives	Entrance drive, staff parking lot and facility lot repaved in 2016. Some patchy/cracks present in select areas but overall condition in good shape.		assume work not required \$ -
Sidewalks	No ADA access into the building.	I LS	\$ 25,000.00 \$ 25,000
Adequate Parking			\$ -
Bus Loop	Open lot for (22) Bus fleet. Site lighting and pole mounted electrical service currently installed for block heaters. District mentioned desire to add canopy for exterior bus protection and coverage (Ref: Portland Schools example).		\$ -
Playgrounds			\$ -
Student Drop off Area			\$ -
Landscaping	Landscaping around the building needs improvement.	I LS	\$ 25,000.00 \$ 25,000
Irrigation Systems	N/A - not present		\$ -
Athletic fields	N/A - not present		\$ -
Fencing	Main vehicle egress gate operated by driver remotes.		\$ -
Service Entrance			\$ -
Signage			\$ -
Dumpster Location	One dumpster present on exterior (north of fueling tanks).		\$ -
Traffic Directions			\$ -
Parking Lot Lighting	To be replaced with LED fixtures by the district		assume by owner \$ -
Retaining Walls			\$ -
Security	Exterior wall mounted cameras present. District has discussed system wide upgrades across the district.		\$ -
Fuel Storage	Located on west side of facility in parking lot. Underground fuel (Gas and Diesel) requires monthly environmental inspections and expense. District would prefer to remove underground tanks and relocate above grade onsite with new open canopy for protection.	excluded	
Fuel Storage	add canopy for 2 buses	excluded	
Fuel Stations	Curb/platform mounted units for gas and diesel. Operated by exterior keypad access. Appear to be older, more signs of use on gas unit. Fire extinguisher mounted on site lighting		\$ -
			\$ -
			\$ -
Direct Trade		15 acres	\$ 3,333.33 \$ 50,000

11 TRANSPORTATION BUILDING



ITEM #: 20		Gross Area:		8,000	
Transportation Building - Building Improvements					
	Description	Quantity	UOM	Unit Cost	Total Cost
Building Shell	BUILDING SHELL				\$ -
Roofing	Built in 1993. Roof replaced over office area in 2014. Additional repair work done on gutters and downspouts in 2014. Office building has flat/PVC membrane roof, garage has sloped insulated metal roof. Some evidence of leaks inside office building. No issues reported or seen in garage under metal roof.			assume work not required	\$ -
Exterior Windows	Good condition at office building. Aluminum framed/insulated glass units with operable vents/integral blinds and interior screens. No exterior windows on main garage area. Window lights for visibility and daylight on garage doors.			assume work not required	\$ -
Positive Drainage	No major issues noted around the perimeter of the building. Building could use maintenance strip around office building. Building could use update/removal of existing landscaping.				\$ -
Defined Entry	Main Entrance on north elevation - sidewalks are not ADA compliant and the condition of the concrete is beginning to deteriorate. Cracks/heaving/expansion all present. Improvement to sidewalks (approach design and ADA requirements) should be updated.				\$ -
Accessibility	Exterior ADA accessibility to complex is not up to current codes. Sidewalks/curbs/doors/automatic operator hardware all need to be incorporated to meet current guidelines.	1	LS	\$ 50,000.00	\$ 50,000
Fascia/Soffits	No soffits/canopies present around the perimeter of the building. Canopies desired at fueling location/ bus parking / and main entry to office.				\$ -
Maintenance Room Entry					\$ -
Prefab. Metal Building Structure	Prefabricated metal building structure with vertical corrugated metal siding (insulated at both office and garage). CMU interior back-up at office only. Signs of rust at base of building. Recommend repair and repaint.	1,600	SF	\$ 105.00	\$ 168,000
Brick	No brick/stone present. Interior CMU wall construction at office location.				\$ -
EIFS Fascia/Soffits	NA				\$ -
Caulk Joints	Present only at exterior door frame locations. Doors and frames (2 locations only) damaged from age/salt/rust at maintenance garage area and should be replaced.	1	LS	\$ 5,000.00	\$ 5,000
Water Stains	Exterior vertical corrugated siding has exposed rust and deterioration around the perimeter of the building. Worst locations located on north elevation at office building. Siding bears on steel angle that is also rust and contributing to rust on siding.	1	LS	\$ 15,000.00	\$ 15,000
Exterior Doors	Exterior pair of doors at main entry (aluminum frame) is good condition. Want to add keycard electronic hardware access to main entrance doors. Hollow metal doors and frames at maintenance garage exterior should be removed and replaced (rust present at bottom of door and frame).	1	LS	\$ 10,000.00	\$ 10,000
Vestibule Entries	Vestibule pair of doors only at main entrance to office space. These aluminum doors are in good condition but no operators for ADA present. Add walk off mats at this location.	1		\$ 7,500.00	\$ 7,500
Exterior Lighting	District currently in progress with bulb replacements at all current exterior site fixtures. LED replacements.			assume by owner	\$ -
General Note					\$ -
					\$ -
	INTERIORS				\$ -
Walls	Paint/refresh entire building	8,000	SF	\$ 1.50	\$ 12,000
Corridors	Corridors	290	SF		\$ -
Lighting	Update.	290	SF	\$ 7.50	\$ 2,175
Flooring	12x12 VCT - ready for upgrade. Walk off mats preferred by district.	32.22	SY	\$ 63.54	\$ 2,047
Ceilings/Walls	Sagging ceiling tiles to be replaced				\$ -
Heatng	Add diffuser and grilles with new ceilings	290	SF	\$ 0.62	\$ 180
Lockers	Small bank of lockers in break area - remove and replace.	6	EA	\$ 300.00	\$ 1,800
Doors	Wood doors (with light kits) - good condition. No electronic locking hardware update at this facility. Hollow metal interior frames in good condition.	20	EA	\$ 1,000.00	\$ 20,000
Size of Corridor					\$ -
Flow of Corridor					\$ -
Emergency Egress	No issues reported other than ADA updates required. Select areas has fire suppression.				\$ -
Interior Signage	Interior signage	8,000	SF	\$ 0.55	\$ 4,400
Toilet Rooms	Toilet Rooms	310	SF		\$ -
Fixtures Operational	Original, no issues reported but ready for upgrade.				\$ -



11 TRANSPORTATION BUILDING

Toilet Partitions	Original, clean, functional.			assume work not required	\$	-
Walls	Original wall tile along with painted CMU present above tile to ceiling. Toilet Rooms ready for finishes upgrades.	310	SF	\$	4.00	\$ 1,240
Floors	Original tile (2x2). Floors and walls could be updated along with fixtures. Could entertain same finish updates as seen recently at other buildings in the district.	1	LS	\$	3,500.00	\$ 3,500
Floor Drains	No issues with floor drains reported.					\$ -
Lighting	Original fixtures, could be replaced for better performance, lighting and adding controls.	310	SF	\$	8.00	\$ 2,480
Heating	Add diffuser and grilles with new ceilings	310	SF	\$	0.50	\$ 155
Hand Dryers						\$ -
Ceilings	Gypsum ceilings, no issues reported, ready for repair and fresh coat of paint.			with item above		\$ -
Mirrors	Original, dated, ready for replacement.					\$ -
ADA Accessible	Grab bars present both mounting heights /locations of toilet paper holders not correct. Would need to be corrected.	1	LS	\$	5,000.00	\$ 5,000
Adequate Size	Yes, no issues with size. shower currently in Men's restroom, but not one located in Women's restroom.					\$ -
Offices	Offices	1,274	SF			\$ -
Flooring	Carpet - replace is offices. 12x12 VCT throughout corridors, break room and storage rooms - ready for replacement (add walk off mats).	141.56	SY	\$	63.54	\$ 8,994
Furniture	Update.					\$ -
Walls/Ceilings	Ceiling tiles to be replace(recommend replacing grid with a 2x2 grid). Replace other light fixtures/diffusers. CMU walls in good condition.	1,274	SF	\$	12.00	\$ 15,288
Casework				assume work not required		
Marker/Chalkboards	N/A					
Walls						
Phone System	No issues reported with dispatch operator system.					\$ -
Lighting	Fixture updates preferred.	1,274	SF	\$	8.00	\$ 10,192
Heating	Add diffuser and grilles with new ceilings	1,274	SF	\$	0.42	\$ 540
Copy/Work Room						\$ -
Meeting Rooms						\$ -
Coffee Break Area						\$ -
General Note	Storage closet, Janitorial closet, Break Room, Main office, Director office all present on interior of office space. Office has electrical service, gas service and large antenna all located along the east elevation of the building.					\$ -
Visibility	Not bad for office space, no issues reported by head of maintenance with vehicles entering/exiting the facility.					\$ -
Accessibility	Some concerns noted around accessibility inside/outside building					\$ -
Shop	Shop					\$ -
Size	No issues reported on need for facility expansion. Shop has (2) large interior maintenance bays, (1) additional dedicated bay for washing.					\$ -
Flooring	Exposed concrete slab. Need to install new trench drains and floors drains. Issues with slope to drain in main garage/wash bay area/tools room.	1	LS	\$	35,000.00	\$ 35,000
Ceilings	No issues noted with steel/insulated metal roof panels. Small fans present					\$ -
Doors	Corrosion at base of HM frames in some locations - Recommend replacement	1	LS	\$	25,000.00	\$ 25,000
Lighting	New light fixture upgrades recently completed by district.					\$ -
Tire Storage	Facility has tire (new/used) storage room on exterior with overhead door. Natural gas and fire suppression feed located in this room on east side of building. Overhead door should be repaired or replaced.					\$ -
HVAC/Ventilation	Multiple Unit Heaters (older) present for heat. Had issues onsite operating main exhaust fan in garage. Building need to be recommissioned and further investigated with Testing and Balancing contractor. Mentioned issue with controls/temperature of warm air being provided to tool and part storage room by Rooftop unit mounted above office space.					\$ 6,000
Garage Doors	(6) Original doors and operators. Having issues operating doors recently. Some exposed gasketing/ worn seals/draft areas present. Good candidate for new operators and possible new doors as well.	6	EA	\$	7,500.00	\$ 45,000
Roofing	Sloped metal insulated panel roof, no leaks present or noted. Exterior gutters and downspouts present.			assume work not required		\$ -
Waste Oil Tank	Need new waste oil tank (produce 350 gallons of waste oil per year. Tank mounted on west elevation outside garage.	1	EA	\$	15,000.00	\$ 15,000
Vehicle Exhaust	No issues reported by staff onsite.					\$ -
Mechanical Lifts	New, mobile hydraulic lifts located in garage					\$ -

11 TRANSPORTATION BUILDING

Wash Bay	Has carbon monoxide monitoring unit wall mounted. Has stairs/platform to assist with washing. Unit Heaters need to be replaced in this bay. Floor drains need to be replaced.					\$	-
Accessibility	Ramp into Shop - confirm with Barrier Free requirements					\$	-
Other	Flammable storage located near tool shop in garage. Room is protected with fire suppression coverage.					\$	-
Break Room	Break Room			SF		\$	-
Seating	Update furniture - round tables and chairs present in break room					\$	-
Equipment	Standard Fridge, sink, cabinets, toaster, cabinets and lockers present in room. Should all be updated - plenty of space available in break room for updates. Employee appreciation opportunity here.					\$	-
Casework	Casework in good condition. Additional casework / counter space would be beneficial for microwave/refrigerator / coffee maker	I	ALLOW	\$	15,000.00	\$	15,000
Ceilings/Walls	Ceilings (2x4 tiles and fixtures) in ok condition but office area is ready for ceilings/fixtures update. Interior CMU with aluminum framed windows. Good condition. Rubber floor base and paint updates preferred.	1,874	SF	\$	14.50	\$	27,173
Cooler/Freezer						\$	-
Floors	12x12 VCT ok condition but ready for flooring upgrade.					\$	-
Delivery Space						\$	-
Storage Space						\$	-
Kitchen Hood						\$	-
Make-up Air						\$	-
Serving Line						\$	-
Electrical						\$	-
Lighting	Update original fixtures.	1,874	SF	\$	8.00	\$	14,992
Heating	Add diffuser and grilles with new ceilings	1,874	SF	\$	0.50	\$	937
Secured						\$	-
Fire Suppression/FA						\$	-
Overall						\$	-
MECHANICAL							
Heating Source and Condition	Building is served by gas-fired equipment. Interested in waste oil heat (use around 350 gallons per year).				covered with other item	\$	-
Heating Pumps and Piping	N/A.					\$	-
Cooling Source and Condition	Individual DX cooling.					\$	-
Cooling Pumps and Piping	N/A.					\$	-
Terminal Devices	Bus wash, storage rooms, and main Bus Garage are served by gas-fired unit heaters.				covered with other item	\$	-
AHUs and RTUs	4-ton Gas-fired/DX RTU serves the front office and is at end of life. (3) MUA units serve the Garage (4,300 cfm direct-fired), Storage (1,100 cfm indirect fired,not working), and Paint (1,100 cfm indirect fired, not working) areas and are at end of life.	I	LS	\$	70,000.00	\$	70,000
Ventilation	All exhaust is at end of life. CO alarm system works but at end of life. (2) 500 cfm EF, (1) 630 cfm EF, (1) 100 cfm EF, (2) 250 cfm EF, (1) 1,050 cfm EF, (1) 4,300 cfm EF, (1) 2,300 cfm EF, and (1) 1,600 cfm EF.	I	LS	\$	15,500.00	\$	15,500
Building Management System/Controls	Trane 4-ton RTU is only thing on Trane BMS.	I	EA	\$	10,000.00	\$	10,000
Domestic Water Piping	No known piping issues. Floor drains in Garage don't collect properly.					\$	-
Water Heaters	Building is served by a 50 gallon, 50 MBH water heater and is at end of life.	I	EA	\$	8,000.00	\$	8,000
Plumbing Fixtures	All plumbing fixtures are at end of life.	I	LS	\$	20,000.00	\$	20,000
Fire Protection	N/A.					\$	-
Pool equipment	N/A.					\$	-
ELECTRICAL							
Generator	There is no generator on site.					\$	-
Lighting	Misc. areas unaccounted for		SF	\$	7.00	\$	-
Occupancy Sensors	N/A					\$	-
Lighting Control System	Toggle switches. Needs updating.	8,000	SF	\$	1.50	\$	12,000
Panels	Majority of panels are in good shape.					\$	-
Panel Clearance	Need to remove storage items.					\$	-
Fire Alarm	Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)					\$	-
Lighting	Fluorescent fixtures throughout need to be replaced.				in areas above	\$	-
Exit Signs	Exit signs are very old and letters are dim.				in areas above	\$	-
Branch		8,000	SF	\$	2.00	\$	16,000
Direct Trade		8,000 sf		\$	85.14	\$	681,094

11 TRANSPORTATION BUILDING



Bus Parking



Transportaiton building



Typical Restroom



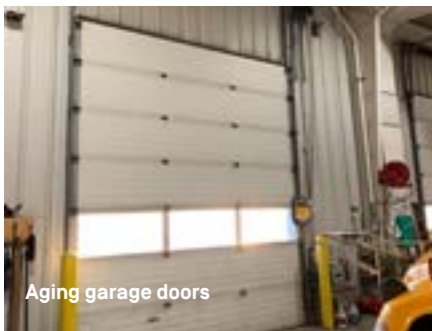
Sagging, damaged ceiling tiles



Corrosion at base of door frame



Ramp is not ADA compliant



Aging garage doors



Corrosion at base of metal siding and door frame

11 TRANSPORTATION BUILDING

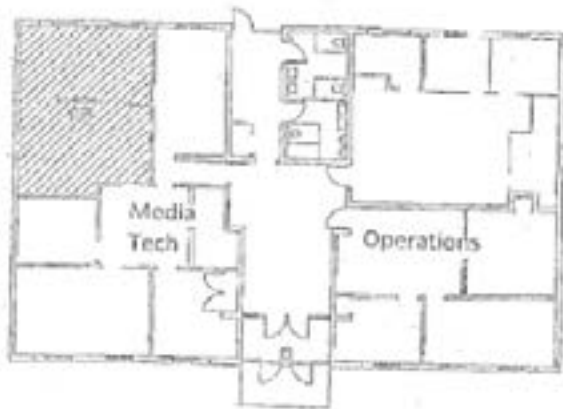


12 DISTRICT OPERATIONS



12 DISTRICT OPERATIONS

Use:	Operations / Technology Maintenance
Built:	1975
Additions + Renovations:	N/A
Total Building Area:	6,000 SF / Building
Site Area:	East of Administration Building
Enrollment:	N/A
Square Footage per Student:	N/A
Renovation Cost:	\$5,930,892
Current Replacement Value (CRV):	\$4,500,000
Facility Condition Index (FCI):	132%



12 DISTRICT OPERATIONS



12 DISTRICT OPERATIONS

OBSERVATION HIGHLIGHTS

SITE

AM/PM - Parent drop-off loop circles/surrounds these structures. Multiple dumpsters located between technology/maintenance builds & the central montessori building.

ARCHITECTURE

Located on the Central Admin/Montessori school campus directly off Okemos Road, [3] separated buildings are positioned off the east elevation of the school. Most facilities date back to the 1970's. It was noted that below-grade tunnel access exists for utilities to each of these buildings from the main Administration building mechanical room. The building positioned closest to the school is a dedicated maintenance outpost with vehicle parking, small offices and workshops for small repairs. The next building, positioned furthest to the southeast, was once the print shop for the district. This building is offline with no functional heating/cooling/domestic services. This building also serves as additional maintenance storage for the district. The third and last building houses district mail distribution, offices for the facilities staff (including Director of Operations Mark Fargo), and the main information technology suite for the district. The building has a dedicated generator and liebert cooling unit for the IDF room that houses the main servers for the district. IT has a few offices for their staff used both for troubleshooting repairs and meetings.

INTERIORS

If all of these buildings are salvaged and kept in service for the future, the following list of items should be considered for replacement to keep up with current standards; remove and replace all flooring, casework, furniture, ceilings, perimeter windows and framing, and all exterior doors and frames at the operations location. Similar comments could be made for the grounds building and maintenance storage building which does not have any finished office space but would need the remainder of updates mentioned above including renovations to the current toilet rooms.

MECHANICAL

Replace all exhaust fans, water heaters, and plumbing fixtures.

ELECTRICAL

Interior and exterior lighting fixtures are fluorescent or in poor condition and need to be replaced. Exterior lighting is minimal and could use more lighting. Exit signs have faded lettering and need to be replaced. All interior lighting controls are toggle switches and need to be updated to modern controls and better energy efficiency. The majority of the electrical panels are in fair condition.

TECHNOLOGY

Synchronized clock system does not exist. Paging system needs to be upgraded. AV systems needed for conference & huddle room[s]. Security cameras & VMS needs updating.

RECOMMENDATION SUMMARY

These buildings are not good candidates for significant investment in the existing facility. Significant renovations are required at this facility to bring it up to an overall "good" condition rating.

12 DISTRICT OPERATIONS

DATA SHEETS

Facility Assessment

Building Name Operations/Tech/Grounds

Good = Item meets current and future needs, no recommendation for improvement for the next 10 years

Fair = item meets current use, showing signs of age and should be replaced in the next 10 years

Poor = item is nearing the end of it's useful life, current need, should be replaced in the next 3-5 years

SITE				comments
	Good	Fair	Poor	
Drainage		x		Okemos road currently has storm drainage issues with large rain events. Some overflow dumps into Central Lots. New construction/modifications in progress at intersection of Okemos Rd & Mt Hope Rd.
Asphalt Parking/ Drives			x	Cracking present - beyond repairable by sealing. No curb and gutter present in these back lots.
Sidewalks		x		ok, but deteriorating condition.
Adequate Parking		x		Most parking to the north of the site is congested and full. More parking located south of the Technology and Maintenance buildings. Most visitors probably unaware that additional parking is available.
Landscaping			x	Minimal landscaping present.
Irrigation Systems				Not present.
Fencing				Not present.
Service Entrance		x		Located off Okemos/Mt Hope intersection. Routed north of Administration building. Intersection undergoing redesign and construction during 2022.
Signage			x	
Dumpster Location			x	Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure?
Parking Lot Lighting			x	Minimal around these buildings.
Tunnels			x	We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings
Building 1				Dumpsters, power poles and parking surround building
Building 2				South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter.
Building 3				Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propane tank (in service?) and small air conditioning condenser.

ARCHITECTURAL				comments
	Good	Fair	Poor	
Building Shell				
Roofing			x	Corrugated metal roofing installed on all (3) buildings - Grounds/Tech/Maintenance. Roofing recommended for replacement during 2018 bond cycle and facility assessment. Downspouts to grade. Stained translucent panels on the Garage Building should be replaced.
Exterior Windows			x	Original - recommended for replacement during 2018 bond cycle

12 DISTRICT OPERATIONS

ARCHITECTURAL (CON'T)	good	fair	poor	comments
Positive Drainage		x		Drainage around buildings not terrible, but pavement (asphalt and concrete) in need of repair/removal.
Defined Entry		x		Yes to both the technology and maintenance building.
Accessibility		x	x	Not ADA compliant.
Brick		x		Original, old brick and CMU is in ok shape. Has not been cleaned recently-mildew/dirt present.
EIFS		x		Buildings do have.
Aluminum siding		x		Vertical aluminum siding at window infill at Shop building
Caulk Joints				NA
Water Stains			x	Buildings appearance is dated/old/dirty/not presentable or representative of the future upgrades.
Exterior Doors			x	All exterior entrances and doors should be replaced.
Vestibule Entries			x	Present at technology/facilities building - need to be replaced. No vestibule at mail room.
Exterior Light			x	Minimal poles in parking lot, no exterior wall mounted light fixtures present on these buildings.
Security			x	Camera's present on buildings for monitoring (security system and installation performed by Okemos School district).

INTERIORS / FINISHES	good	fair	poor	comments
Shop Building				
Flooring		x		Wood floor in shop, exposed concrete in garage
Ceiling		x		gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage
Windows			x	Original single pane windows should be replaced
Casework				N.A
Walls		x		Exposed brick walls on interior
Doors			x	Replace doors, Overhead garage door appears to be in good condition.
Lighting			x	Replace
Toilet Rooms				
Fixtures Operational			x	Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced.
Toilet Partitions		x		Remove and replace
Walls			x	Remove and replace
Floors			x	Remove and replace
Floor Drains		x		No issues reported
Lighting			x	Remove and replace
Hand Dryers			x	
Ceilings			x	Remove and replace
Mirrors			x	Remove and replace
ADA Accessible			x	No
Adequate Size			x	NO
Operations & Technology Offices				
Flooring			x	Remove and replace
Furniture			x	Remove and replace
Ceilings / Walls			x	Remove and replace ceiling. Repaint walls.
Doors			x	painted wood doors should be removed and replaced
Lighting			x	Poor
Copy/Work Room			x	Not a designated space currently.
Meeting Rooms			x	Minimal common meeting spaces available for collaboration.
Coffee Break Area			x	Casework to be replaced
Bathroom(s)			x	Bathrooms to be updated, do not meet barrier free requirements

12 DISTRICT OPERATIONS

INTERIORS / FINISHES (CON'T)	Good	Fair	Poor	Comments
Visibility			x	Poor - minimal exterior windows and natural daylight - these buildings do not present conditions that promote
Accessibility			x	Poor
Mail Room			x	District mailroom/receiving currently located on the south end of the facilities/technology building. Compact space, does not function well.
Other				The district is in favor of demolishing the technology/facilities/maintenance buildings. Relocating the items that need to be salvaged (data server room equipment) and possibility building a new larger combined better performing and functioning facility onsite.
Garage Building				
Flooring		x		exposed concrete floors, minimal cracking, carpet to be replaced
Ceiling			x	Painted exposed structure and insulation. Insulation fabric is damaged, 2x4 ceiling and grid to be replaced
Lighting			x	Should be replaced
Walls		x		Prefabricated metal building with CMU infill
Windows			x	Windows should be replaced
Doors			x	Need to be replaced
Ceilings		x		
Data Server Room				
Flooring		x		12x12 VCT - ok condition
Ceiling			x	ok condition but should be replaced - roof leaks present and showing up on ceiling tiles
Air-Conditioning		x		Exterior Liebert Units mounted on east elevation of building for room cooling.
Daylight				None
Overall Size			x	Small/compact for data server room for entire district
Doors			x	
Lighting		x		2x4 suspended ceiling fixtures - fair condition

MECHANICAL	Good	Fair	Poor	Comments
Heating Source and Condition		X		Gas-fired furnaces, rooftop unit, and unit heater equipment.
Heating Pumps and Piping				N/A.
Cooling Source and Condition		X		Individual DX cooling.
Cooling Pumps and Piping				N/A.
Terminal Devices		X		North building server room served by Liebert cooling unit.
AHUs and RTUs		X		West building served by (2) horizontal gas-fired furnaces installed within last 10 years. South building is served by a gas-fired furnace and is at its end of life. North building is served by gas-fired/ dx RTU installed within the last 5 years.
Ventilation			X	All exhaust is at end of life. (6) 100 cfm ceiling EF's.
Building Management System/Controls				N/A.
Domestic Water Piping		X		No known issues.
Water Heaters		X		Each building has a small 6 gallon tank type electric water heater that is at end of life.
Plumbing Fixtures			X	All fixtures are at end of life.
Fire Protection				N/A.
Pool equipment				N/A.

12 DISTRICT OPERATIONS

ELECTRICAL				comments
	good	fair	poor	
Transformer size	x			
Primary/Secondary Service	x			
Generator	x			
Occupancy Sensors				N/A
Lighting Control System			x	Toggle switches. Needs updating.
Panels	x			Majority of panels are in good shape.
Panel Clearance	x			Need to remove storage items.
UPS	x			
Fire Alarm	x			Upgraded in the last 5 years. Future upgrades could include voice activation (district wide)
Interior Lighting			x	Fluorescent fixtures throughout need to be replaced.
Exit Signs			x	Exit signs are very old and letters are dim.

TECHNOLOGY				comments
	good	fair	poor	
IT Rooms		x		Dedicated space with AC and battery backup. Old equipment needs to be removed.
Fiber Optic Cabling (between buildings/IT rooms)		x		Older single mode fiber between buildings. Primary and backup fiber service.
Data Cabling (within buildings)	x			CAT 6 cabling. Switches were upgraded recently. Redundant firewall.
Clock System			x	There is no synchronized clock system. Some satellite clocks and digital signage running software to display time.
Conference Audio/Video Systems			x	Need videoconferencing upgrade for conference room and huddle space.
Security Camera System			x	Need to update Sony cameras and VMS (currently exacqvision software)
Access Control System		x		Axis intercom at main entrance. Card readers at priority doors. Vanderbilt SMS.

12 DISTRICT OPERATIONS

BUDGET DETAIL

ITEM #: 21		Acres: -			
Operations/Tech/Grounds Buildings - Sitework					
					Total Cost
Sitework	SITWORK				\$ -
Drainage	Okemos road currently has storm drainage issues with large rain events. Some overflow dumps into Central Lots. New construction/modifications in progress at intersection of Okemos Rd & Mt Hope Rd.				\$ -
Asphalt Parking/ Drives	Cracking present - beyond repairable by sealing. No curb and gutter present in these back lots.	2,566	TON	\$ 150.00	\$ 384,900
Concrete Curbs	Curb and gutter	1,100	LF	\$ 35.00	\$ 38,500
Sidewalks	ok, but deteriorating condition.	1,834	SF	\$ 12.00	\$ 22,008
Adequate Parking	Most parking to the north of the site is congested and full. More parking located south of the Technology and Maintenance buildings. Most visitors probably unaware that additional parking is available.				\$ -
Bus Loop	No Bussing present at this facility - parent drop off only.				\$ -
Playgrounds	NA		not applicable		\$ -
Student Drop off Area	AM/PM - Parent drop-off loop circles/surrounds these structures.				\$ -
Landscaping	Minimal landscaping present.				\$ -
Irrigation Systems	Not present.				\$ -
Athletic fields	Fields located behind (west of) Central buildings.				\$ -
Fencing	Not present.				\$ -
Service Entrance	Located off Okemos/Mt Hope intersection. Routed north of Administration building. Intersection undergoing redesign and construction during 2022.				\$ -
Signage					\$ -
Dumpster Location	Multiple dumpsters located between technology/maintenance builds & the central Montessori building. Can these all be relocated to one central location with enclosure?				\$ -
Traffic Directions					\$ -
Parking Lot Lighting	Minimal around these buildings.		assume by owner		\$ -
Retaining Walls					\$ -
Tunnels	We were informed that underground service tunnels (not walkable) exist from Admin mech room on ground floor to auxiliary technology and maintenance buildings				\$ -
Building 1	Dumpsters, power poles and parking surround building				\$ -
Building 2	South elevation has exterior elevated Air Conditioning unit and dumpster. East elevation has exterior Liebert units (serve data room), electrical transformer service and Kohler generator. West elevation has main entrance and gas service/meter.				\$ -
Building 3	Parking on west elevation, Overhead door entrance on north elevation, east elevation serving an empty pallet storage and south elevation has existing propane tank (in service?) and small air conditioning condenser.				\$ -
					\$ -
					\$ -
Direct Trade					\$ 445,408

12 DISTRICT OPERATIONS

ITEM #: 22		Gross Area:		18,000	
Operations/Tech/Grounds Buildings - Building Improvements					
					Total Cost
BUILDING SHELL					\$ -
Roofing	Corrugated metal roofing installed on all (3) buildings - Grounds/Tech/Maintenance. Roofing recommended for replacement during 2018 bond cycle and facility assessment. Downspouts to grade. Stained translucent panels on the Garage Building should be replaced.	27,000	SF	\$ 40.00	\$ 1,080,000
Exterior Windows	Original - recommended for replacement during 2018 bond cycle	1	LS	\$ 75,000.00	\$ 75,000
Positive Drainage	Drainage around buildings not terrible, but pavement (asphalt and concrete) in need of repair/removal.				\$ -
Defined Entry	Yes to both the technology and maintenance building.				\$ -
Accessibility	Ok, but not ADA compliant.	1	LS	\$ 25,000.00	\$ 25,000
Fascia/Soffits	NA				\$ -
Maintenance Room Entry					\$ -
Brick	Original, old brick and CMU is in ok shape. Has not been cleaned recently-mildew/dirt present.	1	LS	\$ 10,000.00	\$ 10,000
EIFS Fascia/Soffits	Buildings do have.				\$ -
Aluminum Siding	Vertical aluminum siding at window infill at Shop building				\$ -
Caulk Joints	NA				\$ -
Water Stains	Buildings appearance is dated/old/dirty/not presentable or representative of the future upgrades.	1	LS	\$ 10,000.00	\$ 10,000
Exterior Doors	All exterior entrances and doors should be replaced.		EA	\$ 8,000.00	\$ -
Vestibule Entries	Present at technology/facilities building - need to be replaced. No vestibule at mail room.	1	LS	\$ 50,000.00	\$ 50,000
Exterior Lighting	Minimal poles in parking lot, no exterior wall mounted light fixtures present on these buildings.	1	LS	\$ 15,000.00	\$ 15,000
Security	Camera's present on buildings for monitoring (security system and installation performed by Okemos School district).				\$ -
INTERIORS					\$ -
Walls	Paint/refresh entire building	18,000	SF	\$ 1.50	\$ 27,000
Corridors	Corridors		SF		\$ -
Lighting				in elec below	\$ -
Flooring					\$ -
Ceilings/Walls					\$ -
Lockers					\$ -
Doors					\$ -
Size of Corridor					\$ -
Flow of Corridor					\$ -
Emergency Egress					\$ -
Shop Building	Shop Building		SF		\$ -
Flooring	Wood floor in shop, exposed concrete in garage				\$ -
Ceilings	gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage				\$ -
Windows	Original single pane windows should be replaced	1	LS	\$ 50,000.00	\$ 50,000
Casework	N.A			not applicable	\$ -
Walls	Exposed brick walls on interior				\$ -
Air-Conditioning					\$ -
Doors	Replace doors, Overhead garage door appears to be in good condition.	5	EA	\$ 3,500.00	\$ 17,500
Lighting	Replace			in elec below	\$ -
Heating					\$ -
General Note 1					\$ -
Interior Signage	Interior signage	18,000	SF	\$ 0.55	\$ 9,900
Toilet Rooms	Toilet Rooms		SF		\$ -
Fixtures Operational	Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced.	1	LS	\$ 200,000.00	\$ 200,000
Toilet Partitions	Remove and replace			with toilet room renovation	\$ -
Walls	Remove and replace				\$ -
Floors	Remove and replace				\$ -
Floor Drains	No issues reported				\$ -
Lighting	Remove and replace			in elec below	\$ -
Hand Dryers					\$ -
Ceilings	Remove and replace				\$ -
Mirrors	Remove and replace				\$ -
ADA Accessible	No				\$ -
Adequate Size	No				\$ -
Ops. & Tech. Offices	Operations & Technology Offices	18,000	SF		\$ -
Flooring	Remove and replace	2,000	SF	\$ 63.54	\$ 127,080
Furniture	Remove and replace				\$ -
Ceilings/Walls	Remove and replace ceiling. Repaint walls.	18,000	SF	\$ 12.00	\$ 216,000

12 DISTRICT OPERATIONS

ITEM #: 22		Gross Area:			18,000
Operations/Tech/Grounds Buildings - Building Improvements					
					Total Cost
BUILDING SHELL					\$ -
Roofing	Corrugated metal roofing installed on all (3) buildings - Grounds/Tech/Maintenance. Roofing recommended for replacement during 2018 bond cycle and facility assessment. Downspouts to grade. Stained translucent panels on the Garage Building should be replaced.	27,000	SF	\$ 40.00	\$ 1,080,000
Exterior Windows	Original - recommended for replacement during 2018 bond cycle	1	LS	\$ 75,000.00	\$ 75,000
Positive Drainage	Drainage around buildings not terrible, but pavement (asphalt and concrete) in need of repair/removal.				\$ -
Defined Entry	Yes to both the technology and maintenance building.				\$ -
Accessibility	Ok, but not ADA compliant.	1	LS	\$ 25,000.00	\$ 25,000
Fascia/Soffits	NA				\$ -
Maintenance Room Entry					\$ -
Brick	Original, old brick and CMU is in ok shape. Has not been cleaned recently-mildew/dirt present.	1	LS	\$ 10,000.00	\$ 10,000
EIFS Fascia/Soffits	Buildings do have.				\$ -
Aluminum Siding	Vertical aluminum siding at window infill at Shop building				
Caulk Joints	NA				\$ -
Water Stains	Buildings appearance is dated/old/dirty/not presentable or representative of the future upgrades.	1	LS	\$ 10,000.00	\$ 10,000
Exterior Doors	All exterior entrances and doors should be replaced.		EA	\$ 8,000.00	\$ -
Vestibule Entries	Present at technology/facilities building - need to be replaced. No vestibule at mail room.	1	LS	\$ 50,000.00	\$ 50,000
Exterior Lighting	Minimal poles in parking lot, no exterior wall mounted light fixtures present on these buildings.	1	LS	\$ 15,000.00	\$ 15,000
Security	Camera's present on buildings for monitoring (security system and installation performed by Okemos School district).				\$ -
INTERIORS					\$ -
Walls	Paint/refresh entire building	18,000	SF	\$ 1.50	\$ 27,000
Corridors	Corridors		SF		\$ -
Lighting				in elec below	\$ -
Flooring					\$ -
Ceilings/Walls					\$ -
Lockers					\$ -
Doors					\$ -
Size of Corridor					\$ -
Flow of Corridor					\$ -
Emergency Egress					\$ -
Shop Building	Shop Building		SF		\$ -
Flooring	Wood floor in shop, exposed concrete in garage				\$ -
Ceilings	gyp. board lid on bottom side of structure, ACT in office, exposed deck in garage				\$ -
Windows	Original single pane windows should be replaced	1	LS	\$ 50,000.00	\$ 50,000
Casework	N.A			not applicable	\$ -
Walls	Exposed brick walls on interior				\$ -
Air-Conditioning					\$ -
Doors	Replace doors, Overhead garage door appears to be in good condition.	5	EA	\$ 3,500.00	\$ 17,500
Lighting	Replace			in elec below	\$ -
Heating					\$ -
General Note 1					\$ -
Interior Signage	Interior signage	18,000	SF	\$ 0.55	\$ 9,900
Toilet Rooms	Toilet Rooms		SF		\$ -
Fixtures Operational	Only the toilets at the ground and technology facilities are operational and in use. But even those bathrooms are dated and should be replaced.	1	LS	\$ 200,000.00	\$ 200,000
Toilet Partitions	Remove and replace			with toilet room renovation	\$ -
Walls	Remove and replace				\$ -
Floors	Remove and replace				\$ -
Floor Drains	No issues reported				\$ -
Lighting	Remove and replace			in elec below	\$ -
Hand Dryers					\$ -
Ceilings	Remove and replace				\$ -
Mirrors	Remove and replace				\$ -
ADA Accessible	No				\$ -
Adequate Size	No				\$ -
Ops. & Tech. Offices	Operations & Technology Offices	18,000	SF		\$ -
Flooring	Remove and replace	2,000	SF	\$ 63.54	\$ 127,080
Furniture	Remove and replace				\$ -
Ceilings/Walls	Remove and replace ceiling. Repaint walls.	18,000	SF	\$ 12.00	\$ 216,000

12 DISTRICT OPERATIONS

Doors	painted wood doors should be removed and replaced	10	EA	\$	3,500.00	\$	35,000
Master Clock						\$	-
Phone System						\$	-
Lighting	Poor					\$	-
Heating	Add diffuser and grilles with new ceilings	18,000	SF	\$	0.50	\$	9,000
Copy/Work Room	Not a designated space currently.					\$	-
Meeting Rooms	Minimal common meeting spaces available for collaboration.					\$	-
Coffee Break Area	Casework to be replaced	8	LF	\$	400.00	\$	3,200
Bathroom(s)	Bathrooms to be updated, do not meet barrier free requirements	200	SF	\$	275.00	\$	55,000
Visibility	Poor - minimal exterior windows and natural daylight - these buildings do not present conditions that promote	1	LS	\$	75,000.00	\$	75,000
Accessibility	Poor					\$	-
Mail Room	District mailroom/receiving currently located on the south end of the facilities/technology building. Compact space, does not function well.					\$	-
Other	The district is in favor of demolishing the technology/facilities/maintenance buildings. Relocating the items that need to be salvaged (data server room equipment) and possibility building a new larger combined better performing and functioning facility onsite.					\$	-
Garage Building	Garage Building		SF				
Flooring	exposed concrete floors, minimal cracking, carpet to be replaced	200	SY	\$	63.54	\$	12,708
Ceilings	Painted exposed structure and insulation. Insulation fabric is damaged, 2x4 ceiling and grid to be replaced	5,000	SF	\$	9.00	\$	45,000
Lighting	Should be replaced					\$	-
Walls	Prefabricated metal building with CMU infill					\$	-
Windows	Windows should be replaced	1	LS	\$	50,000.00	\$	50,000
Doors	Need to be replaced	10	EA	\$	3,500.00	\$	35,000
Ceilings						\$	-
Data Server Room	Data Server Room		SF			\$	-
Flooring	12x12 VCT - ok condition					\$	-
Ceilings	ok condition but should be replaced - roof leaks present and showing up on	150	SF	\$	12.00	\$	1,800

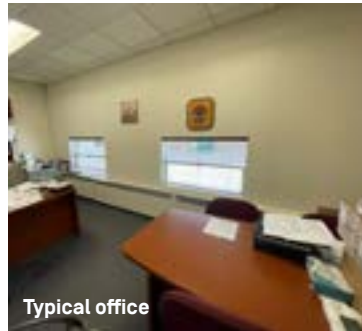
12 DISTRICT OPERATIONS



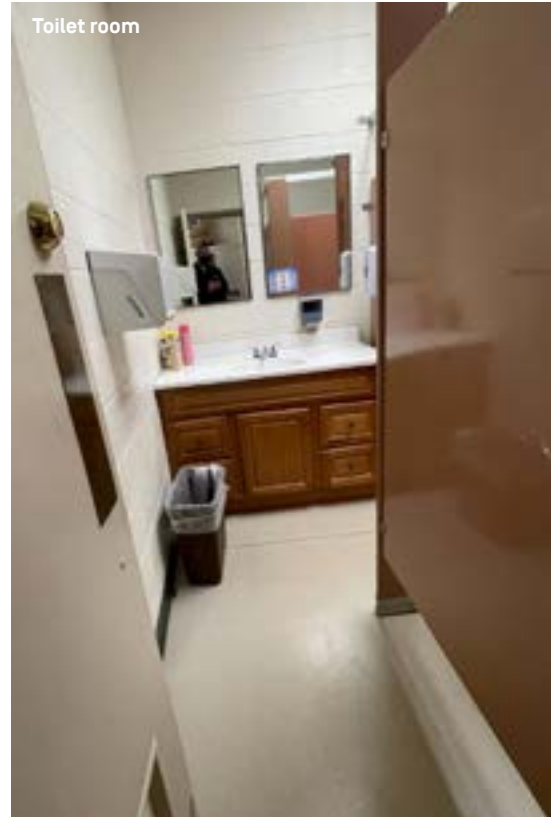
Building drone photo



Building drone photo



Typical office



Toilet room



Mail room



Kitchenette



Office space in garage building



Crack in CMU wall

12 DISTRICT OPERATIONS



Garage building



Damage Insulation fabric



Garage building



Exterior of shop



Garage



Standing water in shop



Exposed piping on exterior



Shop

12 DISTRICT OPERATIONS



Plumbing fixtures to be replaced



Roof leaks evident in server room